

# TULSA METROPOLITAN AREA PLANNING COMMISSION

For Meeting No. 2467

January 3, 2007

1:30 PM

Francis Campbell City Council Room  
Plaza Level, Tulsa Civic Center

## CONSIDER, DISCUSS AND/OR TAKE ACTION ON

1. Call to Order:

## REPORTS

2. Chairman's Report:
3. Worksession Report:
4. Director's Report:

## CONSENT AGENDA

All matters under "Consent" are considered by the Planning Commission to be routine and will be enacted by one motion. Any Planning Commission member may; however, remove an item by request.

- A. Minutes of November 15, 2006, Meeting No. 2464
- B. Minutes of December 6, 2006, Meeting No. 2465
- C. Mingo Crossing – (2325)/Final Plat (County)  
North of northwest corner of East 136<sup>th</sup> Street North and 97<sup>th</sup>  
East Avenue (Mingo Road)
- D. First Amended Declaration of Covenants and Restrictions (PD-6) (CD-5)  
(portions of Yorkshire Estates) – PUD 514-A - (9322)
- E. PUD-307-B – Michael Jordan/Detail Site Plan (PD-18a) (CD-2)  
2021 East 71<sup>st</sup> Street South (Detail site plan for a new pool  
pavilion associated with Camp Shalom campus.)
- F. PUD-664-A – Tanner Consulting, LLC/Detail Site Plan (PD-18a) (CD-2)  
West of the southwest corner East 81<sup>st</sup> South and South  
Lewis Avenue (Detail site plan for a gated entry for a mini-  
storage use.)
- G. PUD-370-B – Brad Lechtenberger/Detail Site Plan (PD-26) (CD-8)  
Northwest corner of 106<sup>th</sup> Street South and South Memorial  
Drive (Detail site plan for a new 7,352 square foot  
restaurant.)
- H. **CONSIDERATION OF ITEMS REMOVED FROM THE CONSENT AGENDA**



## 6.

## PUBLIC HEARINGS

- |    |   |                                     |
|----|---|-------------------------------------|
| A. | <b><u>Shipley Subdivision – (8305) – Preliminary Plat</u></b><br>6336 South Harvard (continued from 12/6/06 meeting for City Council review of PUD standards and another continuance is requested to 1/17/07 to allow for City Council review of PUD standards)   | (PD-18) (CD-2)                      |
| B. | <b><u>Home Center Amended – (8406) – Preliminary Plat</u></b><br>6611 South 101 <sup>st</sup> East Avenue   | (PD-18) (CD-8)                      |
| C. | <b><u>Stonegate II – (9425) – Preliminary Plat</u></b><br>North and east of the northeast corner of East 51 <sup>st</sup> Street and 177 <sup>th</sup> East Avenue  | (PD-17) (CD-6)                      |
| D. | <b><u>WWTC-2 – (0432) – Preliminary Plat</u></b><br>1006 North 129 <sup>th</sup> East Avenue  | (PD-16) (CD-6)                      |
| E. | <b><u>PUD-392-A – Tulsa Engineering &amp; Planning</u></b><br>North of northwest corner of East 11 <sup>th</sup> Street and South 123 <sup>rd</sup> East Avenue ( <b>Major Amendment</b> for the purpose of abandoning that portion of the PUD located in Lot 1, Block 1, Eleven Trade Center/Plat No. 4601) ( <b>Related to Item F.</b> )                      | (PD-17) (CD-6)                      |
| F. | <b><u>Z-6958-SP-2 – Tulsa Engineering &amp; Planning</u></b><br>North of northwest corner of East 11 <sup>th</sup> Street and South 123 <sup>rd</sup> East Avenue ( <b>Corridor Site Plan</b> for a 9.4143 acre tract which is part of the 20.1472 acre overall site plan for the corporate headquarters of Lowrance Electronics) ( <b>Related to Item E.</b> ) | (PD-17) (CD-6)                      |
| G. | <b><u>PUD-306-J – Peter Kavanaugh/Zone Systems, Inc.</u></b><br>South of southwest corner South Harvard Avenue and East 91 <sup>st</sup> Street ( <b>Major Amendment</b> to allow a communications tower on an existing church site.)   | (PD-18) (CD-8)                      |
| H. | <b><u>Z-7048 – Sisemore Weisz &amp; Associates</u></b><br>South of southwest corner of East 41 <sup>st</sup> Street and South 177 <sup>th</sup> East Avenue   | <b>AG to RS-3</b><br>(PD-17) (CD-6) |
| I. | <b><u>PUD-641-2 – Roy D. Johnsen</u></b><br>6800 South Granite ( <b>Minor Amendment</b> to increase the building height limitation from six stories to eight stories to allow construction of additions to the north wings of the multifamily complex.)   | (PD-18) (CD-7)                      |



- J. **PUD-625-4/Z-6735-SP-1d – Sisemore Weisz & Assoc.** (PD-18c) (CD-8)

East of the southeast corner of South Mingo Road and East 81<sup>st</sup> Street South (**Minor Amendment/Corridor Site Plan** to create three lots from Lot 3, Block 1 for three new development sub-areas and allocation of floor area.) (**Applicant has requested a continuance to January 17, 2007.**)

- K. **PUD-712-2 – Roy D. Johnsen** (PD-17) (CD-6)

Northwest corner of East 51<sup>st</sup> Street and 193<sup>rd</sup> East Avenue (**Minor Amendment** for the purpose of reallocating floor area.)

7. **OTHER BUSINESS**

- A. **Elections for TMAPC Officers**

8. **CONTINUED RECONSIDERATION**

- A. **Z-7020 – Robert Johnson**

**AG to IL**

West of the southwest corner of East 56th Street North and North 145th Avenue East (Continued from December 6, 2006) (**Applicant has requested a continuance to January 17, 2007.**)

(PD-16) (CD-3)

9. **Commissioners' Comments**

**ADJOURN**

PD = Planning District/CD = Council District

**NOTICE: If you require special accommodation pursuant to the Americans with Disabilities Act, please notify INCOG (918) 584-7526**

**Exhibits, Petitions, Pictures, etc., presented to the Planning Commission may be received and deposited in case files to be maintained at Land Development Services, INCOG.**

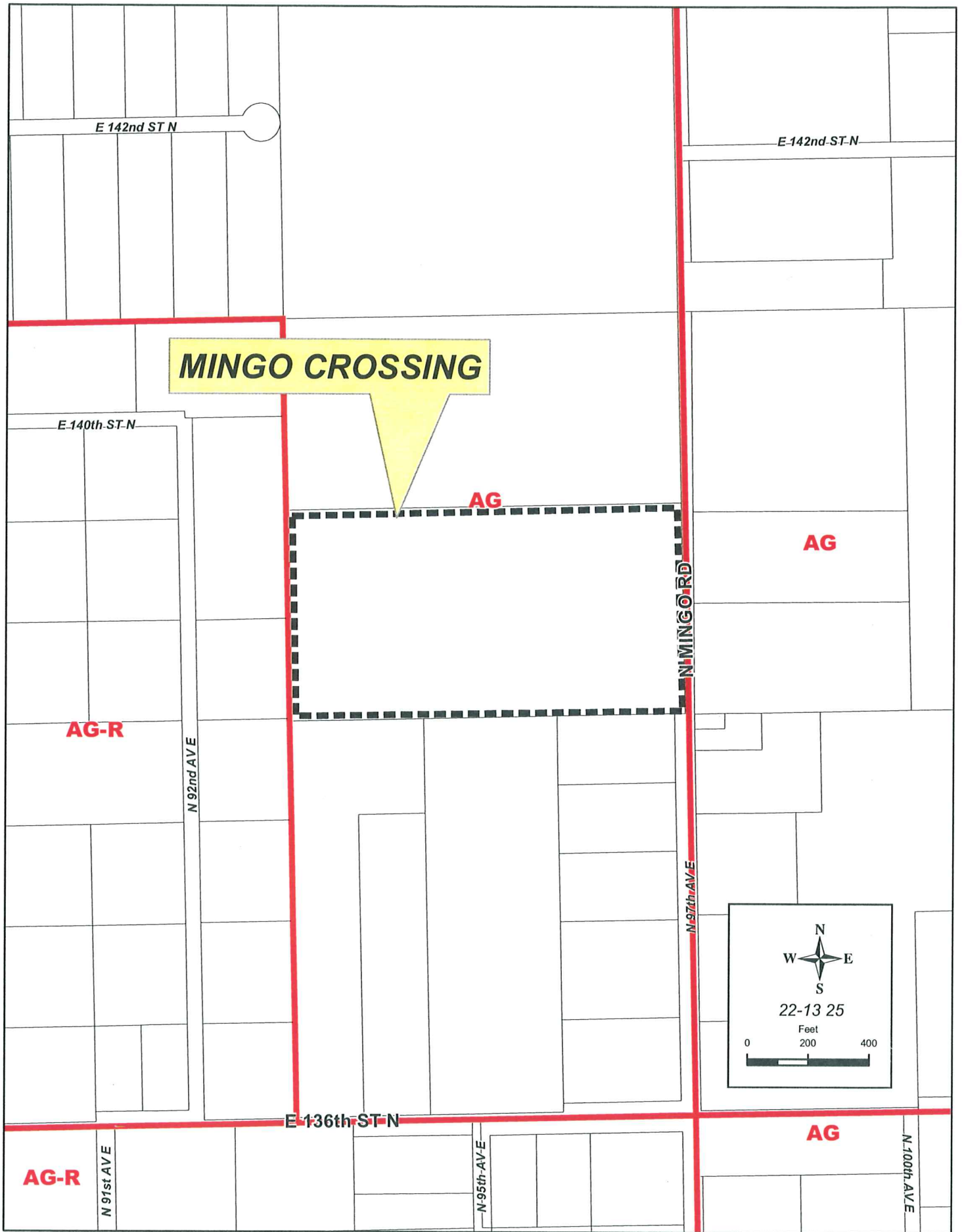
**Ringling/sound on all cell phones and paggers must be turned off during the Planning Commission.**

Visit our website @ [www.tmapc.org](http://www.tmapc.org)

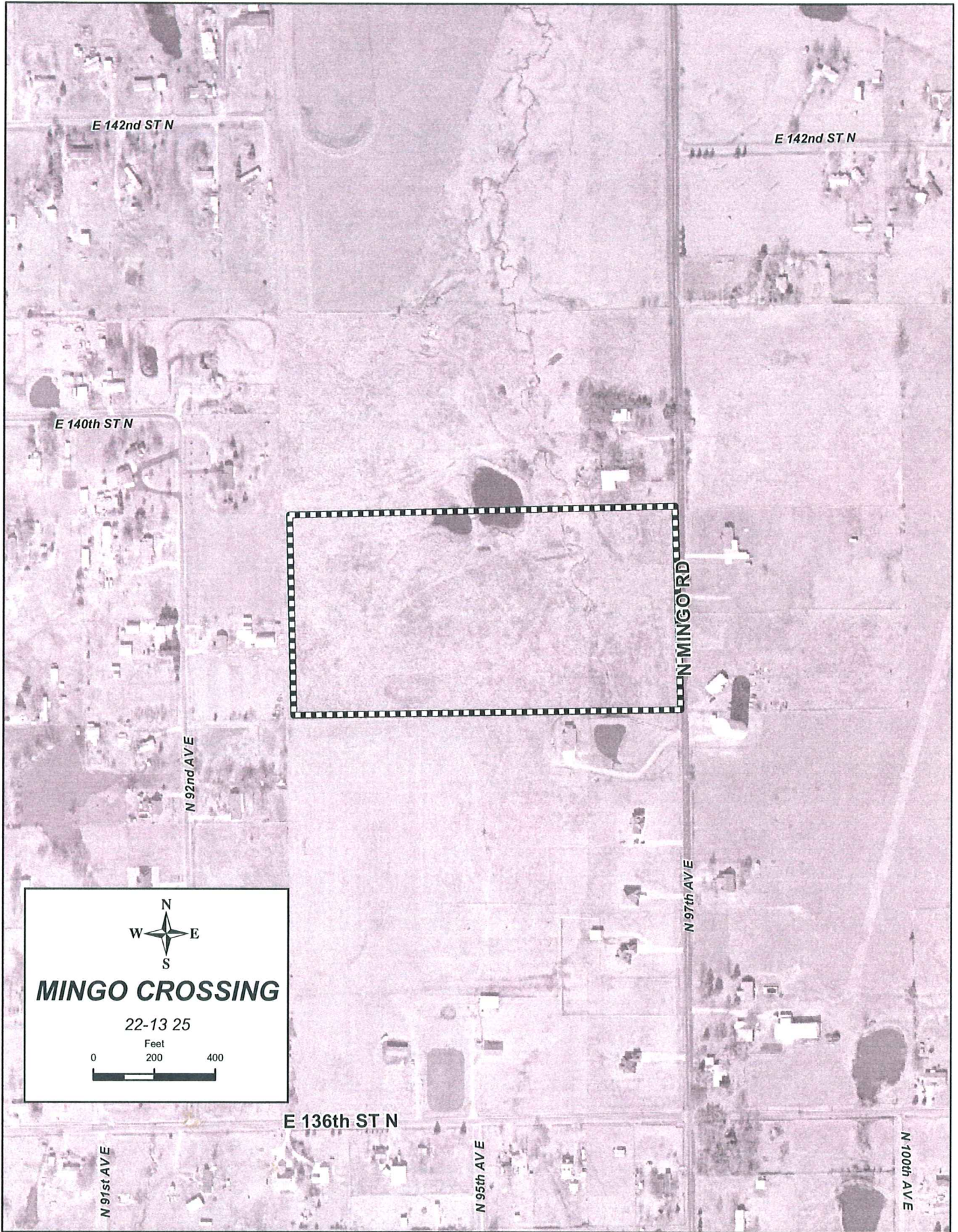
The mission of the Tulsa Metropolitan Area Planning Commission (TMAPC) is to provide comprehensive planning, zoning and land division services for the City of Tulsa and Tulsa County through a joint city-county cooperative planning commission resulting in the orderly development of the Tulsa Metropolitan Area and enhancing and preserving the quality of life for the region's current and future residents.

**TMAPC Mission Statement**









N  
W  
E  
S

**MINGO CROSSING**

22-13 25

Feet  
0 200 400



## Final Subdivision Plat

**Mingo Crossing - (2325) (County)**

North of northwest corner of East 136<sup>th</sup> Street North and 97<sup>th</sup> East Avenue (Mingo Road)

This plat consists of 31 Lots in 2 Blocks on 20.68 acres.

Staff recommends **APPROVAL** of the Final Plat. All release letters have been received.





**SURVEYOR**  
D. GOSS AND ASSOCIATES, LLC  
1113 W. MAIN  
22 COLLINSVILLE, OKLAHOMA 74002  
918-371-0096  
C.A. #3932, EXP 6-30-08  
DGOSSASSOCIATES@AOL.COM

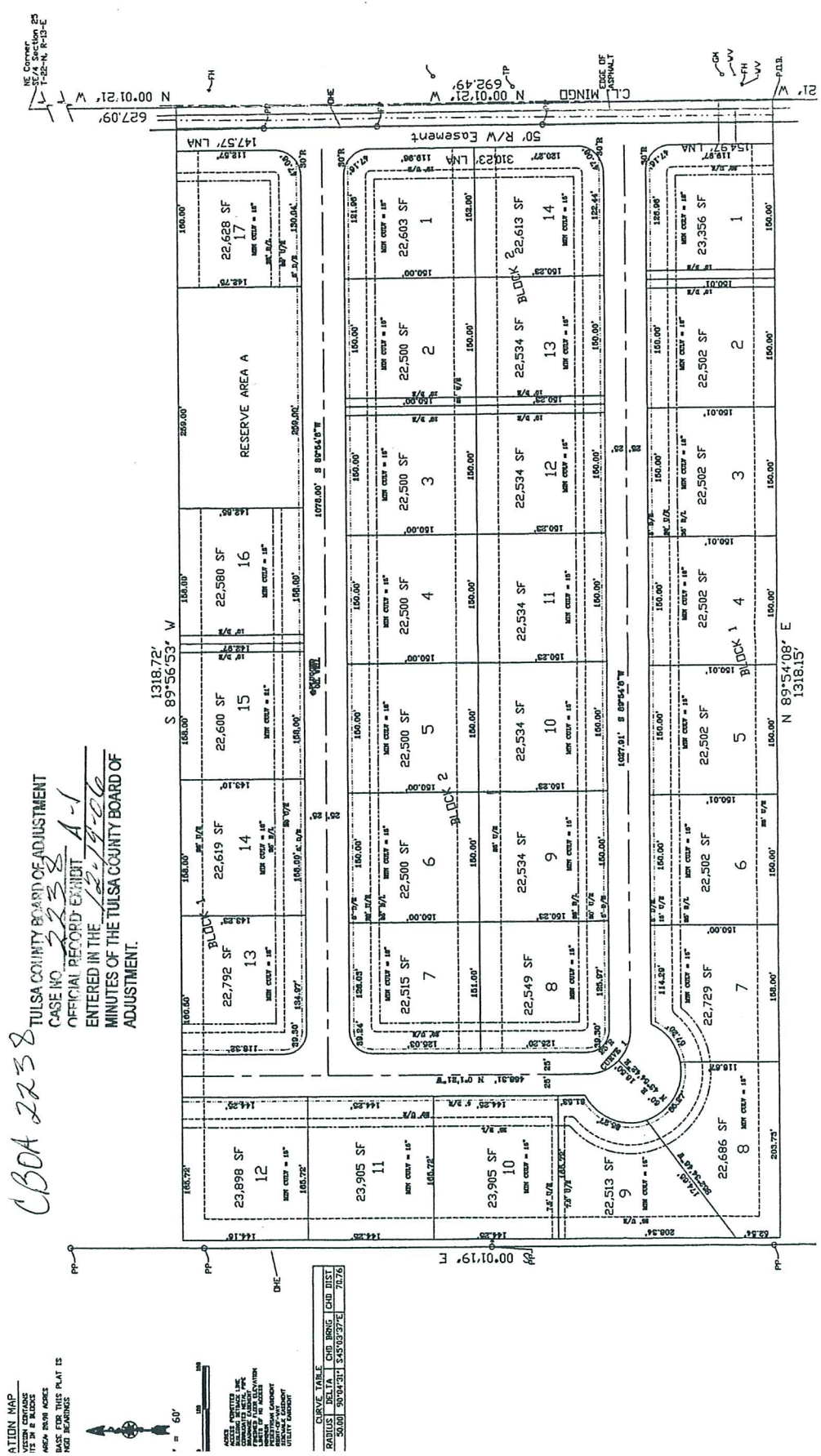
# FINAL PLAT MINGO CROSSING

**OWNER/DEVELOPER**  
INTRINSIC DEVELOPMENT LLC  
3300 HERITAGE DRIVE  
CLAREMORE, OKLAHOMA 74019  
918-688-6857

**ENGINEER**  
ROGERS ENGINEERING &  
CONSTRUCTION INC.  
RT. 3 BOX 190  
CHELSEA, OKLAHOMA 74016  
918-789-5039  
C.A. #4369, EXP 6-30-07  
ROGERSCHLS@AOL.COM

PART OF E/2 OF THE SE/4 OF SECTION 25,  
TOWNSHIP 22 NORTH, RANGE 13 EAST, TULSA COUNTY

*CBDA 2238*  
TULSA COUNTY BOARD OF ADJUSTMENT  
CASE NO. 2238 A-1  
OFFICIAL RECORD EXHIBIT  
ENTERED IN THE 12-19-06  
MINUTES OF THE TULSA COUNTY BOARD OF  
ADJUSTMENT.



CURVE DATA			
BEARINGS	151.14°	CHD BRNG	CHD DIST
50.00'	90.94'-31"	545.03'-27"	76.76'

*5.C.4*



ATTORNEYS AT LAW  
**ELLER AND DETRICH**  
A PROFESSIONAL CORPORATION  
MIDWAY BUILDING, SUITE 200  
2727 EAST 21ST STREET  
TULSA, OKLAHOMA 74114-3533

PHILIP J. ELLER  
DONALD L. DETRICH  
KEVIN H. WYLIE  
R. LOUIS REYNOLDS  
JAMES C. HODGES  
SHANANN PINKHAM PASSLEY  
REBECCA WOOD HUNTER  
BRUCE D. SHALON  
DANIEL C. CUPPS

OF COUNSEL  
PHILIP R. FEIST, P.C.  
JERRY M. SNIDER

TELEPHONE  
(918) 747-8900

TELECOPY  
(918) 747-2665

TOLL FREE  
(866) 547-8900

WRITER'S E-MAIL:  
BSHALON@ELLERDETRICH.COM

December 15, 2006

**By Hand Delivery**

Ms. Diane Fernandez  
Tulsa Metropolitan Area Planning Commission  
INCOG  
201 West 5<sup>th</sup> Street, Suite 600  
Tulsa, Oklahoma 74103

Re: (Revised)First Amended Declaration of Covenants and Restrictions (portions of Yorkshire Estates: PUD-514-A).

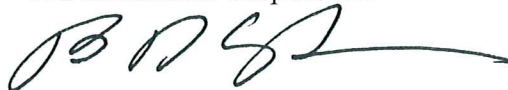
Dear Ms. Fernandez:

Enclosed is a revised First Amended Declaration of Covenants and Restrictions (portions of Yorkshire Estates). I am providing the revision to obtain approval of the TMAPC and forwarding to the City of Tulsa for its approval. After reviewing the PUD, I spoke with Delise Tomlinson as you suggested, and I thank both of you for your assistance.

Again, should you have any questions, require any further information or the document requires further revision please contact me.

Very truly yours,

ELLER AND DETRICH  
A Professional Corporation



Bruce D. Shalon

sau:BDS

Enclosure

I:\Site Acquisition Services, Inc\168407B Yale Avenue South OK\n&c\Ltr.D. Fernandez.121506.doc

S.D.I



After Recording Return To:

Bruce D. Shalon, Esq.,  
Eller and Detrich, P.C.  
2727 East 21<sup>st</sup> Street, Suite 200  
Tulsa, OK 74114-3533

## **FIRST AMENDED DECLARATION OF COVENANTS AND RESTRICTIONS**

This **First Amended Declaration of Covenants and Restrictions** made this \_\_\_\_\_ day of December 2006, by **SAIED REALTY, LP, an Oklahoma Limited Partnership, ARVEST BANK, an Oklahoma Banking Corporation, the TULSA METROPOLITAN AREA PLANNING COMMISSION ("TMAPC"), and the CITY OF TULSA.**

### **WITNESSETH:**

**WHEREAS,** certain covenants and restrictions applicable to the real estate described as:

A part of Lot One (1), Block Two (2), Yorkshire Estates, an Addition to the City of Tulsa, Tulsa County, State of Oklahoma, according to the recorded plat thereof, being more particularly described as follows: Beginning at the Southwest corner of said Lot 1, thence East 400 feet to a point; thence North 75 feet to a point; thence West 365 feet to a point; thence South 45 feet to a point; thence West 35 feet to a point on the West line of said Lot 1; thence South 30 feet to the point of beginning, and the West 300 feet of Lot 2, Block 2, Yorkshire Estates, an Addition to the City of Tulsa, Tulsa County, State of Oklahoma, according to the recorded plat thereof (the "Property").

Have heretofore been established within the Declaration of Covenants and Restrictions (the "Declaration") of the subdivision plat of June 8, 1994, filed February 27, 1996, in Book 5786 at Pages 0719-0724; and

**WHEREAS,** the property was processed as Planned Unit Development ("PUD") No. 514 pursuant to Title 42, Tulsa Revised Ordinances of the City of Tulsa (the "Tulsa Zoning Code"), as the same existed on June 8, 1994, and was approved by the TMAPC on June 8, 1994 and by the Council of the City of Tulsa (the "City Council"), on July 14, 1994, the implementing Ordinance being No. 18278 and subsequent approvals of access points to East 33<sup>rd</sup> Street was made by the TMAPC on July 27, 1994, and by the City Council on August 25, 1994; and

**WHEREAS,** pursuant to the provisions of the Tulsa Zoning Code, a PUD Major Amendment, PUD-514-A, was approved by the TMAPC on August 16, 2006, by the City Council on October 26, 2006, and the Mayor of the City of Tulsa on November 8, 2006, the implementing Ordinance being No. 21412 permitting certain additional uses that portion of the Property as described in the Declaration, PUD-514 and PUD-514-A as Development Area "A"; and

**WHEREAS,** certain covenants set forth within PUD-514-A were established pursuant to the provisions of the Tulsa Zoning Code in order to properly provide for and assure that the development and use of the Property would be in compliance with the development standards and conditions recommended by the TMAPC; and



**WHEREAS**, the Declaration made provision for the amendment of covenants and restrictions therein established by the owners of the property whereby said covenants and restrictions may be amended or modified at any time by the owners of the property with approval of the City of Tulsa; and

**WHEREAS**, SAIED REALTY, LP, and ARVEST BANK are the owners of the Property; and

**WHEREAS**, SAIED REALTY, LP, ARVEST BANK, TMAPC and the CITY OF TULSA wish to amend the Declaration and PUD-514, consistent with PUD-514-A approved as previously set forth.

**THEREFORE**, SAIED REALTY, LP, ARVEST BANK, TMAPC and the CITY OF TULSA herein amend the Declaration to add to the list of permitted uses set out in Paragraph 1. Development Standards – Development Area “A”, of the Declaration, the following:

Development Area “A”

PERMITTED USES:

In addition to those uses permitted per PUD-514, Antenna and Supporting Structure as provided within Use Unit 4, Public Protection and Utility Facilities.

MAXIMUM HEIGHT: 100 FT

SETBACKS:

From east boundary of PUD-514-A:	250 FT
From centerline of South Yale Ave.:	75 FT

USE CONDITIONS:

As provided per Section 1204.C, Public Protection and Utility Facilities/Use Conditions, and other applicable sections of the Zoning Code.

3. No building permit shall be issued until the requirements of Section 1107F of the Zoning Code have been satisfied and approved by the TMAPC and filed of record in the County Clerk's office, incorporating within the restrictive covenants the PUD conditions of approval and making the City beneficiary to said covenants that relate to PUD conditions.
4. No Zoning Clearance Permit shall be issued for a lot within the PUD until a Detail Site Plan for the lot, which includes all structures, parking and landscaping areas, has been submitted to the TMAPC and approved as being in compliance with the approved PUD Development Standards.
5. Subject to conditions recommended by the Technical Advisory Committee during the subdivision platting process which are approved by TMAPC.
6. Except as above modified, the development standards of PUD-514 as amended, shall remain applicable.

Except as specifically amended above, the covenants and provisions set forth within the Declaration and PUD-514 shall remain effective.



IN WITNESS WHEREOF, SAIED REALTY, LP, ARVEST BANK, TMAPC and the CITY OF TULSA have executed this instrument to be effective upon its proper recording in the office of the County Clerk of Tulsa County, Oklahoma.

**SAIED REALTY, LP, an Oklahoma Limited Partnership Company**

By: \_\_\_\_\_  
James G. Saied, Manager

**STATE OF OKLAHOMA**                    )  
  } ss  
**COUNTY OF TULSA**                    )

This instrument was acknowledged before me on this \_\_\_\_\_ day of December 2006, by James G. Saied as Manager of SAIED Realty, LP, an Oklahoma Limited Partnership Company.

Commission Expires: \_\_\_\_\_

Commission No: \_\_\_\_\_  
Notary Public

\*\*\*\*\*

**ARVEST BANK an Oklahoma Banking Corporation**

By: \_\_\_\_\_

**STATE OF OKLAHOMA**                    )  
  } ss  
**COUNTY OF TULSA**                    )

This instrument was acknowledged before me on this \_\_\_\_\_ day of December 2006, by \_\_\_\_\_ for ARVEST Bank, an Oklahoma Banking Corporation.

Commission Expires: \_\_\_\_\_

Commission No: \_\_\_\_\_  
Notary Public

S.D.4



**TULSA METROPOLITAN AREA  
PLANNING COMMISSION**

By: \_\_\_\_\_  
Chip Ard, Chairperson

**STATE OF OKLAHOMA**        )  
**COUNTY OF TULSA**        ) ss

This instrument was acknowledged before me on this \_\_\_\_\_ day of December 2006, by Chip Ard as Chairperson of TMAPC.

Commission Expires: \_\_\_\_\_

Commission No: \_\_\_\_\_  
Notary Public

\*\*\*\*\*

**CITY OF TULSA, STATE  
OF OKLAHOMA**

By: \_\_\_\_\_  
Kathy Taylor, Mayor

**STATE OF OKLAHOMA**        )  
**COUNTY OF TULSA**        ) ss

This instrument was acknowledged before me on this \_\_\_\_\_ day of December 2006, by Kathy Taylor, Mayor of the City of Tulsa.

Commission Expires: \_\_\_\_\_

Commission No: \_\_\_\_\_  
Notary Public

ATTEST:

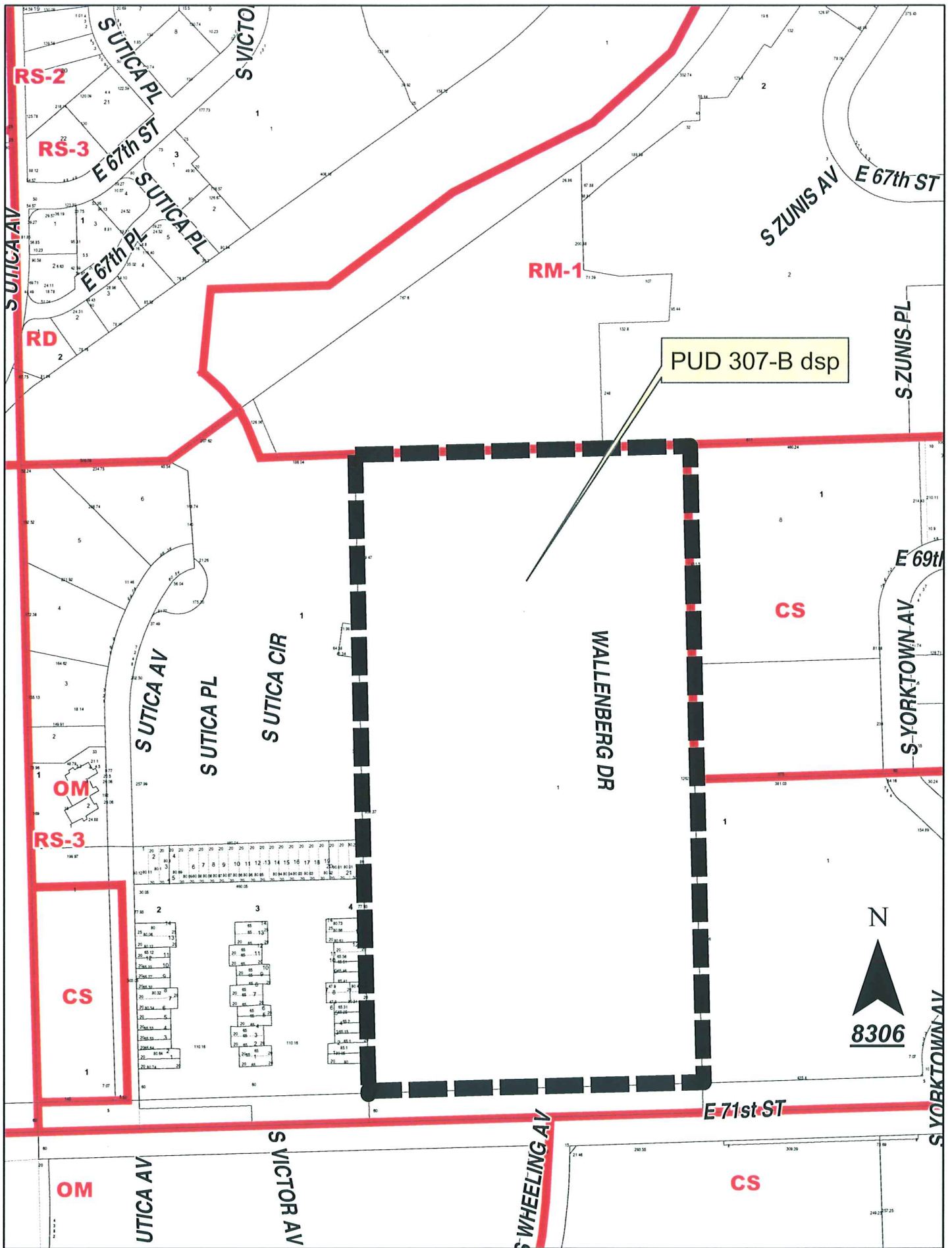
\_\_\_\_\_  
City Clerk

APPROVED:

\_\_\_\_\_  
Assistant City Attorney

S.D.S





S.E.1





S.E.2



January 3, 2007

## STAFF RECOMMENDATION

**PUD: 307-B**

Detail Site Plan – Pool Pavilion; Jewish Federation of Tulsa;  
2021 East 71<sup>st</sup> Street South; Lot 1, Block 1, Camp Shalom  
Addition; Southern Development Area; OM/PUD; PD-18a;  
CD-2

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The applicant is requesting approval of a detail site plan for a new pool pavilion associated with the Camp Shalom campus. The proposed use, Use Unit 5, Community Services and Similar Uses (customary and accessory thereto), is in conformance with Development Standards of PUD 307-B.

The proposed pavilion is to replace the existing pool house and meets setbacks, minimum landscaped area requirements, and lighting and parking restrictions.

Therefore, staff recommends **APPROVAL** of PUD 307-B detail site plan as proposed.

*(Note: Detail site plan approval does not constitute landscape and sign plan approval.)*

*S.E.3*



JEWISH FEDERATION OF TULSA POOL PAVILLION - 2021 E. 71ST STREET TULSA, OK

## TULSA BOARD OF ADJUSTMENT SUBMITTAL

## PROJECT SUMMARY

WORK TO INCLUDE REMOVAL AND REPLACEMENT OF EXISTING POOL PAVILION WITH NEW PAVILION BUILDING.

## PROJECT SITE

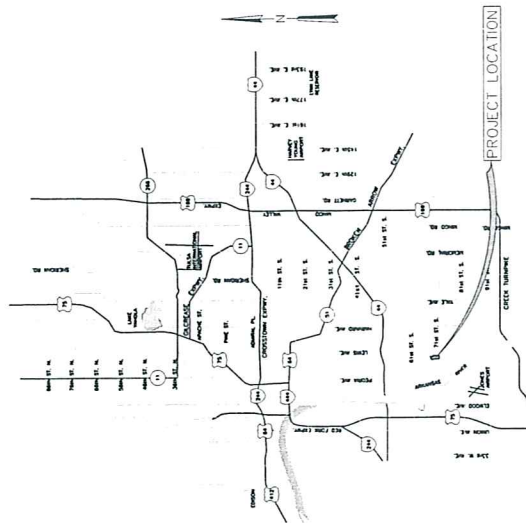
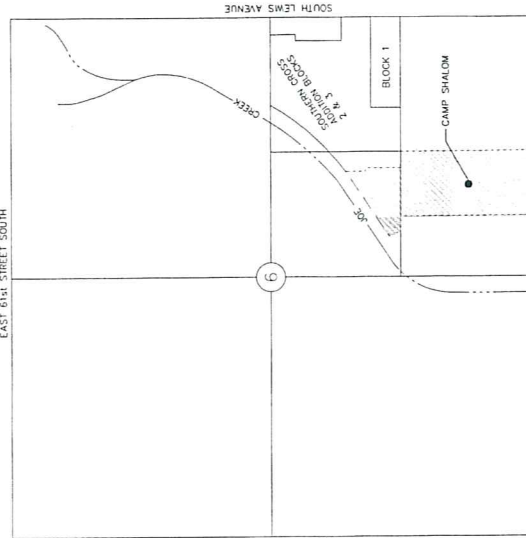
**LOCATION**  
LOCATED AT: 8822 SOUTH YALE AVENUE  
TULSA, OKLAHOMA 74137

## LEGAL DESCRIPTION OF PROPERTY

LOT 1 BLOCK 1 CAMP SHADOW ARCADE - THE EAST 560 FT. OF THE SW 1/4 OF THE S 1/4 OF SECTION 6, 11-18-N, R-13-E AND A PART OF LOT 2 IN SECTION 6 OF "BLOCKS 2 AND 3" SOUTHERN CROSS ADDITION IN BLOCK 2, 11-18-N, R-13-E, BEING DESCRIBED AS BEGINKING AT A POINT ON THE SOUTHERLY LINE OF SADDLE BLOCK, BEGINNING AT A POINT BEING 61.00 FT. WESTERLY OF THE SW CORNER OF SECTION 6, 11-18-N, R-13-E, AND 59.14 FT. WESTERLY OF THE SW CORNER OF THE EAST 660 FT. OF THE SW 1/4 OF THE S 1/4 OF SECTION 6, 11-18-N, R-13-E, THENCE DUE WEST 64.98 FT. TO A POINT, THENCE S 74° 15' 45" W 88.99 FT. TO A POINT, THENCE N 21° 18' 32" W 37.07 FT. TO A POINT, THENCE N 40° 44' 04" E 128.28 FT. TO 26.86 FT. TO A POINT, ALONG A CURVE TO THE LEFT, WITH A CENTRAL ANGLE OF 1° 12' 04" AND A RADIUS OF 1281.28 FT. TO 26.86 FT. TO A POINT, THENCE DUE SOUTH 200.88 FT. TO A POINT, THENCE S 78° 41' 30" E 100.00 FT. TO A POINT, THENCE DUE SOUTH 350 FT. TO THE BEGINNING OF RECONSTRUCTION.

## OWNER

JEWISH FEDERATION OF TULSA  
2021 EAST 71st STREET  
TULSA, OK

VICINITY MAP  
NTSLOCATION MAP  
NTS

### Development Data Summary

**Detail Site Plan: Southern Development Area**  
 UD 307-B  
 Development Area: 11.48 Acres  
 Permitted Uses: Tulsa Zoning - Use Unit 5 (Community Center, Museum, School,  
 Parks)  
 Proposed Uses: Community Center, Pool House

Calculating Blotz: Community Center / Mesas: Pool House      *      Pool House		65,005 SF    (1st Flr) 10,000 SF    (2nd Flr) 75,005 SF
Total		11,302 SF 2,725 SF 78,437 SF
Proposed Changes:		60 feet
Existing Pool House		One Story - 16 feet
New Pool House		
Revised Total		
Maximum Bldg. Height Permitted: Minimum Bldg. Height Required: Maximum Bldg. Height Proposed: Minimum Bldg. Height Allowed		20 feet 10 feet 16 feet 10 feet
North boundary: 210.15'		
East boundary: 171.8'		
South boundary: 171.8'		
West boundary: 353.1'		

<p><b>Off Street Parking</b>          No changes in parking proposed          Existing Parking Spaces: 232</p>	<p><b>Unimproved Area:</b>          New development is existing paved and developed area, no changes in new development or existing paved and developed area.</p>
<p><b>Lighting</b>          Lighting will be provided by the City.</p>	<p><b>Unimproved Area:</b>          No changes in existing parking lighting.</p>
<p><b>Landscaping</b>          No landscaping proposed.</p>	<p><b>Unimproved Area:</b>          Not applicable, new development is existing paved and developed area, no changes in landscape area with proposed development.</p>
<p><b>Other</b>          Not applicable, new signage is on building and canopies and is for decoration and safety only. Future cut sheets are submitted with submitted.</p>	<p><b>Unimproved Area:</b>          Not applicable, new signage is on building and canopies and is for decoration and safety only. Future cut sheets are submitted with submitted.</p>
<p><b>Utility</b>          Utility elements within the boundaries of construction.</p>	<p><b>Unimproved Area:</b>          Utility elements within the boundaries of construction.</p>

**Architects • Engineers • Planners**  
The Benham Companies, LLC  
One West 3rd Street, Suite 100  
TULSA, OK 74103  
PHONE: 918.492.1600 FAX: 918.492.8432



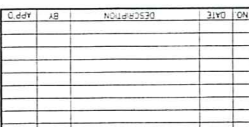
**JEWISH FEDERATION OF TULSA  
POOL PAVILLION**

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**PUD SUBMITTAL**

DECEMBER 13, 2006  
REVISION NUMBER: 0  
BENHAM PROJECT NUMBER: 61005006900







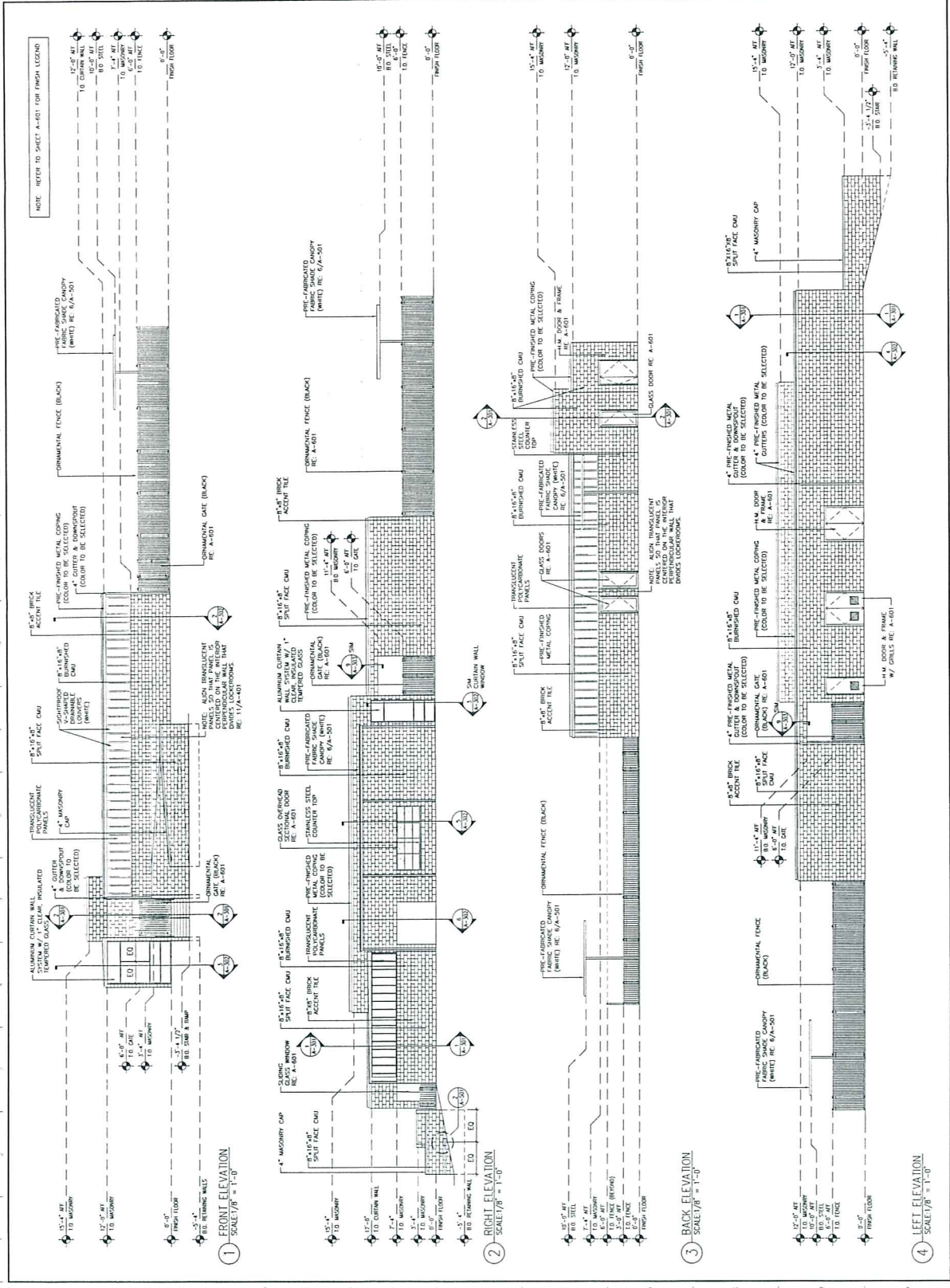
S.E. 6

Rev: 000000  
Date: 08/11/2024  
By: 000000  
Project: 000000  
Sheet: 000000

JEWISH FEDERATION OF TULSA  
POOL PAVILLION  
2021 E. 71ST STREET  
TULSA, OKLAHOMA  
EXTERIOR ELEVATIONS  
DATE: 12/11/2024  
SCALE: AS SHOWN  
PROJECT NUMBER: 6100506900  
SHEET: A-201  
REV: 1  
B: 35

BENHAIM  
THE BENHAIM COMPANIES, LLC  
ONE WEST 34th ST, STE 100  
TULSA, OK 74103  
918.492.1600  
www.benhaim.com

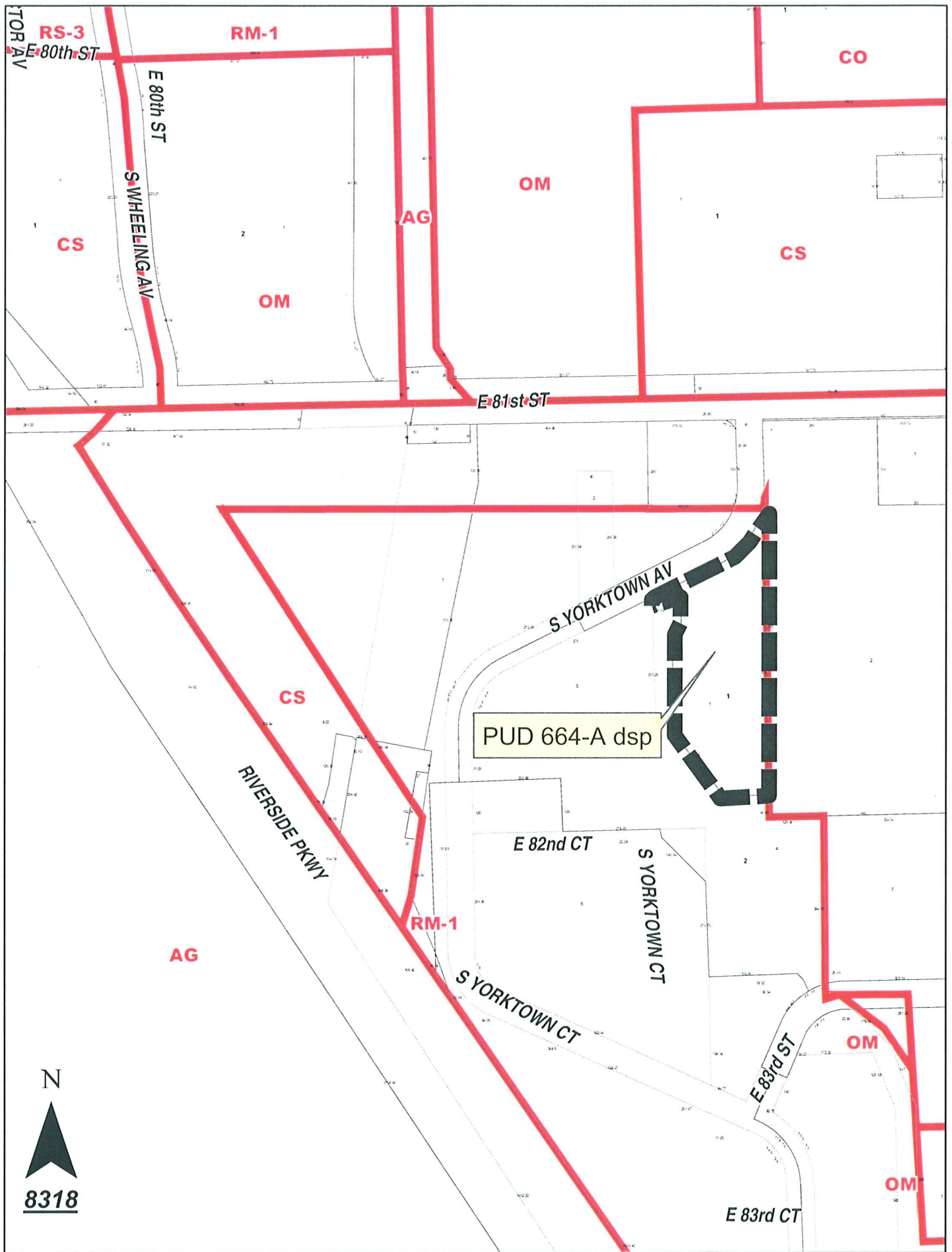
NO.	DESCRIPTION	DATE
1	15'-0" x 15'-0" SPLIT FACE CMU	12/11/2024
2	8'-0" x 16'-0" SPLIT FACE CMU	12/11/2024
3	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
4	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
5	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
6	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
7	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
8	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
9	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
10	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
11	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
12	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
13	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
14	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
15	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
16	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
17	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
18	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
19	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
20	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
21	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
22	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
23	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
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25	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
26	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
27	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
28	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
29	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
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60	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
61	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
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89	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
90	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
91	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
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97	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
98	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
99	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024
100	12'-0" x 12'-0" SPLIT FACE CMU	12/11/2024











S.F.I







January 3, 2007

### STAFF RECOMMENDATION

**PUD:664-A**

Detail Site Plan – Riverbend Mini-Storage Gated Entry;  
West of the Southwest Corner of East 81<sup>st</sup> Street South and  
South Lewis Avenue; Lot 1, Block 1, Riverbend Addition;  
Development Area D-1; RM-1/ PUD 664; PD-18a; CD-2

---

The applicant is requesting approval of a detail site plan for a gated entry for a mini-storage use. The proposed gated entry has been approved by the Traffic Engineer and Fire Marshal.

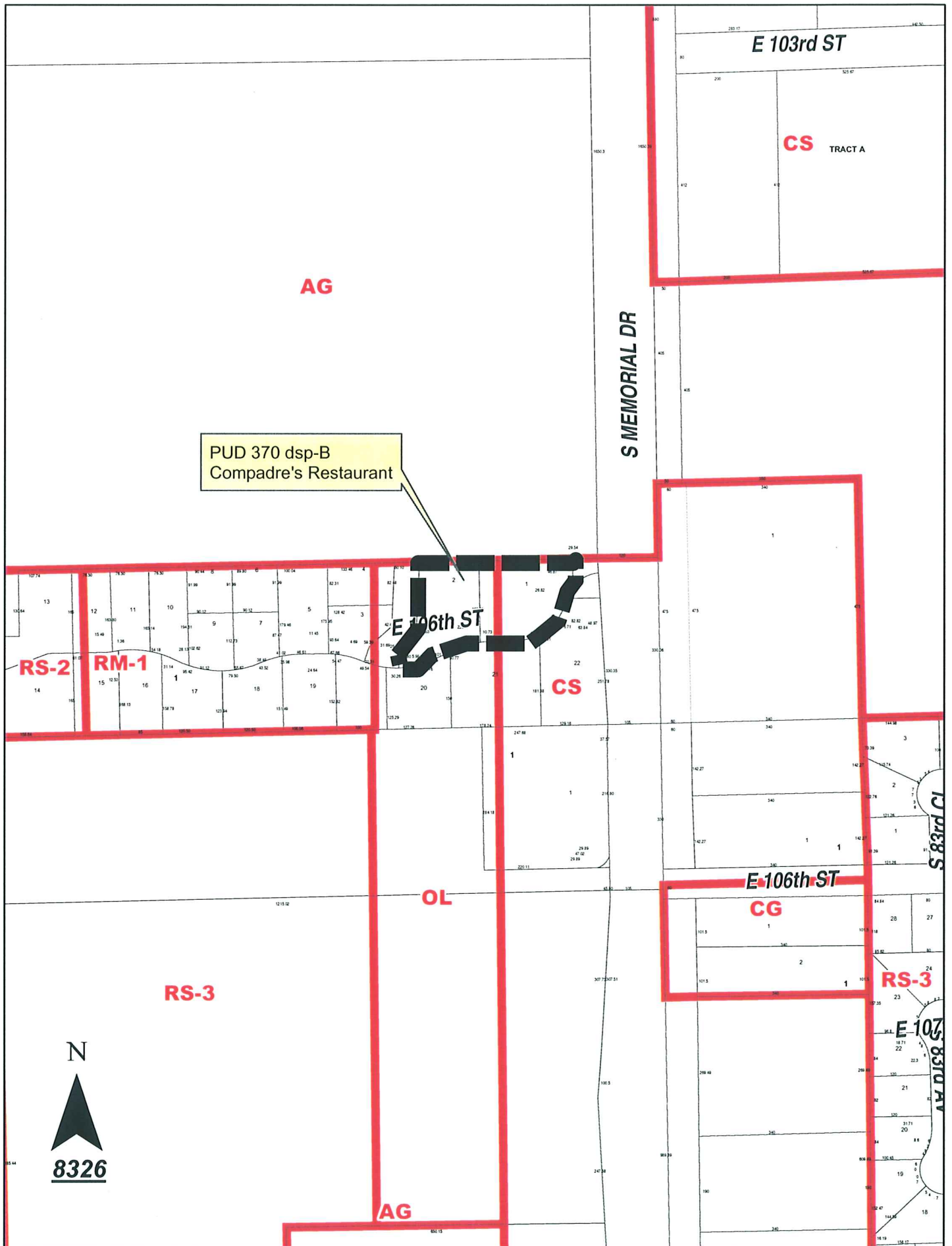
Therefore, staff recommends **APPROVAL** of PUD 664-A detail site plan for the gated entry as proposed.

*(Note: Detail site plan approval does not constitute landscape and sign plan approval.)*



S.F.4











January 3, 2007

### STAFF RECOMMENDATION

**PUD: 370-B**

Detail Site Plan – Compadre's Restaurant; Northwest  
Corner of 106<sup>th</sup> Street South and South Memorial Drive;  
Lots 1 & 2, Block 1, Avalon Park on Memorial; CS/OL/PUD;  
PD-26; CD-8

---

The applicant is requesting approval of a detail site plan for a new 7,352 square foot restaurant. The proposed use, Use Unit 12, Eating Establishments Other than Drive-Ins, is in conformance with Development Standards of PUD 370-B.

The site plan complies with building setback, height and floor area restrictions and meets minimum landscape requirements. Proposed site lighting complies with development standards and the zoning code. Upon TMAPC approval of related lot combination, LC-037, parking will also comply with development standards and the zoning code.

Therefore, staff recommends **APPROVAL** of PUD 370-B detail site plan for the restaurant subject to TMAPC approval of related lot combination LC-037.

*(Note: Detail site plan approval does not constitute landscape and sign plan approval.)*



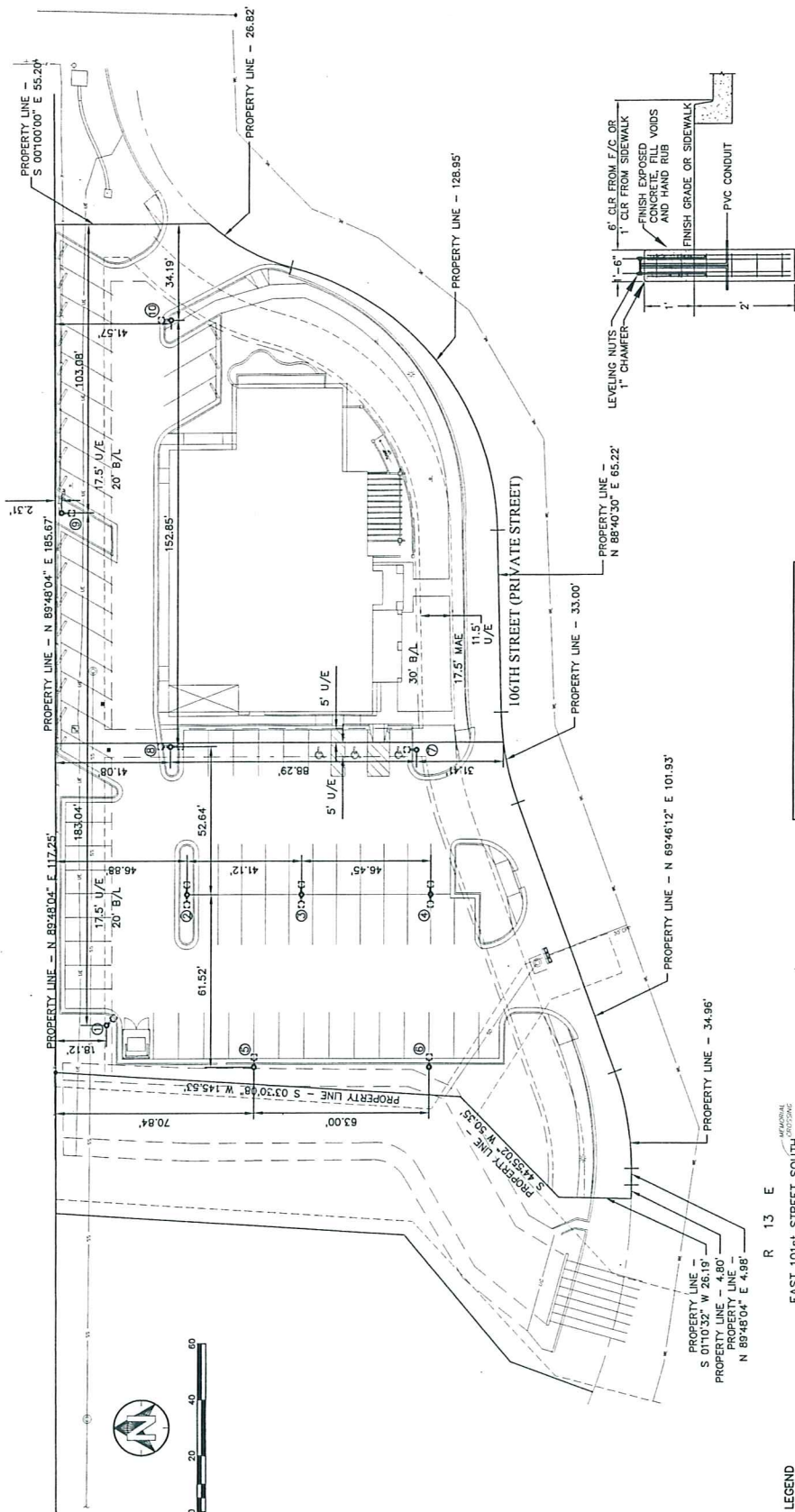




[illegible]

COMPADRES  
RESTAURANT

Location:	Tulsa, OK
Date Issued:	December 15, 2006
Drawn By:	N. Pellier
Drawing Title:	PUD LIGHT PLAN
Drawing Number	1

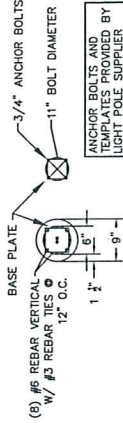


**PUD-370-B DETAIL LIGHT PLAN**

PUD #370-B  
This lot has Residential Zoning 851' to the West  
H max by Kennysunckport Formula = 491.3'  
(LIGHT ANGLE = 60°)  
1-10: H = 15' (15' MAX PER PUD)

**POLE LIGHT BASE DETAIL**

NOT TO SCALE



## 11" Ø ANCHOR BOLT TEMPLATE

NOT TO SCALE



## LOCATION MAP

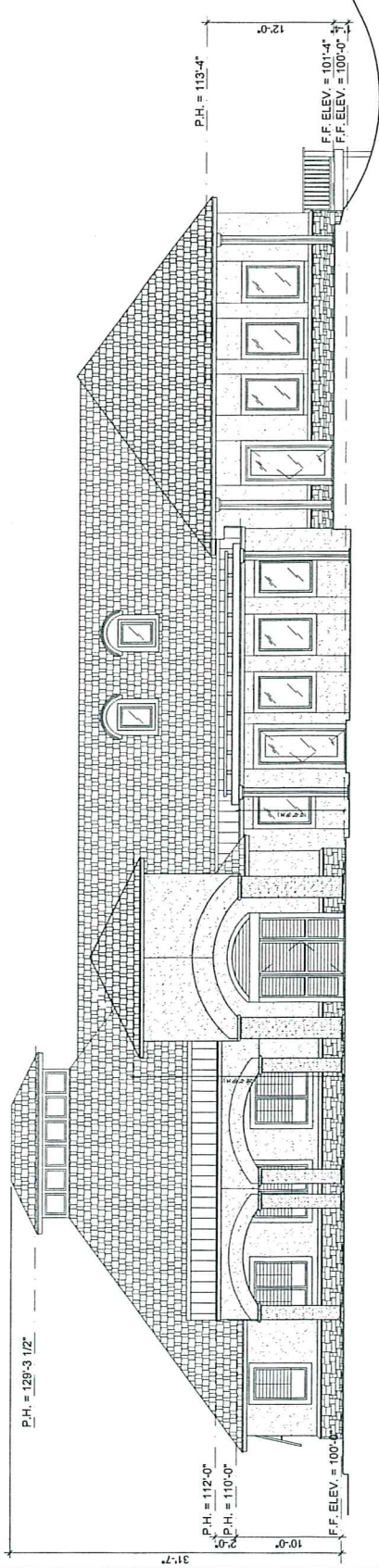
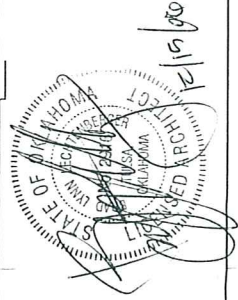
LOCATION MAP

- | LEGEND |                          |
|--------|--------------------------|
| B/A    | BUILDING SETBACK LINE    |
| D/A    | SEWER                    |
| D/E    | DRAINAGE EASEMENT        |
| DD/D   | DOUBLE FLARE DROP INLET  |
| F.F.   | FINISH FLOOR             |
| G      | GAZEBO                   |
| G      | GRASS                    |
| MAE    | MUTUAL ACCESS EASEMENT   |
| MH     | MANHOLE                  |
| OH     | OVERHEAD POWER           |
| OD     | ODORLESS SEWAGE PIPE     |
| RCP    | REINFORCED CONCRETE PIPE |
| ROW    | RIGHT-OF-WAY             |
| SAS    | SANITARY SEWER           |
| SDMH   | STORM DRAIN MANHOLE      |
| SW     | SEWER                    |
| SW     | STORM DRAIN              |
| SW     | TOP OF CURB              |
| UE     | UNDERGROUND ELECTRIC     |
| U/E    | UTILITY EASEMENT         |
| W      | WATERLINE                |
| W/E    | WATERLINE EASEMENT       |
| W/F    | WATER FLOW               |
| PRF    | PREFAB END SECTION       |

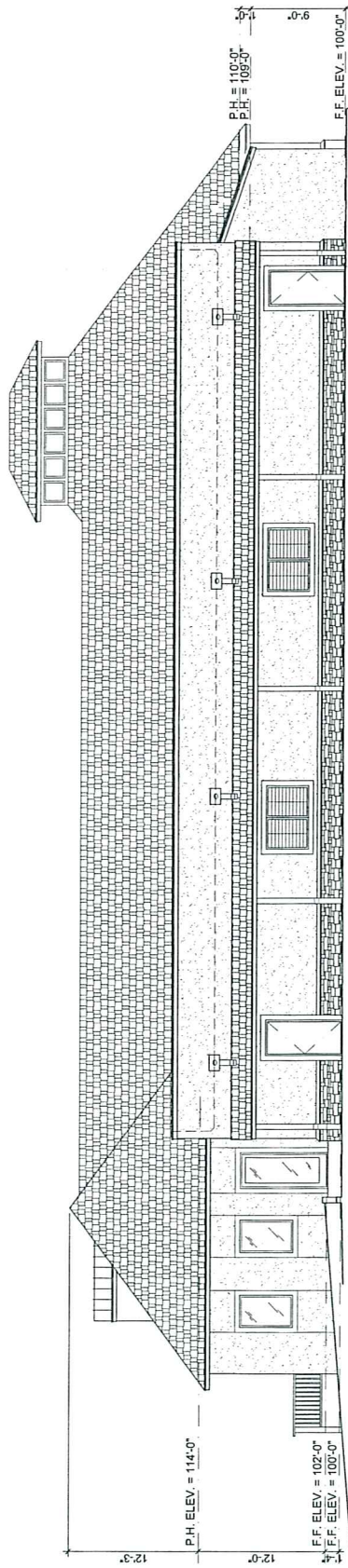
1-800-522-6543

5.6.5





East Elevation  
SCALE 1/8" = 1'-0"



West Elevation  
SCALE 1/8" = 1'-0"



A3.2

PROJECT NO.

DATE

DESIGNER

CLIENT

PROJECT NO.

DATE

DESIGNER

CLIENT

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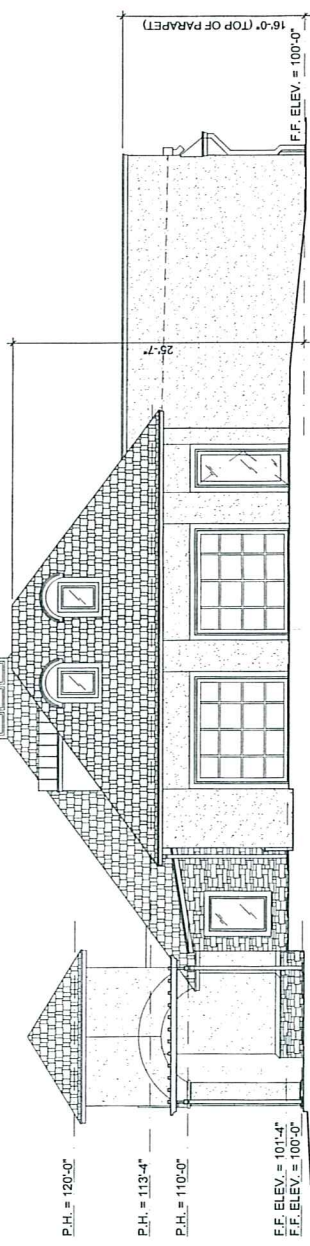
DESIGNER

Compadres Mexican Grill & Cantina  
106th & Memorial  
Tulsa, Oklahoma

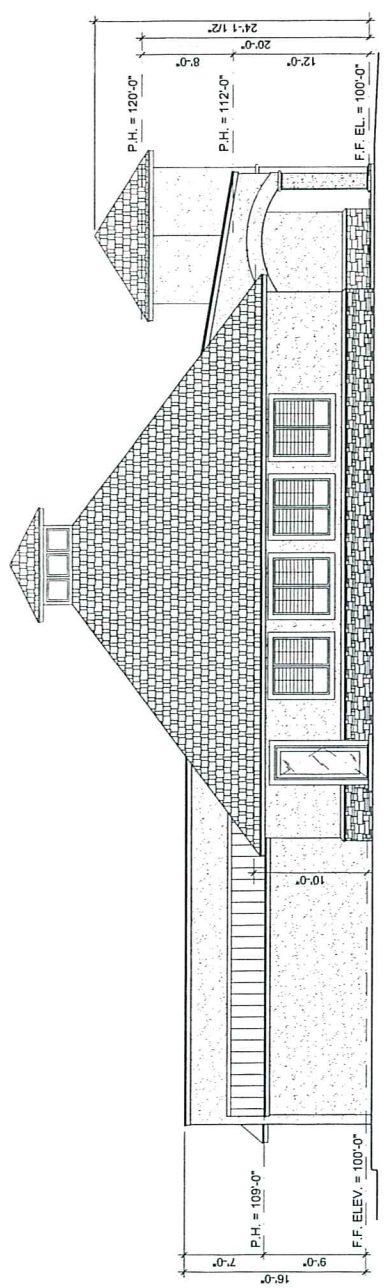
Daman-Lechtenberger, PC  
Architecture - Planning



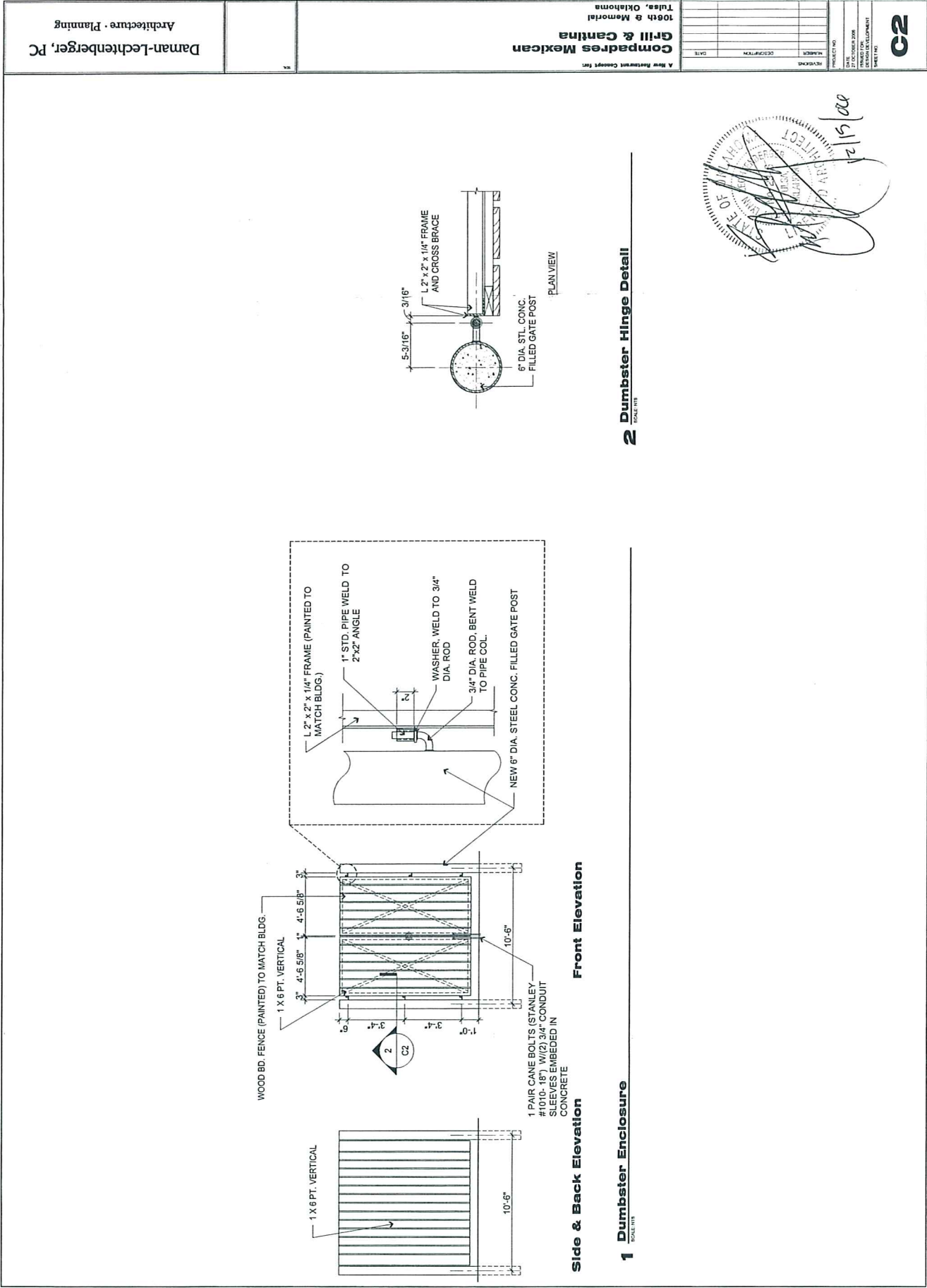
North Elevation  
SCALE: 1/8" = 1'-0"



South Elevation  
SCALE: 1/8" = 1'-0"









# AVALUME

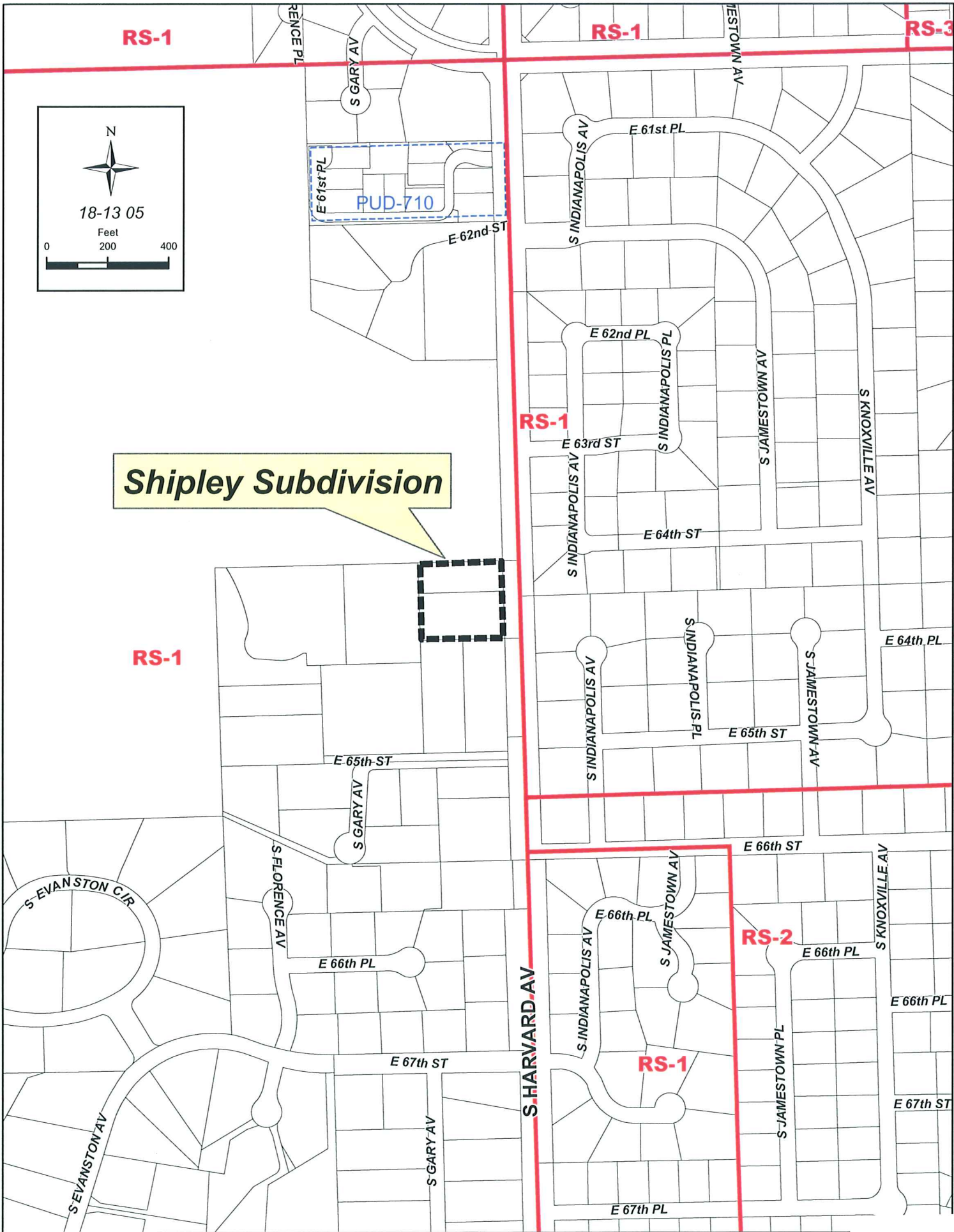
S I T E   L I G H T I N G



EMCO<sup>®</sup>  
LIGHTING

5.6.9















## PRELIMINARY SUBDIVISION PLAT

**Home Center Amended – (8406) (PD 18) (CD 8)**  
6611 South 101<sup>st</sup> East Avenue

This plat consists of ten lots, one block, on 37 acres.

The following issues were discussed December 21, 2006 at the Technical Advisory Committee (TAC) meeting:

1. **Zoning:** The property is zoned PUD 595 B/CO-Z-5970-SP-5. All conditions of the zoning must be met and shown in the restrictive covenants.
2. **Streets:** Confirm and document the status of the proposed right-of-way vacation adjacent to the north. Recommend pulling the mutual access easement on Lot 8 away from the property line to eliminate any implied access to the adjacent service alley (Mathis). Traffic concurs with the construction standards presented for the private streets. Review the location and design of the service drive onto 101<sup>st</sup> East Avenue, as it may encroach the intersection of 66<sup>th</sup> Street and 101<sup>st</sup> East Avenue and any relocation could possibly impact the detention design. Sidewalks are required on public and private street frontages. Include a note on face of plat stating sidewalks are to be constructed accordingly. Sidewalk easements need to be included on both sides of East 67<sup>th</sup> Street South. Sidewalk Easement paragraph needs to be modified to include the additional easement areas noted above. Use correct street names.
3. **Sewer:** No comment.
4. **Water:** A 20 foot waterline easement is needed on the west side of south 104<sup>th</sup> East Avenue from East 68<sup>th</sup> Street South. Meters and addresses must be coordinated through public works. Do not put waterline between Lots 6 and 7. Provide connection details for new fire hydrants.
5. **Storm Drainage:** Storm sewer easements, shown as “vacated” on the face of plat, must be finalized and the recording references included on the plat. The northwest entrance into this subdivision should not encroach on the stormwater detention reserve. Please redesign the limits of this reserve to accommodate this. Please check the City of Tulsa easement width criteria for the larger diameter storm sewer pipes. The 15-foot easement widths for these pipes may need to be increased.
6. **Utilities: Telephone, PSO, ONG, Cable and ONG:** needs easements vacated and relocated.
7. **Other: Fire:** Verify the location of the right-of-way for 66<sup>th</sup> Street in relation to the northwest corner of Lot 1, especially the southwest corner. Sidewalks are needed throughout the addition and per the PUD and CO requirements. Show all lot dimensions on the face of the 100 scale plat in the final plat submittal. Label the highway right-of-way.



Staff recommends **APPROVAL** of the Preliminary Subdivision plat subject to the TAC comments and the special and standard conditions below.

**Waivers of Subdivision Regulations:**

1. A request to waive the sidewalk requirement may be received after the agenda is prepared.

**Special Conditions:**

1. The concerns of the Public Works Department staff must be taken care of to their satisfaction.

**Standard Conditions:**

1. Utility easements shall meet the approval of the utilities. Coordinate with Subsurface Committee if underground plant is planned. Show additional easements as required. Existing easements shall be tied to or related to property line and/or lot lines.
2. Water and sanitary sewer plans shall be approved by the Public Works Department prior to release of final plat. (Include language for W/S facilities in covenants.)
3. Pavement or landscape repair within restricted water line, sewer line, or utility easements as a result of water or sewer line or other utility repairs due to breaks and failures shall be borne by the owner(s) of the lot(s).
4. Any request for creation of a Sewer Improvement District shall be submitted to the Public Works Department Engineer prior to release of final plat.
5. Paving and/or drainage plans (as required) shall be approved by the Public Works Department.
6. Any request for a Privately Financed Public Improvement (PFPI) shall be submitted to the Public Works Department.
7. A topography map shall be submitted for review by TAC (Subdivision Regulations). (Submit with drainage plans as directed.)
8. Street names shall be approved by the Public Works Department and shown on plat.
9. All curve data, including corner radii, shall be shown on final plat as applicable.
10. Bearings, or true N/S, etc., shall be shown on perimeter of land being platted or other bearings as directed by the County Engineer.
11. All adjacent streets, intersections and/or widths thereof shall be shown on plat.



12. It is recommended that the developer coordinate with the Public Works Department during the early stages of street construction concerning the ordering, purchase and installation of street marker signs. (Advisory, not a condition for plat release.)
13. It is recommended that the applicant and/or his engineer or developer coordinate with the Tulsa City/County Health Department for solid waste disposal, particularly during the construction phase and/or clearing of the project. Burning of solid waste is prohibited.
14. The method of sewage disposal and plans therefor shall be approved by the City/County Health Department. [Percolation tests (if applicable) are required prior to preliminary approval of plat.]
15. The owner(s) shall provide the following information on sewage disposal system if it is to be privately operated on each lot: type, size and general location. (This information to be included in restrictive covenants on plat.)
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17. All lots, streets, building lines, easements, etc., shall be completely dimensioned.
18. The key or location map shall be complete.
19. A Corporation Commission letter, Certificate of Non-Development, or other records as may be on file, shall be provided concerning any oil and/or gas wells before plat is released. (A building line shall be shown on plat on any wells not officially plugged. If plugged, provide plugging records.)
20. A "Letter of Assurance" regarding installation of improvements shall be provided prior to release of final plat. (Including documents required under 3.6.5 Subdivision Regulations.)
21. Applicant is advised of his responsibility to contact the U.S. Army Corps of Engineers regarding Section 404 of the Clean Waters Act.
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6. B. 6











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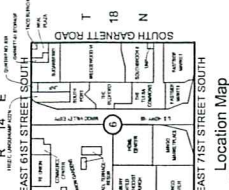
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# Preliminary Plat Home Center Amended

PLAT NO. \_\_\_\_\_

A RESUBDIVISION OF ALL OF LOT ONE (1), BLOCK ONE (1), HOME CENTER, A SUBDIVISION OF PART OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 6, TOWNSHIP 18 NORTH, RANGE 14 EAST, CITY OF TULSA, TULSA COUNTY, OKLAHOMA

**P.U.D. NO. 595-B/Corridor District Site Plan No. Z-5970-SP-5**

**Owner:**  
DLB Investments, LLC  
An Oklahoma Limited Liability Company  
P.O. Box 22845  
Oklahoma City, Oklahoma 73123  
Phone: (405) 951-1233  
Contact: Mr. Calvin Worth

**Engineer/Surveyor:**  
Sisemore Weisz & Associates, Inc.  
Certified Professional Surveyor  
2100 N. Lincoln Blvd., Suite 200  
Tulsa, Oklahoma 74135  
Phone: (918) 665-3600  
E-mail: gweisz@sw-assoc.com

**Subdivision Statistics:**  
RESUBDIVISION OF ALL OF LOT ONE (1), BLOCK ONE (1), HOME CENTER, A SUBDIVISION OF PART OF THE NORTHEAST QUARTER (NE 1/4) OF SECTION 6, TOWNSHIP 18 NORTH, RANGE 14 EAST, CITY OF TULSA, TULSA COUNTY, OKLAHOMA  
RESERVE AREA "X" CONTAINS 3.42 ACRES (148,761.51 SF)  
RESERVE AREA "Y" CONTAINS 1.28 ACRES (55,341.13 SF)  
SUBDIVISION CONTAINS 37.24 TOTAL ACRES (1,622,621.31 SF)

**Legend:**  
UE = UTILITY EASEMENT  
B.M. = BENCHMARK  
S.D. = SURVEYOR'S DEDICATION  
S.D.E. = SURVEYOR'S DEDICATION EASEMENT  
W.D. = WATER DEDICATION  
W.D.E. = WATER DEDICATION EASEMENT  
F.A. = FENCE  
F.O.B. = POINT OF BEGINNING  
M.A.E. = MUTUAL ACCESS EASEMENT

**Monumentation:**  
3" IRON PINS TO BE SET AT ALL PROPERTY CORNERS.  
THE BEARING BASE FOR THIS PLAT IS BASED ON THE SURVEY OF THE TULSA COUNTY RECORDS PLAT NO. 481.

**Basis of Bearing:**  
THE BEARING BASE FOR THIS PLAT IS BASED ON THE SURVEY OF THE TULSA COUNTY RECORDS PLAT NO. 481.

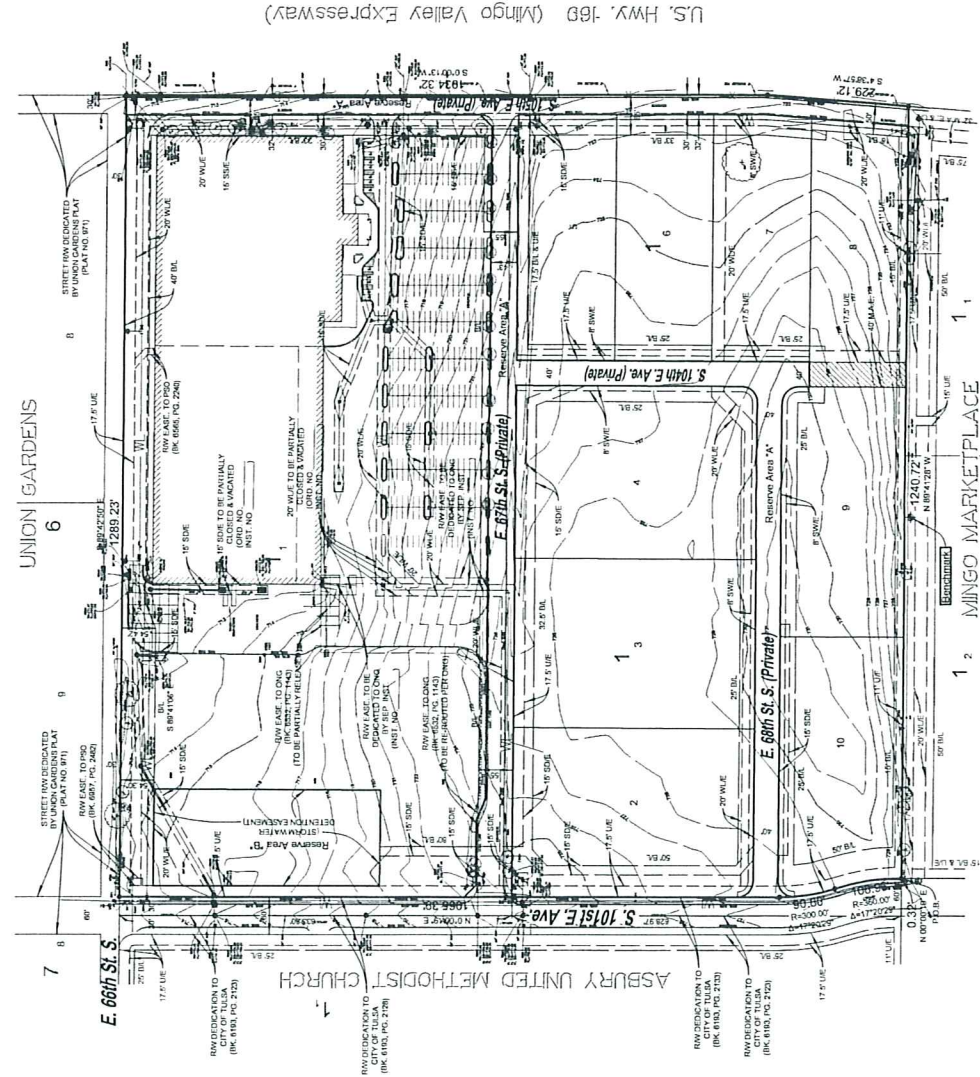
**Benchmark:**  
644 WEST OF THE NE CORNER OF LOT 1, BLOCK 1, WINGED MARTIN CHURCH, ELEVATION 172.15

**Note:**  
EASEMENTS, BUILDING LINES, AND STREET RIGHT-OF-WAY LINES SHOWN ON THIS PLAT ARE BASED ON THE SURVEY OF THE TULSA COUNTY RECORDS PLAT NO. 481. LOT 1, BLOCK 1, WINGED MARTIN CHURCH AND LOT 1, BLOCK 1, WINGED MARTIN CHURCH ARE NOT THE RECORDED PLAT OF THE CHURCH (PLAT NO. 549), AND UNION GARDENS (PLAT NO. 971).

**Location Map**  
SCALE 1"=400'

NOTE: SEE SHEETS 2 AND 3 FOR ALL INTERIOR DIVISIONS.

Preliminary Plat  
Home Center Amended  
Sheet 1 of 1



**FINAL PLAT**  
**CERTIFICATE OF APPROVAL**  
I hereby certify that this plat was approved by the Tulsa Metropolitan Planning Commission.

This approval is void if the City of Tulsa does not approve of the City Clerk's use of reference:

on \_\_\_\_\_ CITY ENGINEER

APPROVED \_\_\_\_\_ By the Council of the City of Tulsa, Oklahoma

Chairman \_\_\_\_\_ Mayor \_\_\_\_\_ Alder City Clerk \_\_\_\_\_

Approved: City Attorney \_\_\_\_\_

STATE OF OKLAHOMA )  
COUNTY OF TULSA ) SS  
I, Elaine Weisz, Trust County Clerk, do hereby certify that the foregoing is a true and correct copy of the instrument as the same appears on file in my office.

Witness my hand and the seal of said County Clerk at Tulsa, Oklahoma, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

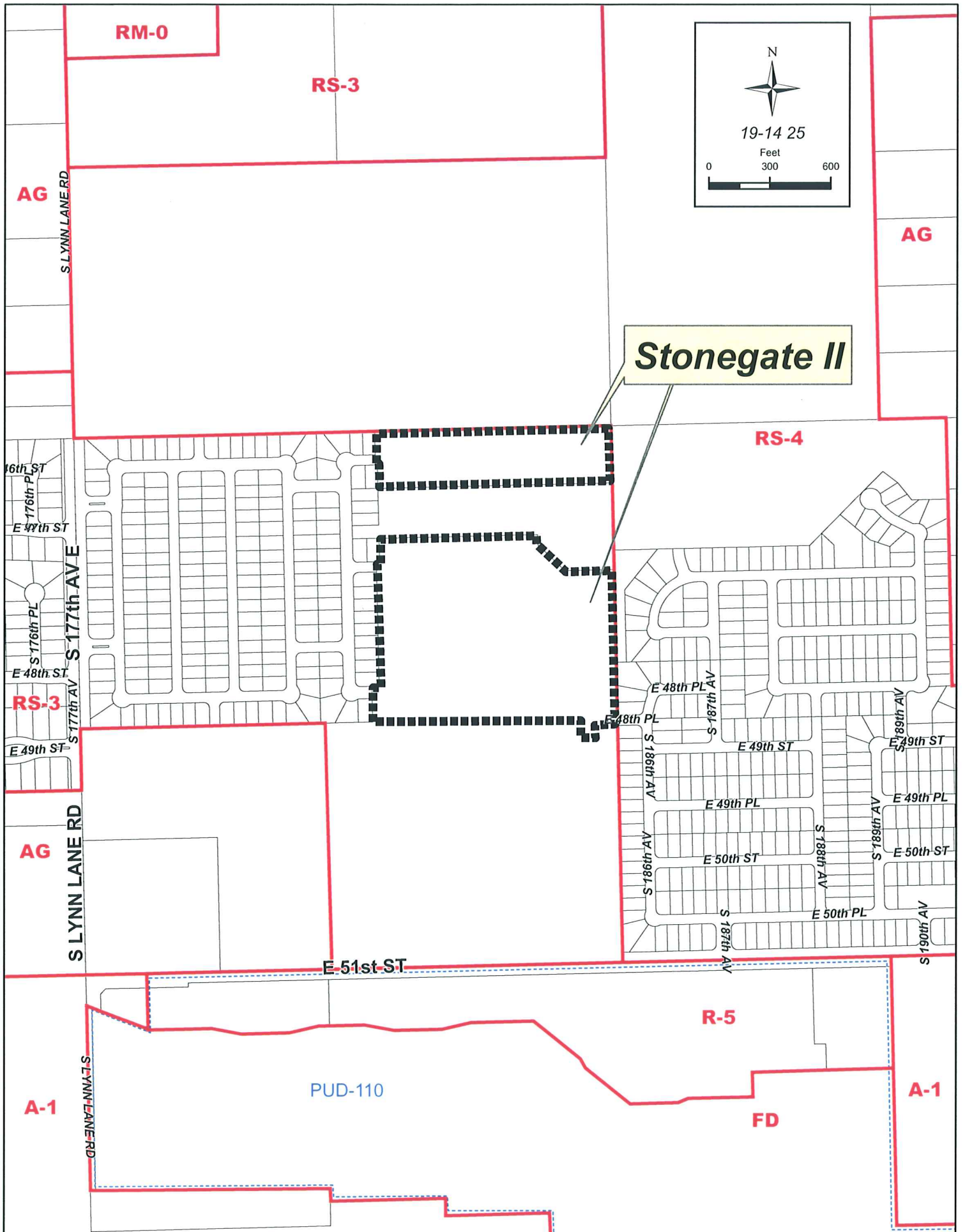
Elaine Weisz, Trust County Clerk

\_\_\_\_\_  
Deputy

Lot Area Table		
LOT	BLOCK	LOT SIZE (SQUARE FEET)
1	1	105,329.27
2	1	105,329.27
3	1	105,329.27
4	1	105,329.27
5	1	105,329.27
6	1	105,329.27
7	1	105,329.27
8	1	105,329.27
9	1	105,329.27
10	1	105,329.27

6.B.6







N

**Stonegate II**

19-14 25

Feet  
0 300 600



6.C.2



## PRELIMINARY SUBDIVISION PLAT

**Stonegate II - (9425)** (PD 17) (CD 6)  
Northeast corner of East 51<sup>st</sup> Street and 177<sup>th</sup> East Avenue

This plat consists of 133 Lots, 8 Blocks, on 30 acres.

The following issues were discussed December 21, 2006 at the Technical Advisory Committee (TAC) meeting:

1. **Zoning:** The property is zoned RS-3. Show square footages per lot.
2. **Streets:** Relocate the stub street in block 1 further west in order to reduce the long, straight 950 foot block along East 46<sup>th</sup> Street to a reasonable length of 600 to 700 feet. Please use one name for the Home Owners' Association consistently in Section III A I and A 2 B and also III F. Provide for an adequate transition on 185<sup>th</sup> East Avenue at 48<sup>th</sup> Place. (A symmetric transition from 60 to 50 feet may require less right-of-way than non-symmetric.) PFPI plans submitted for review may need revision pending acceptance by adjoining developers of Traffic's recommended changes in street layout, i.e., moving the northern leg of South 184<sup>th</sup> East Avenue to the west. Include note stating sidewalks are to be constructed on all streets. Include standard language for sidewalk construction.
3. **Sewer:** Reserve C is not shown as a utility easement. Therefore, back lot easements adjacent to the Reserve must be 17.5 feet wide instead of 11 feet wide. Add dimensions for all existing easements on the face of the plat. Add an easement with a minimum width of 15 feet for the sanitary sewer along the east side of Lot 13 Block 3. In Reserve A, a pool house and a swimming pool are not allowed to encroach on a utility easement. Add an 11 foot utility easement along the south line of the Reserve, or increase the back lot easement for Lots 1-3, Block 8 to a 17.5 foot easement. Do not locate fire hydrants over sanitary sewer lines. Maintain the 10 foot separation required for water and sewer lines. Engineering wastewater design comments that the Stone Creek Farms Lift Station must be complete and flow diverted to the Lift station before the new lines are tied into the southeast corner of the development.
4. **Water:** Add language in Reserve A for water main crossing. Provide blow-off hydrants at each dead end line. Move water service lines away from storm water easement on Lots 7 and 8, Block 1 and Lot 13, Block 3. Change alignment of water line on South 185<sup>th</sup> East Avenue to east side of street. Move fire hydrant to property line of Lots 12 and 13 on East 48<sup>th</sup> Place South.



5. **Storm Drainage:** Add exact plat name and number to the label for existing Reserve C. Add a legend to define the abbreviations and different lines being used on the face of plat. If the Homeowners in this subdivision will share maintenance responsibilities for the overland drainage easement and the stormwater detention facility in existing Reserve C of the neighboring plat and homeowners' association, then the standard language for both of them, along with their prorated responsibility, must be added to the Covenants. Recommend removal or labeling of the crop circles, or whatever they are.
6. **Utilities: Telephone, PSO, ONG, Cable:** Additional easements may be needed.
7. **Other: Fire:** Cul-de-sacs greater than two hundred and fifty feet in length shall have a turn-around radius of not less than forty feet of paving and a radius of fifty-two feet of right-of-way at the property line. The Cul-de-sac on 48<sup>th</sup> Street shall have a 52 foot radius. Add dimension arrows to visually clarify the dimensions and bearings for both points-of-beginning. Square footage for each lot must be shown. Ownership declaration with legal description and dedications need to be under their appropriate section headings.

Staff recommends **APPROVAL** of the Preliminary Subdivision plat subject to the TAC comments and the special and standard conditions below.

**Waivers of Subdivision Regulations:**

1. None requested.

**Special Conditions:**

1. The concerns of the public works department staff must be taken care of to their satisfaction.

**Standard Conditions:**

1. Utility easements shall meet the approval of the utilities. Coordinate with Subsurface Committee if underground plant is planned. Show additional easements as required. Existing easements shall be tied to or related to property line and/or lot lines.
2. Water and sanitary sewer plans shall be approved by the Public Works Department prior to release of final plat. (Include language for W/S facilities



in covenants.)

3. Pavement or landscape repair within restricted water line, sewer line, or utility easements as a result of water or sewer line or other utility repairs due to breaks and failures, shall be borne by the owner(s) of the lot(s).
4. Any request for creation of a Sewer Improvement District shall be submitted to the Public Works Department Engineer prior to release of final plat.
5. Paving and/or drainage plans (as required) shall be approved by the Public Works Department.
6. Any request for a Privately Financed Public Improvement (PFPI) shall be submitted to the Public Works Department.
7. A topo map shall be submitted for review by TAC (Subdivision Regulations). (Submit with drainage plans as directed.)
8. Street names shall be approved by the Public Works Department and shown on plat.
9. All curve data, including corner radii, shall be shown on final plat as applicable.
10. Bearings, or true N/S, etc., shall be shown on perimeter of land being platted or other bearings as directed by the County Engineer.
11. All adjacent streets, intersections and/or widths thereof shall be shown on plat.
12. It is recommended that the developer coordinate with the Public Works Department during the early stages of street construction concerning the ordering, purchase and installation of street marker signs. (Advisory, not a condition for plat release.)
13. It is recommended that the applicant and/or his engineer or developer coordinate with the Tulsa City/County Health Department for solid waste disposal, particularly during the construction phase and/or clearing of the project. Burning of solid waste is prohibited.
14. The method of sewage disposal and plans therefore shall be approved by the City/County Health Department. [Percolation tests (if applicable) are required prior to preliminary approval of plat.]
15. The owner(s) shall provide the following information on sewage disposal system if it is to be privately operated on each lot: type, size and general location. (This information to be included in restrictive covenants on plat.)
16. The method of water supply and plans therefore shall be approved by the City/County Health Department.
17. All lots, streets, building lines, easements, etc., shall be completely dimensioned.



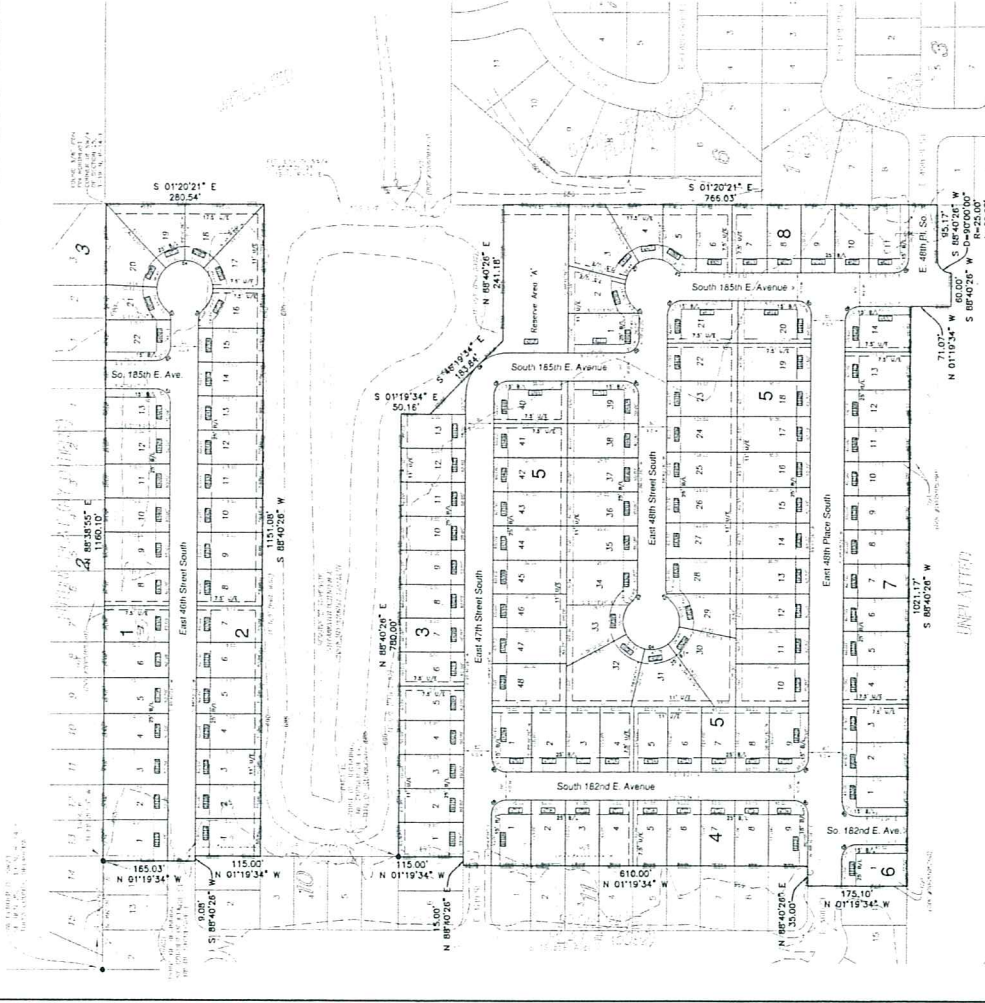
18. The key or location map shall be complete.
19. A Corporation Commission letter, Certificate of Non-Development, or other records as may be on file, shall be provided concerning any oil and/or gas wells before plat is released. (A building line shall be shown on plat on any wells not officially plugged. If plugged, provide plugging records.)
20. A "Letter of Assurance" regarding installation of improvements shall be provided prior to release of final plat. (Including documents required under 3.6.5 Subdivision Regulations.)
21. Applicant is advised of his responsibility to contact the U.S. Army Corps of Engineers regarding Section 404 of the Clean Waters Act.
22. All other Subdivision Regulations shall be met prior to release of final plat.
23. All PUD standards and conditions shall be included in the covenants of the plat and adequate mechanisms established to assure initial and continued compliance with the standards and conditions.
24. Private streets shall be built to City or County standards (depending upon the jurisdiction in which the plat is located) and inspected and accepted by same prior to issuance of any building permits in the subdivision.



# Preliminary Plat Stonegate II

AN ADDITION TO THE CITY OF TULSA  
BEING A SUBDIVISION OF THE SW/4 OF SECTION 25, TOWNSHIP 19 NORTH, RANGE 14 EAST, TULSA COUNTY, OKLAHOMA

PLAT NO.



## Project Data

**OWNER/DEVELOPER**  
LUNA LAND, S.L.L.C.  
401 SOUTH 10TH STREET, SUITE 200  
TULSA, OKLAHOMA 74106  
**ENGINEER/SURVEYOR**  
CONRAD & ASSOCIATES, INC.  
111 SOUTH GARDEN AVENUE  
TULSA, OKLAHOMA 74106  
**MUNICIPAL AUTHORITY**  
CITY OF TULSA  
111 SOUTH GARDEN AVENUE  
TULSA, OKLAHOMA 74106  
**ADDRESSES**  
ADDRESSES SHOWN ON THIS PLAT WERE  
OBTAINED FROM THE TULSA COUNTY  
RECORDS. ADDRESSES ARE SUBJECT TO  
CHANGE. ADDRESSES ARE SHOWN  
ON IN PLAT OF LEGAL DESCRIPTION.

## Site Data

**GENERAL LOCATION**  
PART OF SW/4 SECTION 25, TOWNSHIP 19 NORTH,  
RANGE 14 EAST, TULSA COUNTY, OKLAHOMA  
**MONUMENTATION**  
A 5/8" X 1/8" BIRMINGHAM BAR WITH A BRASS PLATE  
IDENTIFYING THE CORNER. THE CORNER IS  
LOCATED AT THE INTERSECTION OF THE  
BOUNDARY CORNERS. PRIOR TO RECORDATION UNLESS  
NOTED OTHERWISE.  
A 1/2" X 1/8" BIRMINGHAM BAR WITH A BRASS PLATE  
IDENTIFYING THE CORNER. THE CORNER IS  
LOCATED AT THE INTERSECTION OF THE  
BOUNDARY CORNERS. PRIOR TO RECORDATION UNLESS  
NOTED OTHERWISE.  
A 3/4" X 1/8" BIRMINGHAM BAR WITH A BRASS PLATE  
IDENTIFYING THE CORNER. THE CORNER IS  
LOCATED AT THE INTERSECTION OF THE  
BOUNDARY CORNERS. PRIOR TO RECORDATION UNLESS  
NOTED OTHERWISE.  
**BENCHMARK**  
A 3/4" X 1/8" BIRMINGHAM BAR WITH A BRASS PLATE  
IDENTIFYING THE CORNER. THE CORNER IS  
LOCATED AT THE INTERSECTION OF THE  
BOUNDARY CORNERS. PRIOR TO RECORDATION UNLESS  
NOTED OTHERWISE.  
**BASIS OF BEARINGS**  
BEARINGS WERE OBTAINED FROM THE TULSA  
COUNTY RECORDS. THE BEARINGS WERE  
OBTAINED FROM THE TULSA COUNTY RECORDS.  
SW/4 OF SECTION 25, TOWNSHIP 19 NORTH,  
RANGE 14 EAST, TULSA COUNTY, OKLAHOMA  
EFFECTIVE DATE: SEP. 22, 1999 (ENGINEERED ZONE "S")  
**FLOOD NOTE**  
FEMA FIRM PANEL: 40130004A & 40130004B  
EFFECTIVE DATE: SEP. 22, 1999 (ENGINEERED ZONE "S")  
**LAND AREA**  
30.53 AC ±

**CURVE TABLE**

STATION	CHORD BEARING	CHORD DISTANCE	CHORD BEARING	CHORD DISTANCE
1	S 01°20'21" E	280.24	S 01°20'21" E	280.24
2	S 01°20'21" E	280.24	S 01°20'21" E	280.24
3	S 01°20'21" E	280.24	S 01°20'21" E	280.24
4	S 01°20'21" E	280.24	S 01°20'21" E	280.24
5	S 01°20'21" E	280.24	S 01°20'21" E	280.24
6	S 01°20'21" E	280.24	S 01°20'21" E	280.24
7	S 01°20'21" E	280.24	S 01°20'21" E	280.24
8	S 01°20'21" E	280.24	S 01°20'21" E	280.24
9	S 01°20'21" E	280.24	S 01°20'21" E	280.24
10	S 01°20'21" E	280.24	S 01°20'21" E	280.24
11	S 01°20'21" E	280.24	S 01°20'21" E	280.24
12	S 01°20'21" E	280.24	S 01°20'21" E	280.24
13	S 01°20'21" E	280.24	S 01°20'21" E	280.24
14	S 01°20'21" E	280.24	S 01°20'21" E	280.24
15	S 01°20'21" E	280.24	S 01°20'21" E	280.24
16	S 01°20'21" E	280.24	S 01°20'21" E	280.24
17	S 01°20'21" E	280.24	S 01°20'21" E	280.24
18	S 01°20'21" E	280.24	S 01°20'21" E	280.24
19	S 01°20'21" E	280.24	S 01°20'21" E	280.24
20	S 01°20'21" E	280.24	S 01°20'21" E	280.24
21	S 01°20'21" E	280.24	S 01°20'21" E	280.24
22	S 01°20'21" E	280.24	S 01°20'21" E	280.24
23	S 01°20'21" E	280.24	S 01°20'21" E	280.24
24	S 01°20'21" E	280.24	S 01°20'21" E	280.24
25	S 01°20'21" E	280.24	S 01°20'21" E	280.24
26	S 01°20'21" E	280.24	S 01°20'21" E	280.24
27	S 01°20'21" E	280.24	S 01°20'21" E	280.24
28	S 01°20'21" E	280.24	S 01°20'21" E	280.24
29	S 01°20'21" E	280.24	S 01°20'21" E	280.24
30	S 01°20'21" E	280.24	S 01°20'21" E	280.24
31	S 01°20'21" E	280.24	S 01°20'21" E	280.24
32	S 01°20'21" E	280.24	S 01°20'21" E	280.24
33	S 01°20'21" E	280.24	S 01°20'21" E	280.24
34	S 01°20'21" E	280.24	S 01°20'21" E	280.24
35	S 01°20'21" E	280.24	S 01°20'21" E	280.24
36	S 01°20'21" E	280.24	S 01°20'21" E	280.24
37	S 01°20'21" E	280.24	S 01°20'21" E	280.24
38	S 01°20'21" E	280.24	S 01°20'21" E	280.24
39	S 01°20'21" E	280.24	S 01°20'21" E	280.24
40	S 01°20'21" E	280.24	S 01°20'21" E	280.24
41	S 01°20'21" E	280.24	S 01°20'21" E	280.24
42	S 01°20'21" E	280.24	S 01°20'21" E	280.24
43	S 01°20'21" E	280.24	S 01°20'21" E	280.24
44	S 01°20'21" E	280.24	S 01°20'21" E	280.24
45	S 01°20'21" E	280.24	S 01°20'21" E	280.24
46	S 01°20'21" E	280.24	S 01°20'21" E	280.24
47	S 01°20'21" E	280.24	S 01°20'21" E	280.24

STATE OF OKLAHOMA }  
COUNTY OF TULSA }  
I, \_\_\_\_\_, County Clerk, do hereby certify that the foregoing is a true and correct copy of a file submitted to the County Clerk's Office for recording.

## CERTIFICATE

I hereby certify that all the matters herein contained in this plat have been duly considered and approved by the City of Tulsa, Oklahoma, and that the same are in accordance with the laws of the State of Oklahoma. This certificate is given in order to certify that the plat may be filed in the County Clerk's Office for recording.

By \_\_\_\_\_  
Tulsa County Treasurer

**PLAT DATA**

I hereby certify that this plat was prepared by the Tulsa Metropolitan Planning Commission.

This approval is void if this plat is not filed in the office of the County Clerk on or before \_\_\_\_\_.

**CITY ENGINEER**  
By \_\_\_\_\_  
City of Tulsa  
Oklahoma

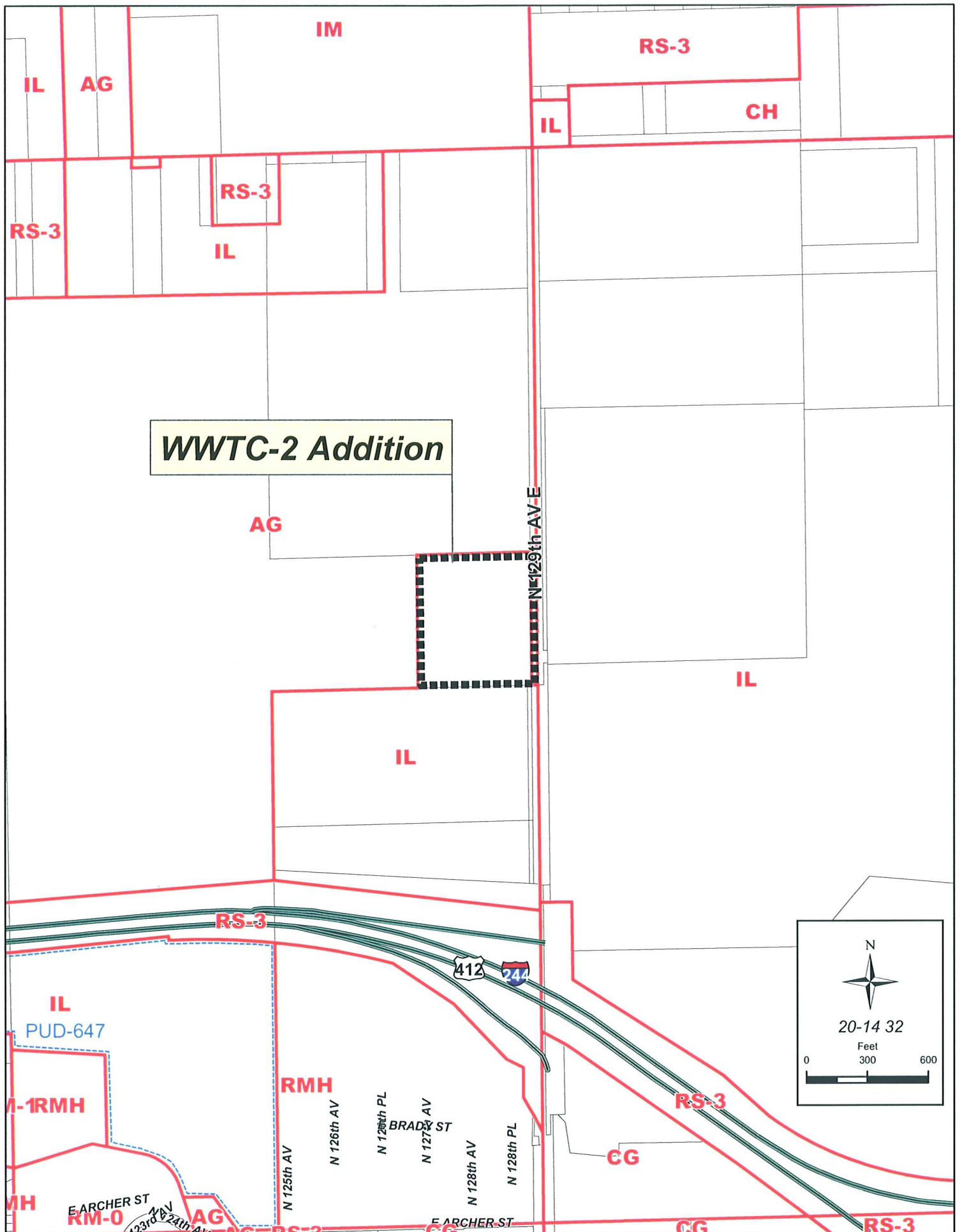
**APPROVED**  
By \_\_\_\_\_  
Mayor

**CLIENT**  
Client City Clerk

Stonegate II  
Sheet 1 of 3

6.C.7





6.D.1





N

**WWTC-2 Addition**

20-14 32

Feet  
0 300 600

6.D.2



## PRELIMINARY SUBDIVISION PLAT

**WWTC** – (0432) (PD 16) (CD 6)  
1006 North 129<sup>th</sup> East Avenue

This plat consists of one lot, one block, on 9.5 acres.

The following issues were discussed December 21, 2006 at the Technical Advisory Committee (TAC) meeting:

1. **Zoning:** The property is zoned IL. A sidewalk waiver request should be submitted in writing with a site plan and reason for the waiver.
2. **Streets:** No comment.
3. **Sewer:** Add language to the covenants requiring the owners to disconnect from the Aerobic sewer system and connect to the City of Tulsa sewer main within 90 days of it becoming available for connection.
4. **Water:** No comment.
5. **Storm Drainage:** The extra limits of the "City of Tulsa Eagle Creek Regulatory Floodplain" must be plotted on the face of plat by using the 100-year water surface elevations across the site. The overland drainage easement for that floodplain must include the floodplain plus a minimum of an additional 20 feet outside and adjacent to the limits of the floodplain. The leaders from the label for the overland drainage easement must extend to touch the easement boundary line.
6. **Utilities: Telephone, PSO, ONG, and Cable:** Okay.
7. **Other: Fire:** Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life saving or fire fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type and shall contain keys to gain necessary access as required by the fire code official. Provide a Knox Box or padlock on the yard gates. Show the approved building setback lines on all four sides. The encroachment of the current building setback line on the north needs to be resolved. Location map needs to be correct. Add a meets and bounds description showing the bearing and distance of the boundary after the legal description.



Staff recommends **APPROVAL** of the Preliminary Subdivision plat subject to the TAC comments and the special and standard conditions below:

**Waivers of Subdivision Regulations:**

1. A sidewalk waiver is being requested. A site plan and letter requesting the waiver will be forwarded to the planning commission as soon as possible after they are submitted (anticipated after agenda preparation).

**Special Conditions:**

1. The concerns of the Public Works Department staff must be taken care of to their satisfaction.

**Standard Conditions:**

1. Utility easements shall meet the approval of the utilities. Coordinate with Subsurface Committee if underground plant is planned. Show additional easements as required. Existing easements shall be tied to or related to property line and/or lot lines.
2. Water and sanitary sewer plans shall be approved by the Public Works Department prior to release of final plat. (Include language for W/S facilities in covenants.)
3. Pavement or landscape repair within restricted water line, sewer line, or utility easements as a result of water or sewer line or other utility repairs due to breaks and failures, shall be borne by the owner(s) of the lot(s).
4. Any request for creation of a Sewer Improvement District shall be submitted to the Public Works Department Engineer prior to release of final plat.
5. Paving and/or drainage plans (as required) shall be approved by the Public Works Department.
6. Any request for a Privately Financed Public Improvement (PFPI) shall be submitted to the Public Works Department.
7. A topography map shall be submitted for review by TAC (Subdivision Regulations). (Submit with drainage plans as directed.)
8. Street names shall be approved by the Public Works Department and shown on plat.
9. All curve data, including corner radii, shall be shown on final plat as applicable.
10. Bearings, or true N/S, etc., shall be shown on perimeter of land being platted or other bearings as directed by the County Engineer.
11. All adjacent streets, intersections and/or widths thereof shall be shown on plat.



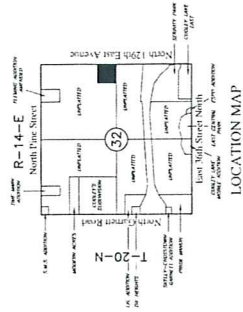
12. It is recommended that the developer coordinate with the Public Works Department during the early stages of street construction concerning the ordering, purchase and installation of street marker signs. (Advisory, not a condition for plat release.)
13. It is recommended that the applicant and/or his engineer or developer coordinate with the Tulsa City/County Health Department for solid waste disposal, particularly during the construction phase and/or clearing of the project. Burning of solid waste is prohibited.
14. The method of sewage disposal and plans therefor shall be approved by the City/County Health Department. [Percolation tests (if applicable) are required prior to preliminary approval of plat.]
15. The owner(s) shall provide the following information on sewage disposal system if it is to be privately operated on each lot: type, size and general location. (This information to be included in restrictive covenants on plat.)
16. The method of water supply and plans therefor shall be approved by the City/County Health Department.
17. All lots, streets, building lines, easements, etc., shall be completely dimensioned.
18. The key or location map shall be complete.
19. A Corporation Commission letter, Certificate of Non-Development, or other records as may be on file, shall be provided concerning any oil and/or gas wells before plat is released. (A building line shall be shown on plat on any wells not officially plugged. If plugged, provide plugging records.)
20. A "Letter of Assurance" regarding installation of improvements shall be provided prior to release of final plat. (Including documents required under 3.6.5 Subdivision Regulations.)
21. Applicant is advised of his responsibility to contact the U.S. Army Corps of Engineers regarding Section 404 of the Clean Waters Act.
22. All other Subdivision Regulations shall be met prior to release of final plat.
23. All PUD standards and conditions shall be included in the covenants of the plat and adequate mechanisms established to assure initial and continued compliance with the standards and conditions.
24. Private streets shall be built to City or County standards (depending upon the jurisdiction in which the plat is located) and inspected and accepted by same prior to issuance of any building permits in the subdivision.



# WWTC-2 Addition

An Addition to the City of Tulsa being located in the SE/4 of the NE/4 of Section 32, Township 20 North, Range 14 East, of the I. B. & M., Tulsa County, State of Oklahoma

Addition has 1 Lots in 1 Block, and contains 9.52 acres, more or less.



**LEGEND**  
 U/E = UTILITY EASEMENT  
 B/L = BUILDING LINE  
 LMA = LIMITS OF NO ACCESS  
 (XXX) = STREET ADDRESS

**BEARING BASIS**  
 The bearings shown herein are based on the National Plane Coordinate System NAD 83 (1983).

**BENCHMARK**  
 No. 1  
 600 Nail with Brass Set in the West  
 Corner of Wood Guard Post, 1.0  
 above ground.  
 N=43507.074  
 E=2607981.355  
 Elevation=688.41 (NGVD 1929)

**SIDEWALKS**  
 A sidewalk is located within the public right-of-way of North 129th East Avenue abutting the East side of Lot 1, Block 1.

**ADDRESSES**  
 Addresses shown on this plat were accurate at the time this plat was filed. Addresses are subject to change and should never be relied on in place of legal description.

**OWNER**  
**WWTC LLC**  
 c/o The Ross Group Construction Company  
 103 South 109th East Ave.  
 Tulsa, Oklahoma 74128  
 (918) 234-8811 fax  
 (918) 234-3811 fax  
 Contact: David Thomas

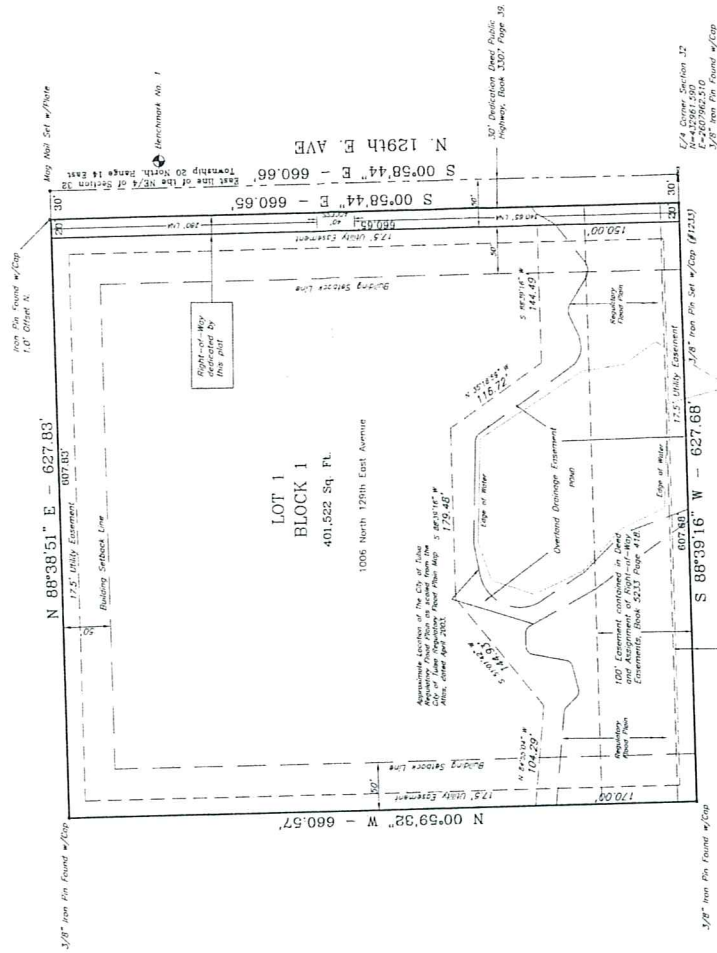
**ENGINEER**  
**Cynergy Engineering, PLLC**  
 320 South Boston, 12th Floor  
 Tulsa, Oklahoma 74103  
 (918) 877-6000  
 (918) 877-4000 fax  
 Certificate of Authorization No. 3537  
 Expires June 30, 2008

**SURVEYOR**  
**Harden & Associates**  
**Surveying and Mapping, PC**  
 2001 South 114th East Avenue  
 Tulsa, Oklahoma 74128  
 (918) 234-4859  
 Certificate of Authorization No. 4656  
 Expires June 30, 2007

RECEIVED

PLAT NO. 1 OF 2

WWTC-2 Addition, Tulsa County  
 Preliminary Plat, November 28, 2006



20' Right-of-Way Agreement to  
 be filed with this plat.  
 Book 3517 Page 2006

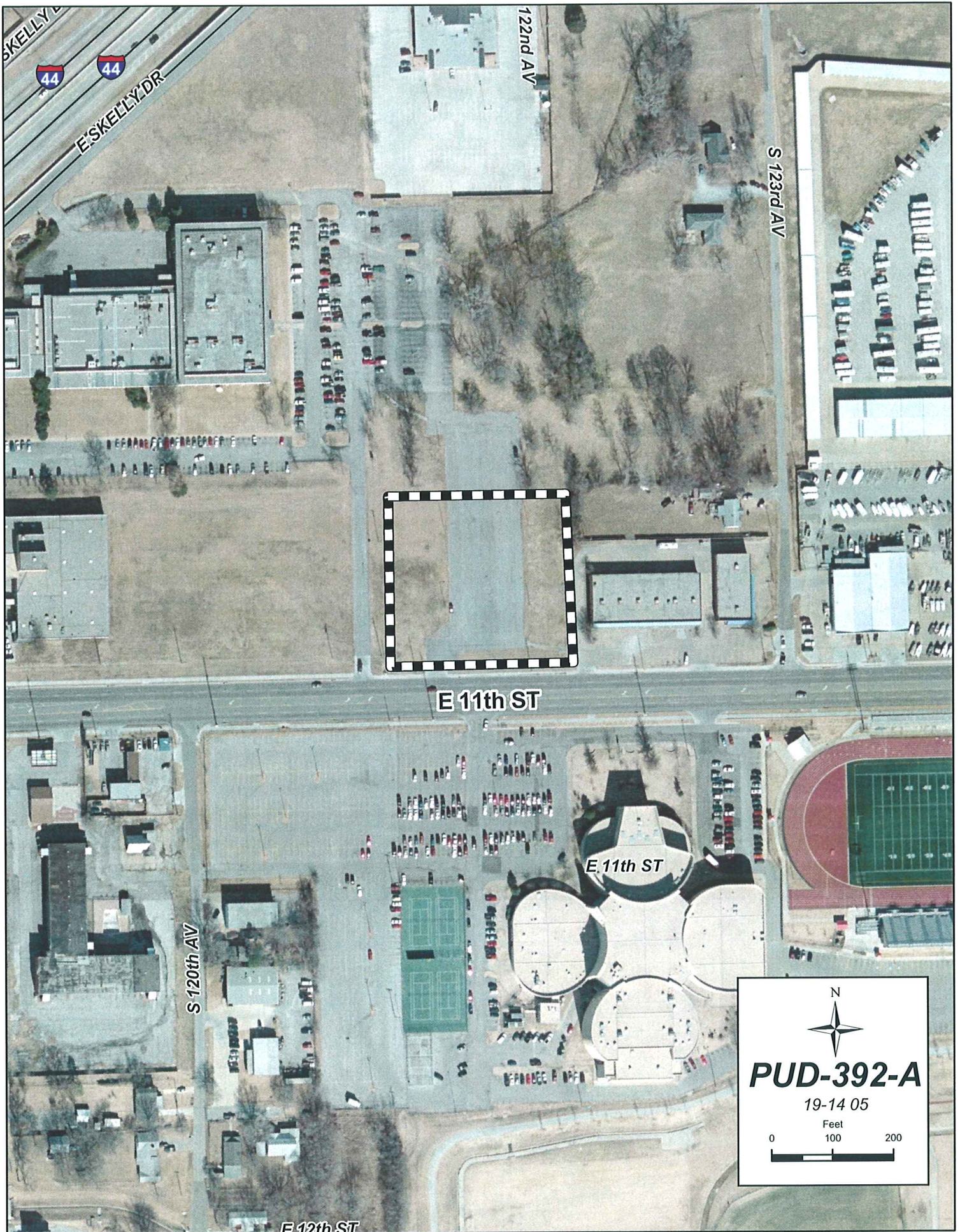
PLAT NO.	1 OF 2
FINAL PLAT	
Having verified that this plat was prepared in accordance with the provisions of the Oklahoma Statutes, I hereby certify that it is a true and correct copy of the original as filed in the Office of the County Clerk of Tulsa County, Oklahoma.	
TOWNSHIP	20 North
RANGE	14 East
SECTION	32
COUNTY	Tulsa
DATE OF FILING	11/28/06
FILED IN	Book 3517 Page 2006
APPROVED BY	
APPROVED CITY CLERK	

6.D.6









6.E.2



**TULSA METROPOLITAN AREA PLANNING COMMISSION  
CASE REPORT**

**APPLICATION: PUD-392-A**

**TRS 9405**

**Atlas 856, 997**

**CZM 39**

**PD-17 CD-6**

**TMAPC Hearing Date:** January 3, 2007

**Applicant:** Tim Terral/Tulsa Engineering & Planning

**Tract Size:** 2.18± acres

**ADDRESS/GENERAL LOCATION:** West of northwest corner South 123<sup>rd</sup> Avenue East and East 11<sup>th</sup> Street

**EXISTING ZONING:** CS/PUD

**EXISTING USE:** Parking

**ZONING ORDINANCE:** Ordinance number 16351 dated May 14, 1985, established zoning for the subject property.

**PROPOSED ZONING:** CS

**PROPOSED USE:** Abandonment of PUD

**RELEVANT ZONING HISTORY:**

**Z-6958 December 2004:** All concurred in approval of a request to rezone a 9.23± acre tract from RS-3/OL to CO for commercial use located north of northwest corner of East 11<sup>th</sup> Street and South 123<sup>rd</sup> East Avenue.

**Z-6520 January 1996:** All concurred in approval of a request to rezone a tract located on the northwest corner of East 7<sup>th</sup> Street and South 123<sup>rd</sup> East Avenue from RS-3 and OM to CS for commercial uses.

**Z-6480/PUD-539 August 1995:** Approval was granted for a request to rezone a tract located between East 7<sup>th</sup> Street and East 11<sup>th</sup> Street and east of South 123<sup>rd</sup> East Avenue, east of the subject property, from RM-1, RS-3, RS-2, and CS to PUD-539 for a proposed commercial development allowing boat sales, and a mini-storage.

**PUD-392 May 1985:** All concurred in approval of a proposed Planned Unit Development a 3.74± acre tract of land for commercial use, with conditions, on property located west of the northwest corner of East 11<sup>th</sup> Street and 123<sup>rd</sup> East Avenue and the subject property.

**BOA-9749 November 17, 1977:** The Board of Adjustment approve a Special Exception to permit a premix donut distribution plant in a CS and CH District for the Daylight Donut Company on property located west of the northwest corner of East 11<sup>th</sup> Street and 123<sup>rd</sup> East Avenue and abutting west of subject property.

**BOA-7684 November 2, 1972:** The Board of Adjustment approved a Special Exception to permit off-street parking in an RS-2 District to be used by the Lowrance Electronics Building on property located north and west of 11<sup>th</sup> Street and 123<sup>rd</sup> East Avenue.

6.E.3



**BOA-7561 August 3, 1972:** The Board of Adjustment approved a Special Exception to permit light manufacturing and industrial uses having light or no objectionable environmental influences by reason of the emission of odor, heat, smoke, noise or vibration in a CH District Restricted to the uses listing in Use Unit 25 on property located and a part of Lowrance Electronics.

**AREA DESCRIPTION:**

**SITE ANALYSIS:** The subject property is approximately 2.18± acres in size and is located west of northwest corner South 123<sup>rd</sup> Avenue East and East 11<sup>th</sup> Street. The property appears to be vacant, and is zoned CS/PUD-392.

**STREETS:**

<b>Exist. Access</b>	<b>MSHP Design</b>	<b>MSHP R/W</b>	<b>Exist. # Lanes</b>
East 11 <sup>th</sup> Street	Secondary Arterial	100'	4

**UTILITIES:** The subject tract has municipal water and sewer available.

**SURROUNDING AREA:** The subject tract is abutted on the east by commercial use, zoned CS/PUD; on the north by some parking but mostly vacant land, zoned CO; on the south by a school, zoned RS-3 and on the west by vacant land, zoned CS.

**RELATIONSHIP TO THE COMPREHENSIVE PLAN:**

The District 17 Plan, a part of the Comprehensive Plan for the Tulsa Metropolitan Area, designates the property as Low Intensity – No Specific land use/Corridor.

**STAFF RECOMMENDATION:**

The applicant is proposing to amend PUD 392 for the purpose of abandoning that portion of the PUD located in Lot 1, Block 1, Eleven Trade Center (Plat No. 4601). The tract is currently being used as off-street parking for Lowrance Electronics, Incorporated, located at 12000 East Skelly Drive.

Underlying zoning of PUD 392, including the subject tract, is CS – Commercial Shopping. The original PUD allows those uses permitted by right in the CS district, excluding bars, taverns, nightclubs, liquor stores, pool halls and video game parlors. Upon abandonment from PUD 392 the subject tract would revert to use conditions per underlying CS zoning. At this time Lowrance Electronics has no desire to develop the parcel for commercial but instead intends to continue using the tract for overflow off-street parking.

With abandonment of the subject tract from PUD 392, gross land area in the PUD will be reduced from 4.59 acres to 2.54 acres. The original PUD allowed a floor area ratio of 27.5%. In keeping with that ratio, maximum permitted floor area for the remaining portion of PUD 392 would be 30,426.66 square feet. Existing buildings within the remaining portion of PUD 392 comprise 20,235 square feet.

The tract to be abandoned from PUD 392 is part of an overall development/ redevelopment and expansion plan for Lowrance Electronics which includes a new corridor site plan (Z-6958-SP-2) for the adjacent tract to the north and a tract with CH zoning adjoining the west boundary of corridor site plan Z-6958-SP-2 per Exhibit B, 'Overall Site Plan'. Lowrance Electronics intends to re-plat the subject tract as part of Lot 1, Block 1, Lowrance Electronics in keeping with their 'Overall Site Plan'.

Staff finds the proposed abandonment/ amendment to be appropriate per the applicant's 'Overall Site Plan' and, therefore, recommends **APPROVAL** of PUD 392-A as proposed.

6.E.4



**TAC Comments from 12/21/06:**

**General:** No comment.

**Water:** No comment.

**House Numbering:** No comment.

**Fire:** No comment.

**Stormwater:** No comment.

**Wastewater:** No comment.

**Transportation:** No comment.

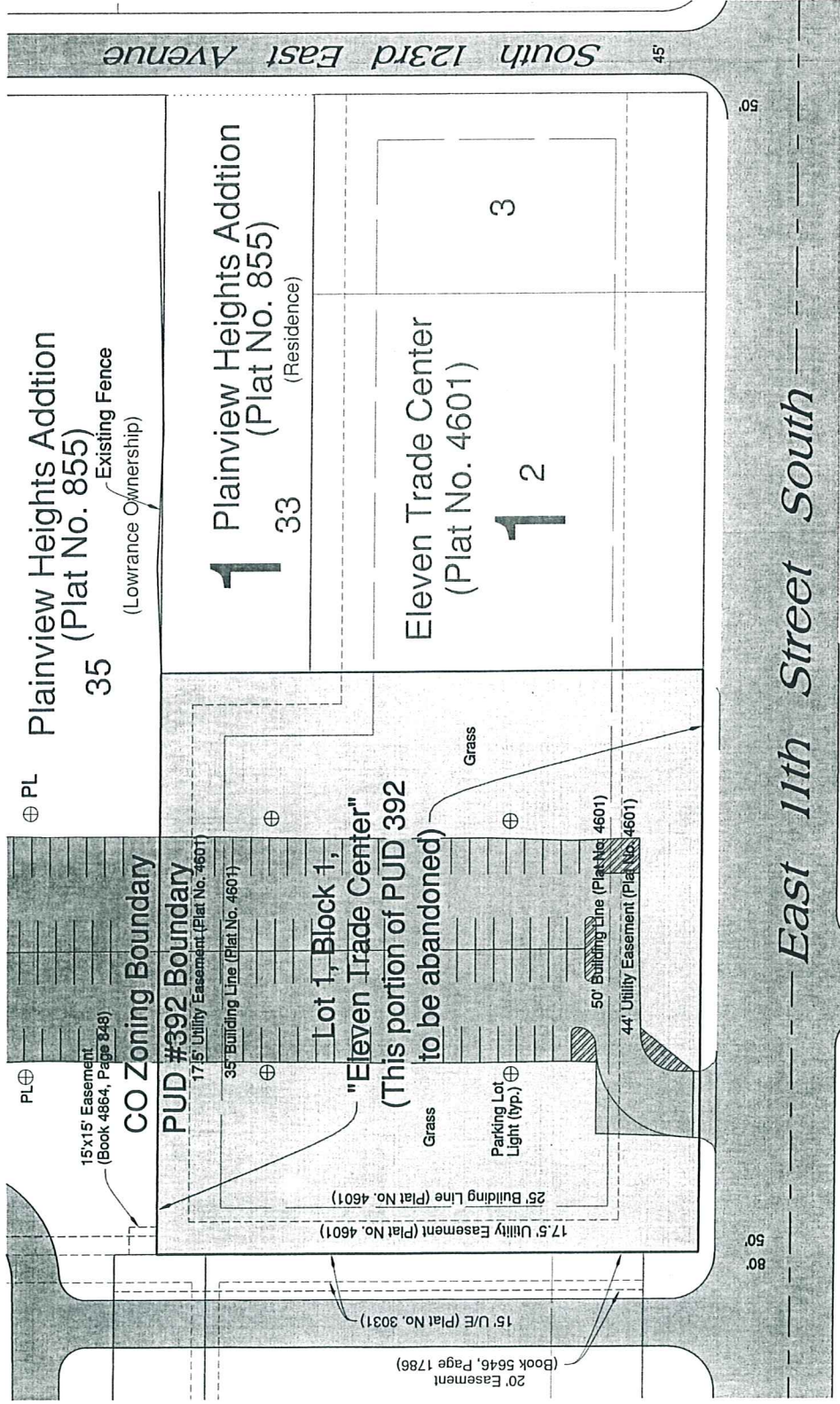
**Traffic:** No comment.

**GIS:** No comment.

**County Engineer:** No comment.

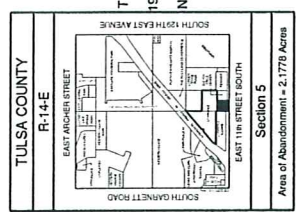
01/03/07





ENGINEER / SURVEYOR  
**Tulsa Engineering & Planning Associates, Inc.**  
 6737 South 85th East Avenue  
 Tulsa, Oklahoma 74133  
 918.252.9621  
 CERTIFICATE OF AUTHORIZATION NO. 831  
 RENEWAL DATE: JUNE 30, 2007

OWNER / DEVELOPER  
**Lowrance Electronics, Inc.**  
 13000 S. 101st Ave.  
 Tulsa, OK 74129-2480  
 918.438.8618



# Lowrance Electronics

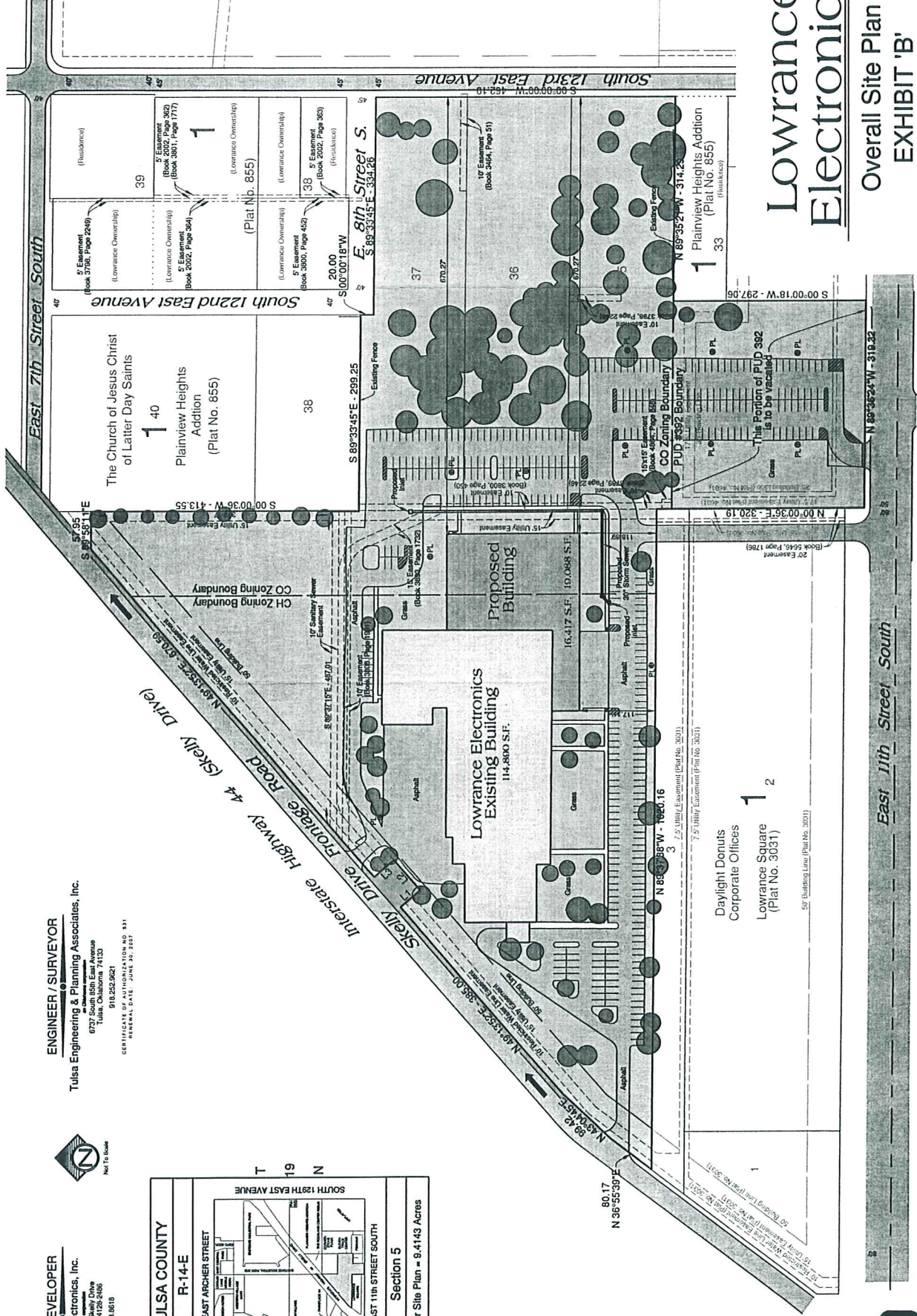
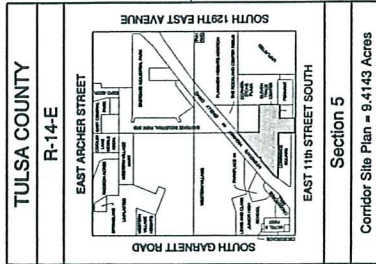
Illustrative Plan  
**EXHIBIT 'A'**

6.3.6 tep



**OWNER / DEVELOPER**  
**Lowrance Electronics, Inc.**  
 12000 S. Skelly Drive  
 Tulsa, OK 74129-2496  
 918.438.8618

**ENGINEER / SURVEYOR**  
**Tulsa Engineering & Planning Associates, Inc.**  
 6737 Greenwood Avenue  
 Tulsa, Oklahoma 74123  
 918.252.9821  
 CERTIFICATE OF AUTHORIZATION NO. 831  
 EXPIRATION DATE: JUNE 30, 2027

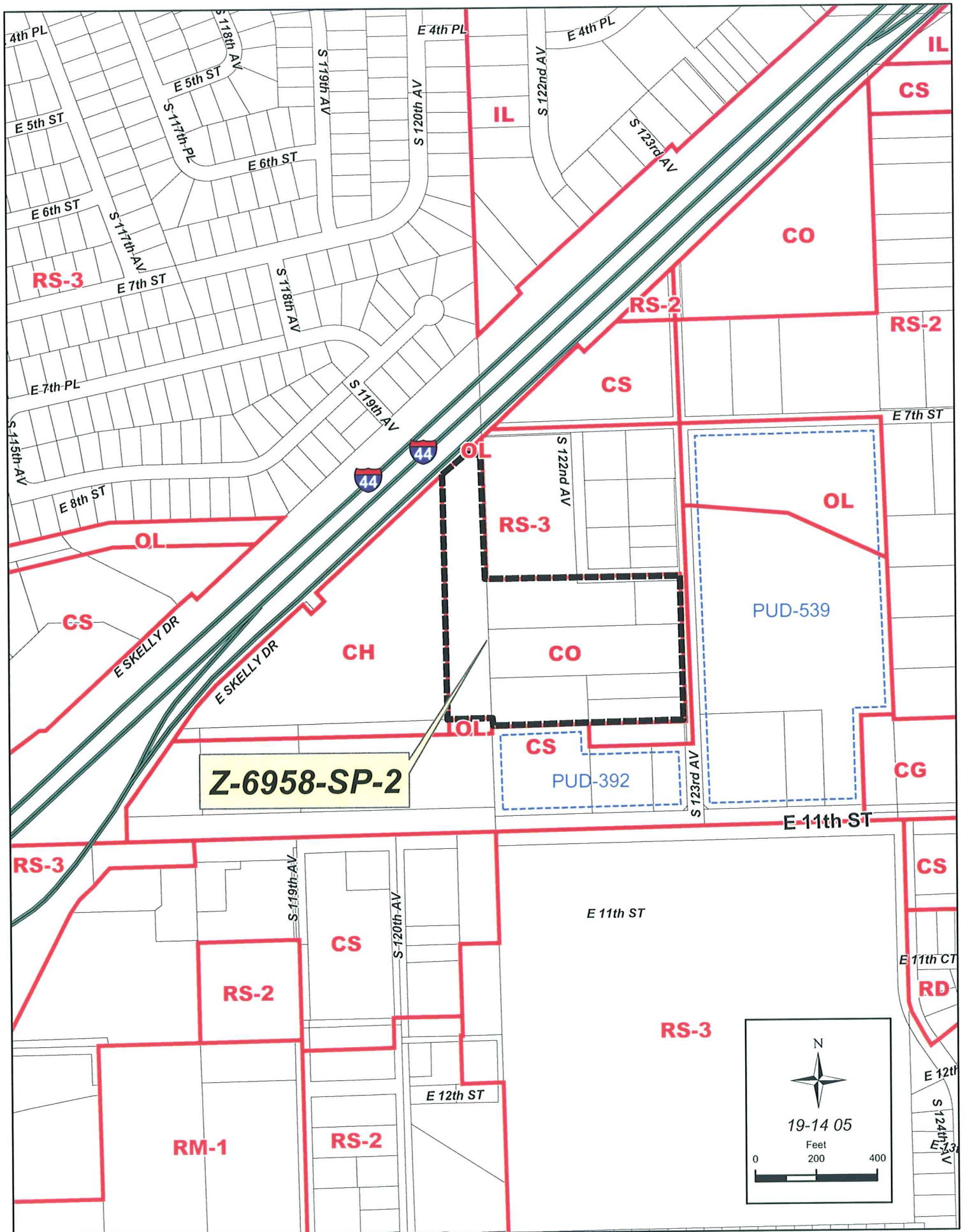


# Lowrance Electronics

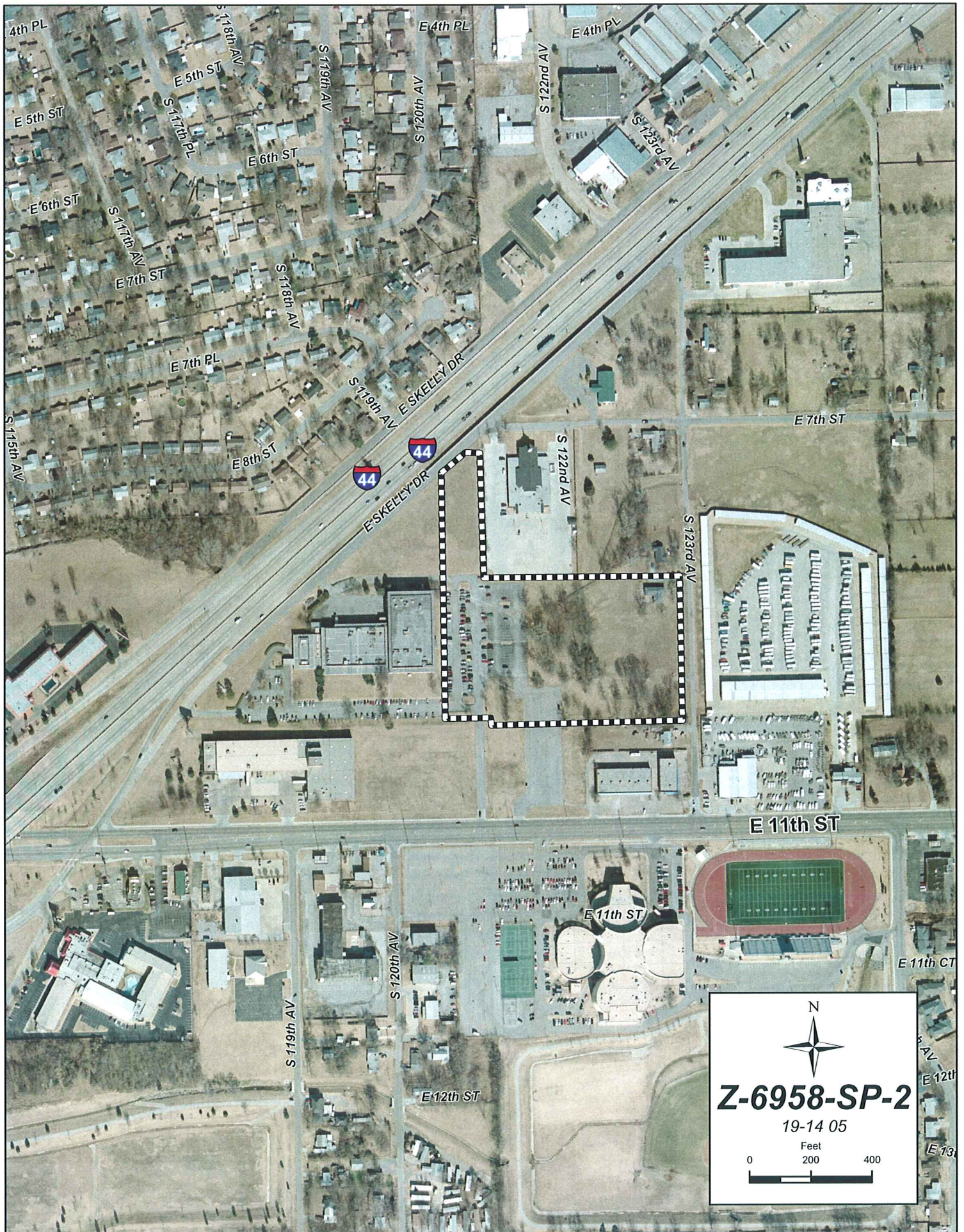
Overall Site Plan  
 EXHIBIT 'B'

6.E.7









6.F.2



**TULSA METROPOLITAN AREA PLANNING COMMISSION  
CASE REPORT**

**APPLICATION: Z-6958-SP-2**

**TRS 9405**

**Atlas 856, 997**

**CZM 39**

**PD-17 CD-6**

**TMAPC Hearing Date:** January 3, 2007

**Applicant:** Tim Terra/Tulsa Engineering & Planning

**Tract Size:** 9.41± acres

**ADDRESS/GENERAL LOCATION:** North of northwest corner South 123<sup>rd</sup> Avenue East and East 11<sup>th</sup> Street

**EXISTING ZONING:** CO

**EXISTING USE:**

**ZONING ORDINANCE:** Ordinance number 20975 dated December 12, 2004, established zoning for the subject property.

**PROPOSED ZONING:** CO

**PROPOSED USE:** Warehousing and parking

**RELEVANT ZONING HISTORY:**

**Z-6958 December 2004:** All concurred in approval of a request to rezone a 9.23± acre tract from RS-3/OL to CO for commercial use located north of northwest corner of East 11<sup>th</sup> Street and South 123<sup>rd</sup> East Avenue and on subject property.

**Z-6520 January 1996:** All concurred in approval of a request to rezone a tract located on the northwest corner of East 7<sup>th</sup> Street and South 123<sup>rd</sup> East Avenue from RS-3 and OM to CS for commercial uses.

**Z-6480/PUD-539 August 1995:** Approval was granted for a request to rezone a tract located between East 7<sup>th</sup> Street and East 11<sup>th</sup> Street and east of South 123<sup>rd</sup> East Avenue, east of the subject property, from RM-1, RS-3, RS-2, and CS to PUD-539 for a proposed commercial development allowing boat sales, and a mini-storage.

**PUD-392 May 1985:** All concurred in approval of a proposed Planned Unit Development a 3.74± acre tract of land for commercial use, with conditions, on property located on the northwest corner of East 11<sup>th</sup> Street and 123<sup>rd</sup> East Avenue.

**BOA-9749 November 17, 1977:** The Board of Adjustment approve a Special Exception to permit a premix donut distribution plant in a CS and CH District for the Daylight Donut Company on property located west of the northwest corner of East 11<sup>th</sup> Street and 123<sup>rd</sup> East Avenue and southwest of subject property.

**BOA-7684 November 2, 1972:** The Board of Adjustment approved a Special Exception to permit off-street parking in an RS-2 District to be used by the Lowrance Electronics Building on property located north and west of 11<sup>th</sup> Street and 123<sup>rd</sup> East Avenue and a part of the subject property.



**BOA-7561 August 3, 1972:** The Board of Adjustment approved a Special Exception to permit light manufacturing and industrial uses having light or no objectionable environmental influences by reason of the emission of odor, heat, smoke, noise or vibration in a CH District Restricted to the uses listing in Use Unit 25 on property located and abutting the subject property to the west and a part of Lowrance Electronics.

**AREA DESCRIPTION:**

**SITE ANALYSIS:** The subject property is approximately 9.23 acres in size. It is located north of the northwest corner of East 11<sup>th</sup> Street South and South 123<sup>rd</sup> East Avenue. The property is zoned CO.

**STREETS:**

Exist. Access	MSHP Design	MSHP R/W	Exist. # Lanes
East 11 <sup>th</sup> Street	Secondary Arterial	100'	4
South 123 <sup>rd</sup> East Avenue	Residential	50'	2

**UTILITIES:** The subject tract has municipal water and sewer available.

**SURROUNDING AREA:** The subject property is abutted on the north by a church, zoned RS-3 and Skelly Drive, zoned RS-2. To the east are boat sales use and related activities, zoned CS; to the south is vacant paved land (apparently a former parking lot) and a retail/office strip center, zoned CS/PUD-392; further south across East 11<sup>th</sup> Street is East Central High School, zoned RS-3; and to the west are the Lowrance offices and manufacturing buildings, zoned CH and OL.

**RELATIONSHIP TO THE COMPREHENSIVE PLAN:**

The District 17 Plan, a part of the Comprehensive Plan for the Tulsa Metropolitan Area, designates the property as Low Intensity – No Specific land use/Corridor.

**STAFF RECOMMENDATION:**

The applicant is requesting corridor site plan approval of a 9.4143 acre tract which is part of the 20.1472 acre overall site plan for the corporate headquarters of Lowrance Electronics as noted in Exhibit 'A' – Corridor Site Plan. In addition to the 9.4143 acre tract requiring corridor site plan approval is an 8.5551 acre tract adjoining on the west zoned CH and a 2.1778 acre tract adjoining on the south for which a major amendment is being requested to remove that tract from PUD 392 (PUD 392-A). The purpose of the corridor site plan and related PUD major amendment is to accommodate a 41,323 square foot expansion to the existing 109,469 square foot building. The expansion will be located on the east side of the existing building and will also involve the removal of a portion of the existing parking. The building expansion will be utilized for additional engineering and warehousing and distribution uses. The existing building, combined with the proposed building expansion, would bring the total building square footage to 150,792 square feet.

The overall 20-plus acre site has 1,297 feet of frontage along Skelly Drive Service Road/ Interstate 44, 319 feet of frontage on East 11<sup>th</sup> Street South, and 462 feet of frontage on South 123<sup>rd</sup> East Avenue. The immediate surrounding area is a mix of different land uses and zoning districts. The Daylight Donuts corporate office is situated between the project site and East 11<sup>th</sup> Street, east of the Skelly Drive Service Road and is zoned CS. The Church of Jesus Christ of Latter Day Saints is located along the north central boundary of the site and is zoned RS-3. To the east of the church is property owned by Lowrance Electronics and two single-family residences zoned RS-3. One the east side of South 123<sup>rd</sup> East Avenue is mini-storage



and a boat sales business zoned CS/OL/ PUD 539. South of the southeast corner of the site is a single-family residence zoned CO and a small commercial strip center zoned CS/ PUD 392.

The small commercial strip center located southeast of the project site is part of PUD 392. The portion of PUD 392 that is part of the Lowrance Electronics Conceptual Site Plan as indicated in Exhibit 'A' includes approximately 95 existing parking spaces, which will continue to be used by Lowrance.

Access to the site will not change, with two points of access from the Skelly Drive Service Road and two access points from East 11<sup>th</sup> Street South. No connection/ access to South 123<sup>rd</sup> East Avenue is proposed.

There is one existing monument sign located on site. It is approximately six feet tall and 25 feet wide with 150 square feet of display surface area.

It is the intent of the land owners to re-plat the entire property (20.1472 acres) as Lot 1, Block 1, Lowrance Electronics.

Staff finds the uses and intensities of development proposed and as modified by staff to be in harmony with the spirit and intent of the Code. Based on the following conditions, staff finds Z-6958-SP-2 to be: (1) consistent with Corridor Zoning; (2) in harmony with the existing and expected development of surrounding areas; (3) a unified treatment of the development possibilities of the site; and (4) consistent with the stated purposes and stands of the Corridor Chapter of the Zoning Code.

Therefore, staff recommends **APPROVAL** Z-6958-SP-2 subject to the following conditions:

1. The applicant's Outline Development Plan and Text be made a condition of approval, unless modified herein.
2. For continuity of development and to ensure compliance with Section 1301.D of the zoning code regarding provision of parking located on the lot containing the use for which the required spaces or berths are to be provided, the corridor site plan tract and adjoining parcels as indicated in Exhibit 'A' – Corridor Site Plan be platted as one lot, one block.
3. **Development Standards:**

NET LAND AREA: 9.4143 AC

PERMITTED USES:

Those uses permitted as a matter of right in Use Unit 11, Office, Studios and Support Services and uses customarily accessory to permitted principal uses; and Use Unit 23, Warehousing and Wholesaling, and uses customarily accessory to permitted principal uses.

MAXIMUM FLOOR AREA RATIO: 1.25 %

MAXIMUM LAND COVERAGE OF BUILDINGS: 30% 123,026 SF

MINIMUM BUILDING SETBACKS:

Centerline of Skelly Drive Frontage Road	100 FT
Centerline of East 8 <sup>th</sup> Street South	50 FT



Centerline of East 123 <sup>rd</sup> East Avenue	50 FT
From Abutting R Districts	50 FT
From Abutting OL Districts	50 FT

#### MINIMUM PARKING SETBACK:

From Abutting R Districts	10 FT
---------------------------	-------

MAXIMUM BUILDING HEIGHT: 35 FT

MINIMUM LANDSCAPED OPEN SPACE: 10% of net lot area

#### OFF-STREET PARKING:

As required by the applicable Use Unit of the Tulsa Zoning Code.

#### SCREENING:

A minimum six-foot tall screening fence shall be installed along the north 413.55 feet of the east boundary and along the east 633.51 feet of the north boundary, including the twenty-foot jog along the right-of-way of South 122<sup>nd</sup> East Avenue.

#### ACCESS AND PEDESTRIAN CIRCULATION:

Access shall be provided as indicated in Exhibit 'C' – Access and Circulation. Sidewalks are required along the Skelly Drive Frontage Road.

#### SITE LIGHTING:

Exterior light standards new lighting shall not exceed 25 feet in height and shall be hooded and directed downward and away from the adjacent residential uses. Shielding of outdoor lighting shall be designed so as to prevent the light producing element or reflector of the light fixture from being visible to a person standing at ground level in adjacent residential areas. Compliance with these standards shall be verified by application of the Kennebunkport Formula. Consideration of topography must be included in the calculations.

#### SIGNAGE:

No ground signs other than directional signs are permitted. Wall signs shall be permitted not to exceed two square feet of display surface area per lineal foot of building wall to which attached.

4. No zoning clearance permit shall be issued for a lot within the PUD until a detail site plan for the lot, which includes all buildings, parking, screening fences and landscaping areas, has been submitted to the TMAPC and approved as being in compliance with the approved PUD development standards.
5. A detail landscape plan for each lot shall be approved by the TMAPC prior to issuance of an occupancy permit. A landscape architect registered in the State of Oklahoma shall certify to the zoning officer that all required landscaping and screening fences have been installed in accordance with the approved landscape plan for the lot prior to occupancy; or, the landscape architect may certify to the zoning officer that landscaping

6.F.6



will be installed within a specified period of time. The landscaping materials required under the approved plan shall be maintained and replaced as needed, as a continuing condition of the granting of an occupancy permit.

6. No sign permits shall be issued for erection of a sign on a lot within the PUD until a detail sign plan for that lot has been submitted to the TMAPC and approved as being in compliance with the approved PUD development standards.
7. The Department of Public Works or a professional engineer registered in the State of Oklahoma shall certify to the appropriate City official that all required Stormwater drainage structures and detention areas serving a lot have been installed in accordance with the approved plans prior to issuance of an occupancy permit on that lot.
8. No building permit shall be issued until the requirements of Section 1107F of the Zoning Code have been satisfied and approved by the TMAPC and filed of record in the County Clerk's office, incorporating within the restrictive covenants the PUD conditions of approval and making the City beneficiary to said covenants that relate to PUD conditions.
9. Subject to conditions recommended by the Technical Advisory Committee during the subdivision platting process which are approved by TMAPC.
10. Approval of the PUD is not an endorsement of the conceptual layout. This will be done during detail site plan review or the subdivision platting process.

**TAC Comments from 12-21-06:**

**General:** No comment.

**Water:** No comment.

**House Numbering:** No comment.

**Fire:** Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.

Exception: For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2, the distance requirement shall be 600 feet (183 m).

**Stormwater:** Certified Letters of Map Revision (CLOMR) must be reviewed and approved by both the City of Tulsa and FEMA prior to the commencement of any work in the Tupelo Creek Tributary C FEMA AE Floodplain and Floodway. The proposed building appears to encroach on both. Compensatory Storage must be provided for all structures and obstructions placed in the floodplain. It is unacceptable to place any structures or obstructions in the floodway.

**Wastewater:** No comment.



**Transportation:** Dedicate right-of-way for 123<sup>rd</sup> Street and East 8<sup>th</sup> Street and East 11<sup>th</sup> Street as needed in conformity with the Major Street and Highway Plan. Subdivision Regulations require sidewalks on the street frontages.

**Traffic:** Verify both legal access points for the existing drives onto 11<sup>th</sup> ST. Access is restricted onto 123<sup>rd</sup> E. Ave. as per the Corridor Text. Show LNA on Plat.

**GIS:** No comment.

**County Engineer:** No comment.

01/03/07

6.F.8



**OWNER / DEVELOPER**  
**Lowrance Electronics, Inc.**  
 12000 East Skelly Drive  
 Tulsa, OK 74128-2486  
 918-438-8618

**ENGINEER / SURVEYOR**  
**Tulsa Engineering & Planning Associates, Inc.**  
 6737 South 85th East Avenue  
 Tulsa, Oklahoma 74133  
 918-252-2621



CERTIFICATE OF AUTHORIZATION NO. 531  
 EXPIRATION DATE: JUNE 30, 2007

**TULSA COUNTY**

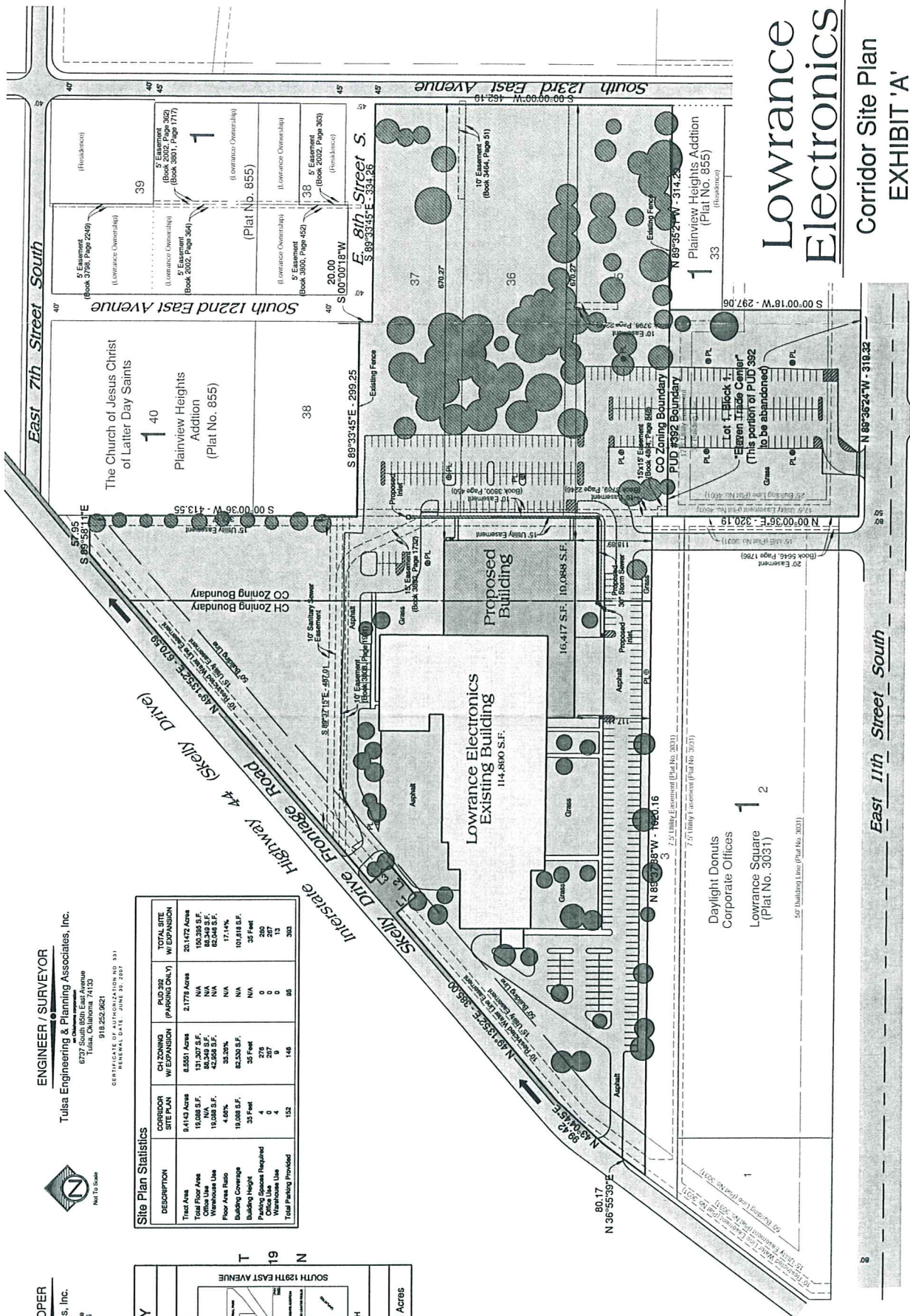
**R-14-E**

**Section 5**

**Corridor Site Plan - 9.4143 Acres**

**Site Plan Statistics**

DESCRIPTION	CORRIDOR SITE PLAN	CH ZONING W/ EXPANSION	PUD 392 (PARKING ONLY)	TOTAL SITE W/ EXPANSION
Treed Area	9.4143 Acres	8.5587 Acres	2.1778 Acres	25.1472 Acres
Total Floor Area	18,008 S.F.	131,307 S.F.	N/A	150,315 S.F.
Office Use	18,008 S.F.	88,349 S.F.	N/A	88,349 S.F.
Office Use - Warehouse	18,008 S.F.	17,142 S.F.	N/A	17,142 S.F.
Warehouse Use	0 S.F.	0 S.F.	0 S.F.	0 S.F.
Building Coverage	18,008 S.F.	83,230 S.F.	N/A	102,238 S.F.
Building Height	35 Feet	35 Feet	N/A	35 Feet
Parking Spaces Required	0	278	0	278
Office Use	4	9	0	13
Warehouse Use	0	0	0	0
Total Parking Provided	152	146	0	303



**Legend**

- Site Boundary
- Proposed Building
- Existing Building
- Proposed Expansion

**Line Table**

NO.	BEARING	DISTANCE
1	S. 42° 40' 00" E	42.00
2	N. 87° 13' 30" E	61.53
3	N. 82° 45' 30" W	40.50

# Lowrance Electronics

## Corridor Site Plan

### EXHIBIT 'A'

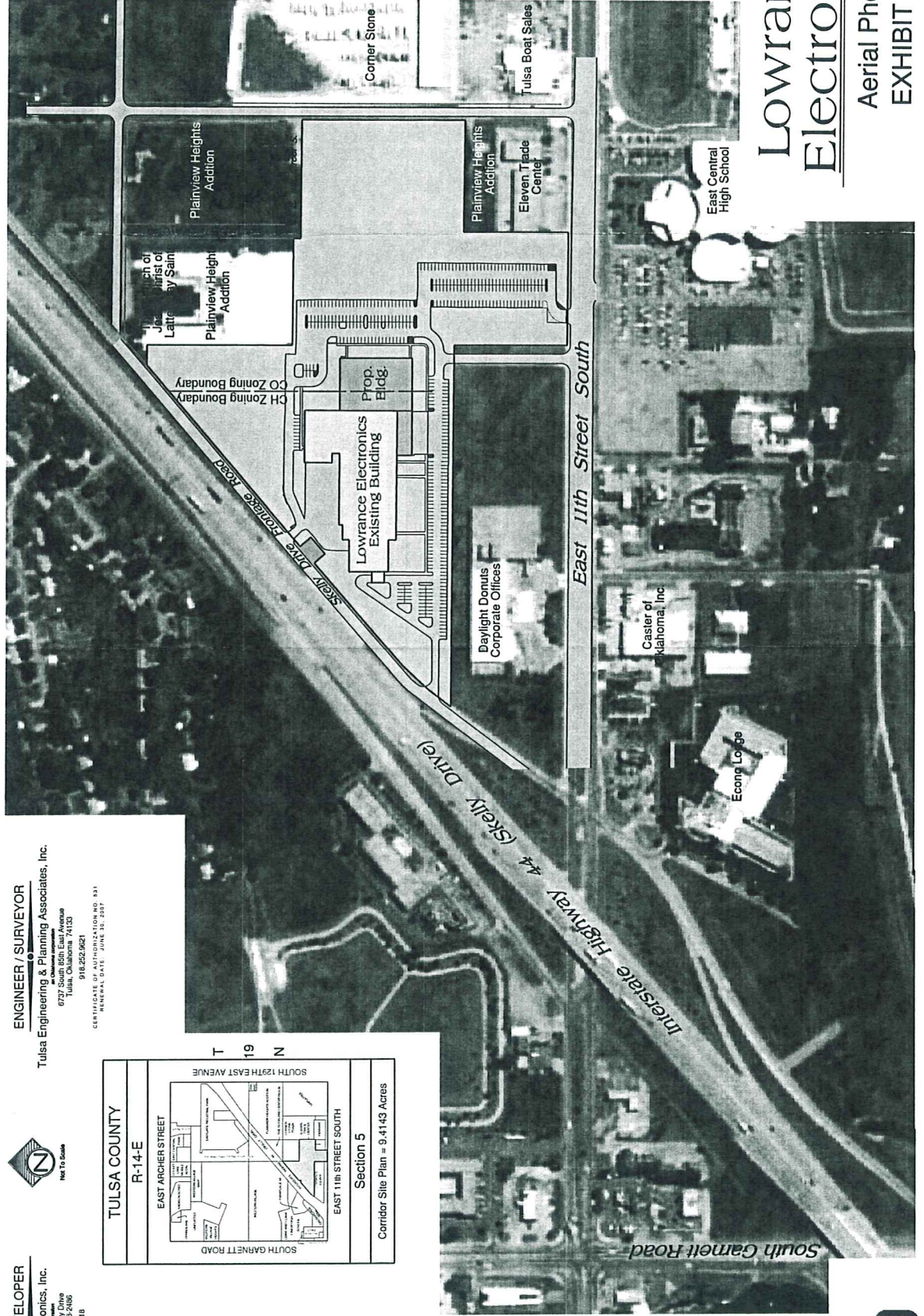
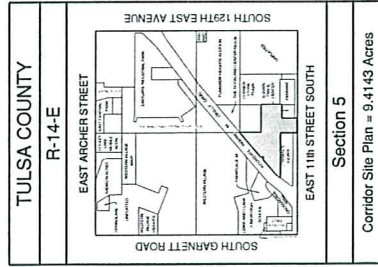
**tep**  
 6.F.9



**OWNER / DEVELOPER**  
**Lowrance Electronics, Inc.**  
 12000 East Skelly Drive  
 Tulsa, OK 74125-2405  
 918-436-0010



**ENGINEER / SURVEYOR**  
**Tulsa Engineering & Planning Associates, Inc.**  
 6727 South 85th East Avenue  
 Tulsa, Oklahoma 74125  
 918-232-0662  
 CERTIFICATE: 918-232-0662  
 EXPIRATION DATE: JUNE 30, 2007



# Lowrance Electronics

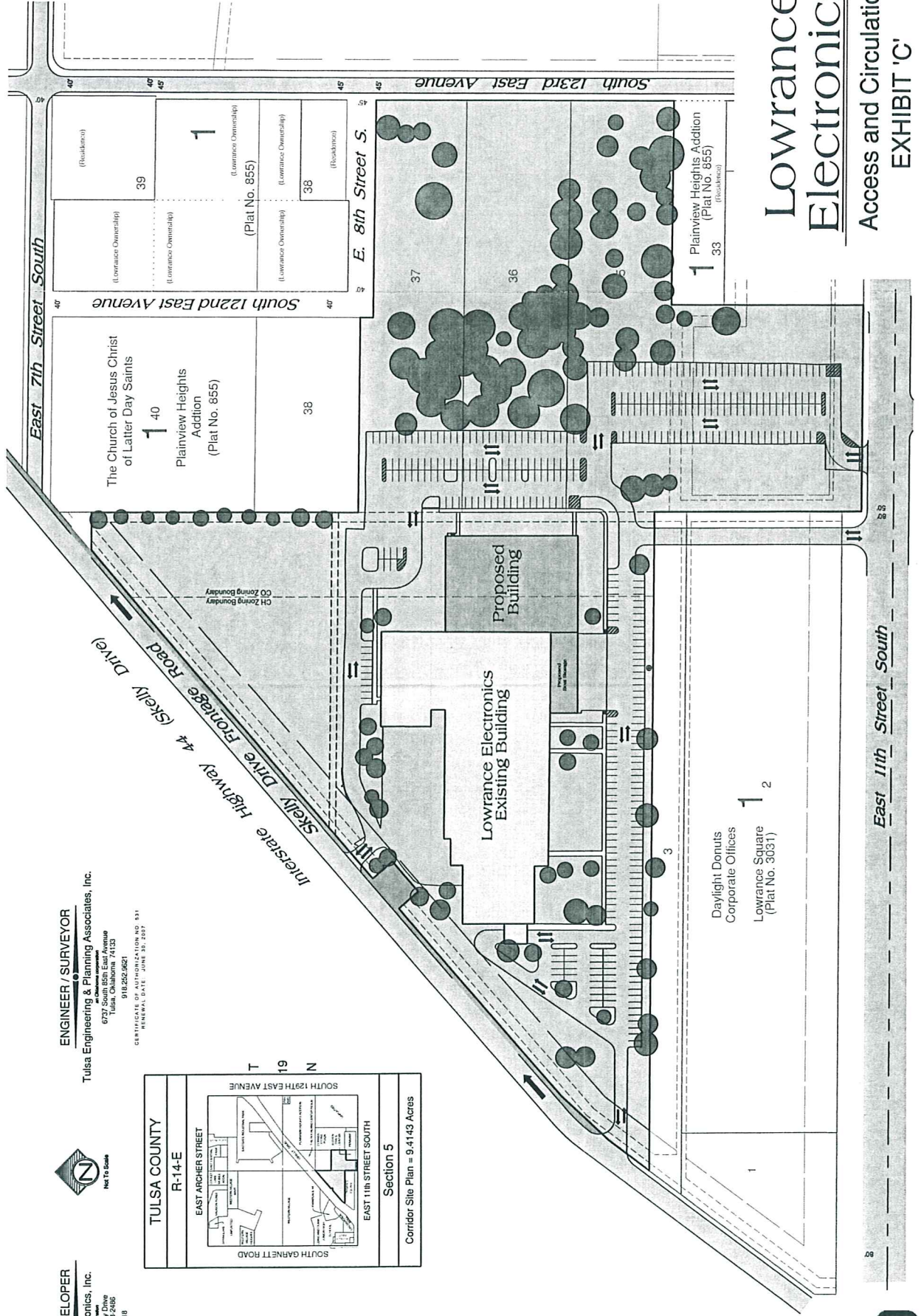
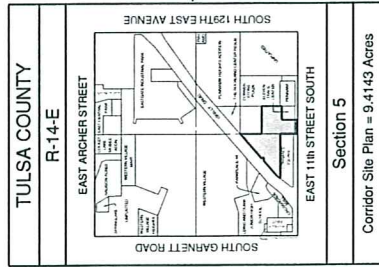
Aerial Photo  
**EXHIBIT 'B'**



**OWNER / DEVELOPER**  
**Lowrance Electronics, Inc.**  
 12000 East Skelly Drive  
 Tulsa, OK 74128-2486  
 918-438-8616



**ENGINEER / SURVEYOR**  
**Tulsa Engineering & Planning Associates, Inc.**  
 6727 South 85th East Avenue  
 Tulsa, Oklahoma 74133  
 918-252-0621  
 CERTIFICATE: 918-252-0621  
 EXPIRATION DATE: JUNE 30, 2007



# Lowrance Electronics

## Access and Circulation

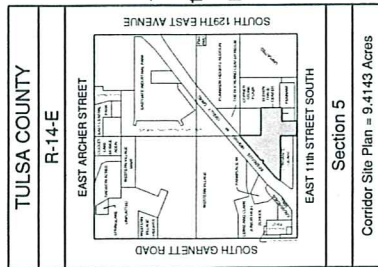
### EXHIBIT 'C'



**OWNER / DEVELOPER**  
**Lowrance Electronics, Inc.**  
 1208 W. 11th Street  
 Tulsa, OK 74128-2486  
 918.438.8618

**ENGINEER / SURVEYOR**  
**Tulsa Engineering & Planning Associates, Inc.**  
 6737 South East Avenue  
 Tulsa, Oklahoma 74133  
 918.252.6621

CERTIFICATE OF AUTHORIZATION NO. 531  
 EXPIRATION DATE: JUNE 30, 2007

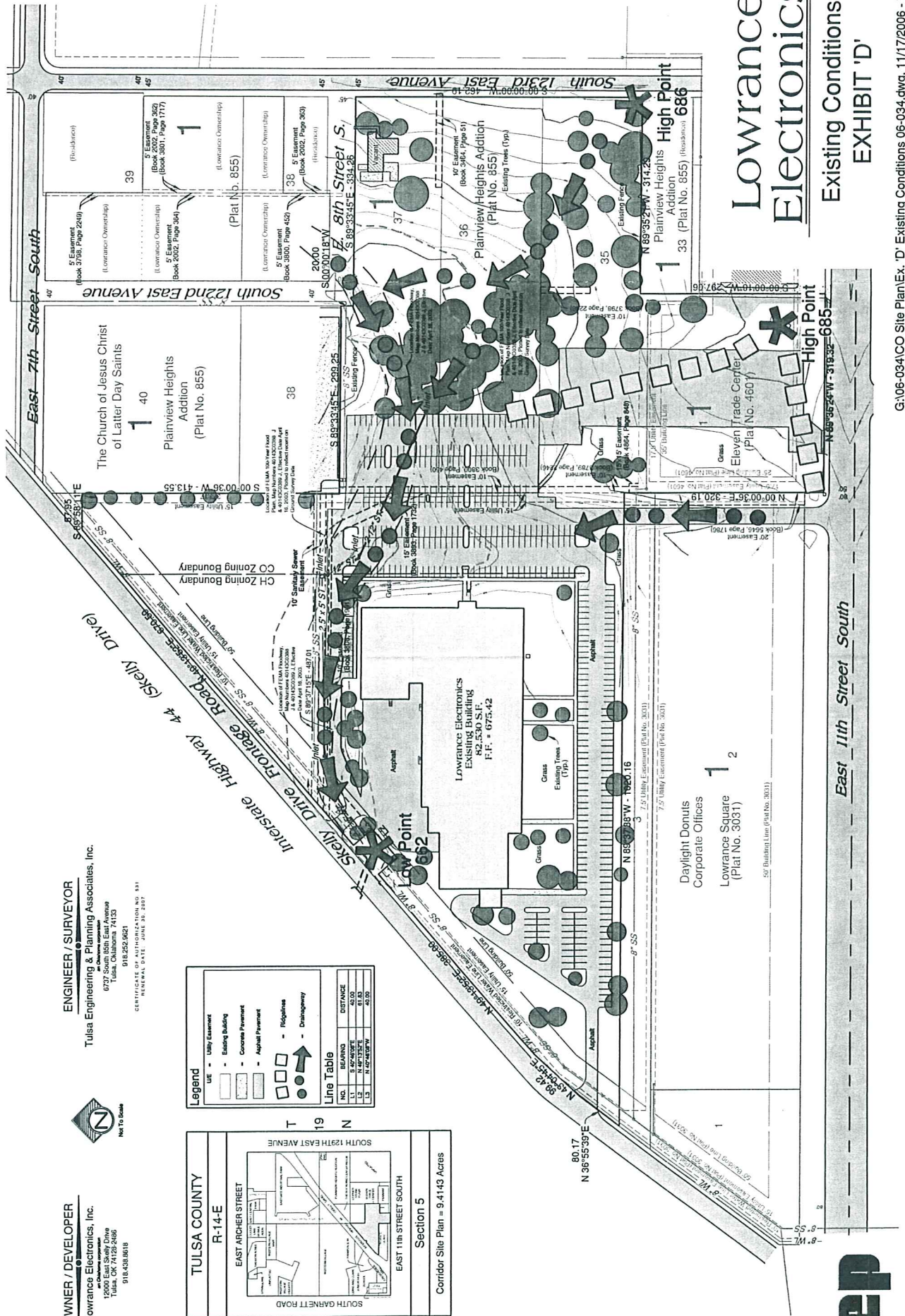


**Legend**

- Utility Easement
- Existing Building
- Concrete Permanent
- Asphalt Permanent
- Highway
- Drainage

**Line Table**

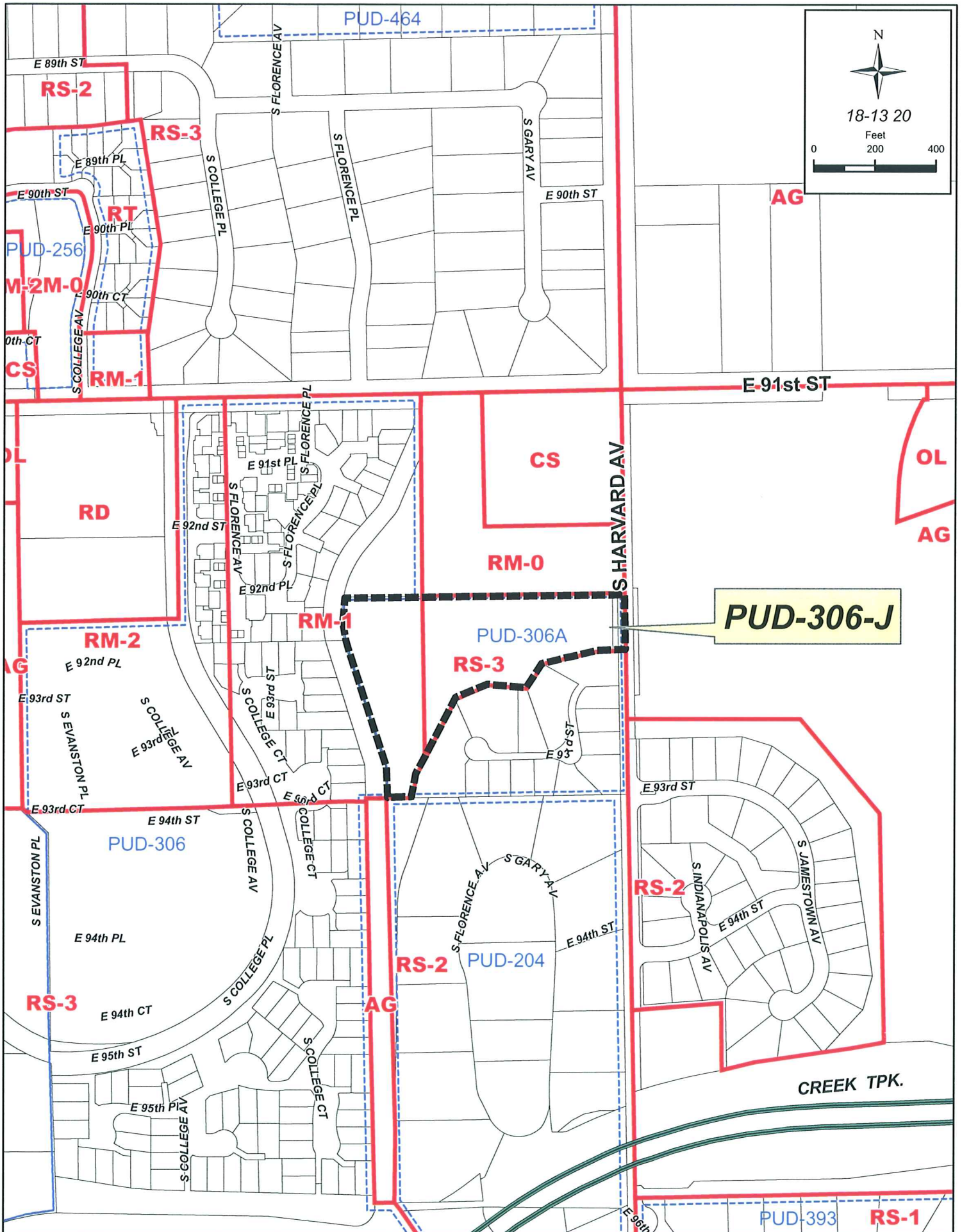
NO.	BEARING	DISTANCE
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L2	N 40°12'30"E	61.43
L3	S 42°42'00"E	40.00





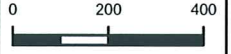






18-13 20

Feet



PUD-306-J

6.G.1







**TULSA METROPOLITAN AREA PLANNING COMMISSION  
CASE REPORT**

**APPLICATION: PUD-306-J**

**TRS 8320**

**Atlas 1911**

**CZM 56**

**PD-18 CD- 8**

**TMAPC Hearing Date:** January 3, 2007

**Applicant:** Peter Kavanaugh

**Tract Size:** 7.25 ± acres

**ADDRESS/GENERAL LOCATION:** South of southwest corner South Harvard Avenue and East 91<sup>st</sup> Street

**EXISTING ZONING:** RS-3/PUD

**EXISTING USE:** Church

**ZONING ORDINANCE:** Ordinance Number 16320 dated April 9, 1985, established zoning for the subject property.

**PROPOSED ZONING:** RS-3/PUD

**PROPOSED USE:** Communications tower & equipment

**RELEVANT ZONING HISTORY:**

**PUD-306-I September 2006:** The TMAPC denied a proposed Major Amendment to permit a Use Unit 4 to permit a communications tower, located on the subject property and south of the southwest corner of East 41<sup>st</sup> Street and South 177<sup>th</sup> East Avenue.

**BOA-19764 February 24, 2004:** The Board of Adjustment approved a Special Exception to allow produce, bedding plants and Christmas trees sales (Use Unit 2) for a maximum of 179 days per year for 10 years in a CS zoned district and a Special Exception to allow gravel parking, per plan with condition for 10-year time limit on property abutting north of subject property. On this property there have been multiple BOA requests for similar uses from 1990 through 2004 (BOA-18376, BOA-17672, BOA-17346, BOA-16595, BOA-15331).

**PUD-306-A April 1985:** All concurred in approval of a proposed major amendment to PUD-306 to abandon Area B-3 as presented in the amendment and reducing total number of units from 88 to 57 and amending standards for Area B-2 to state "church or single family, cluster, or low density multifamily on subject property.

**PUD-306 February 1983:** All concurred in approval of rezoning and the proposed PUD on 273 acres which included the subject tract for a mixed use development.

**BOA-10998 May 1, 1980:** The Board of Adjustments approved a Special Exception to allow a cemetery and related uses on property located and abutting east of subject property.

**AREA DESCRIPTION:**

**SITE ANALYSIS:** The subject property is approximately 7.25± acres in size and is located south of southwest corner South Harvard Avenue and East 91<sup>st</sup> Street. The property has a church on it and is zoned RS-3/PUD-306-A.



**STREETS:**

Exist. Access	MSHP Design	MSHP R/W	Exist. # Lanes
South Harvard Avenue	Residential Collector	60'	2 lanes

**UTILITIES:** The subject tract has municipal water and sewer available.

**SURROUNDING AREA:** The subject tract is abutted on the east by a single family residential and a cemetery, zoned AG; on the north by vacant land, zoned RM-0/RM-1; on the south by single family residential, zoned RS-2/PUD-306-A and on the west by drainage easement and residential, zoned RM-1/PUD-306.

**RELATIONSHIP TO THE COMPREHENSIVE PLAN:**

The District 18 Plan, a part of the adopted Comprehensive Plan for the Tulsa Metropolitan Area, designates this area as Low-Intensity, No Specific Land Use.

**STAFF RECOMMENDATION:**

The applicant is requesting a major amendment to PUD 306 to allow a communications tower on an existing church site. The proposed 120-foot tower was the subject of major amendment request PUD 306-H denied by TMAPC on September 6, 2006 because of noncompliance with setback requirements per Section 1204 of the zoning code. In keeping with the requirements of Section 1204, PUD 306-H proposes to place the tower a minimum of 132 feet from the north boundary and in excess of 132 feet from the east, south and west boundaries.

Surrounding zoning and uses are generally residential, with multifamily zoned RM-1 to the west, vacant land zoned RM-1 to the north, single-family residential zoned RS-2 to the south and single-family residential zoned RS-2 and a cemetery zoned AG to the east. Per PUD 306-J the tower is more centrally located within the church site, proximate to the southeast corner of the church, east of the pool. A creek and mature trees are along the common boundary between the church site and adjacent single-family residential to the south.

Because the proposed tower is more centrally located within the church site and complies with restrictions for communication towers per Section 1204 of the zoning code, staff finds PUD-306-J to be: (1) consistent with the Comprehensive Plan; (2) in harmony with the existing and expected development of surrounding areas; (3) a unified treatment of the development possibilities of the site; and (4) consistent with the stated purposes and standards of the PUD Chapter of the Zoning Code.

Therefore, staff recommends **APPROVAL** of PUD-306-J subject to the following conditions:

1. The applicant's Outline Development Plan and Text be made a condition of approval, unless modified herein.
2. **Development Standards:**

**PERMITTED USES:**

In addition to those uses permitted per PUD-306-A, Antenna and Supporting Structure as provided within Use Unit 4, Public Protection and Utility Facilities.

**MAXIMUM HEIGHT:** 120 FT

**SETBACKS:**

From north boundary: 132 FT  
From east boundary: 490 FT

6.6.4



From south boundary:  
From west boundary:

148 FT  
317 FT

**USE CONDITIONS:**

As provided per Section 1204.C, Public Protection and Utility Facilities/ Use Conditions, and other applicable sections of the Zoning Code.

3. No building permit shall be issued until the requirements of Section 1107F of the Zoning Code have been satisfied and approved by the TMAPC and filed of record in the County Clerk's office, incorporating within the restrictive covenants the PUD conditions of approval and making the City beneficiary to said covenants that relate to PUD conditions.
4. No Zoning Clearance Permit shall be issued for a lot within the PUD until a Detail Site Plan for the lot, which includes all structures, parking and landscaping areas, has been submitted to the TMAPC and approved as being in compliance with the approved PUD Development Standards.
5. Subject to conditions recommended by the Technical Advisory Committee during the subdivision platting process which are approved by TMAPC.
6. Except as above modified, the development standards of PUD 306-A as amended, shall remain applicable.

**TAC Comments from 12-21-06:**

**General:** No comment.

**Water:** No comment.

**House Numbering:** No comment.

**Fire:** No comment.

**Stormwater:** There is a large area of Vensel Creek FEMA AE Floodplain, as well as Floodway, on this property. Please plot their location boundaries on this property, and check that against the location of the proposed lease area and Ingress/Egress Easement.

**Wastewater:** No comment.

**Transportation:** No comment.

**Traffic:** No comment.

**GIS:** No comment.

**County Engineer:** No comment.

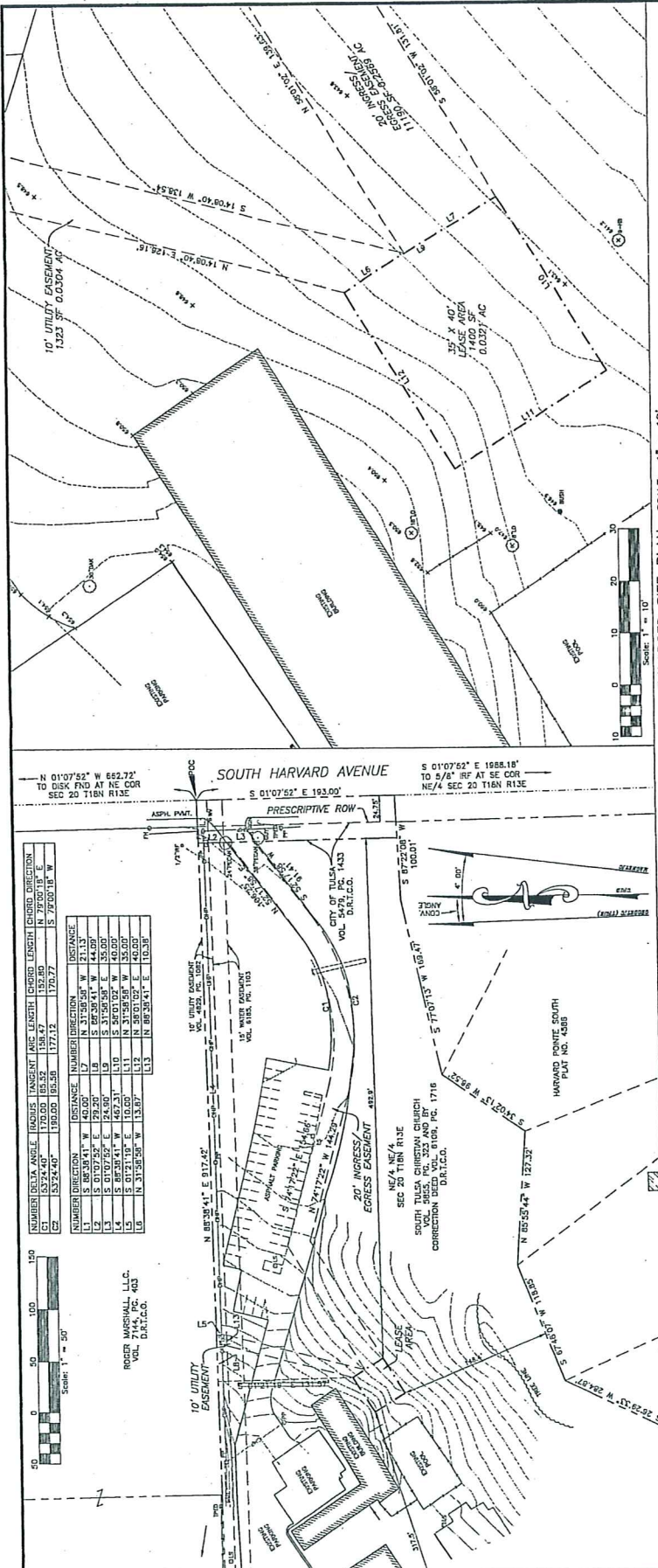




**SURVEY**  
SITE NAME: TULSA, SOUTHWEST, OK  
SITE NUMBER: 168454B  
9220 SOUTH HARVARD AVENUE  
TULSA, OK 74137

**Verizon Wireless**  
CABLE CO. TULSA, OK  
TULSA, OK 74137  
TULSA, OK 74137

NO.	1
DATE	09/07/2001
DESCRIPTION	1. 10' UTILITY EASEMENT 2. 10' UTILITY EASEMENT 3. 10' UTILITY EASEMENT 4. 10' UTILITY EASEMENT 5. 10' UTILITY EASEMENT 6. 10' UTILITY EASEMENT 7. 10' UTILITY EASEMENT 8. 10' UTILITY EASEMENT 9. 10' UTILITY EASEMENT 10. 10' UTILITY EASEMENT



**SURVEYOR'S CERTIFICATE**

The undersigned hereby certifies that this survey was made by me or under my direct supervision and that I am a duly licensed Professional Engineer and Land Surveyor in the State of Oklahoma. I am not aware of any fraud or collusion in this survey. I am not aware of any fraud or collusion in this survey. I am not aware of any fraud or collusion in this survey.

**PROJECT INFORMATION**

CENTER OF PROPOSED TOWER COORDINATES:  
NAD83: 407,014.3324  
EAD83: 407,014.3324  
ELEV: 646.3 (NAD83, NAVD83)  
NAD83: 407,014.3324  
EAD83: 407,014.3324  
ELEV: 646.3 (NAD83, NAVD83)

**LEGEND**

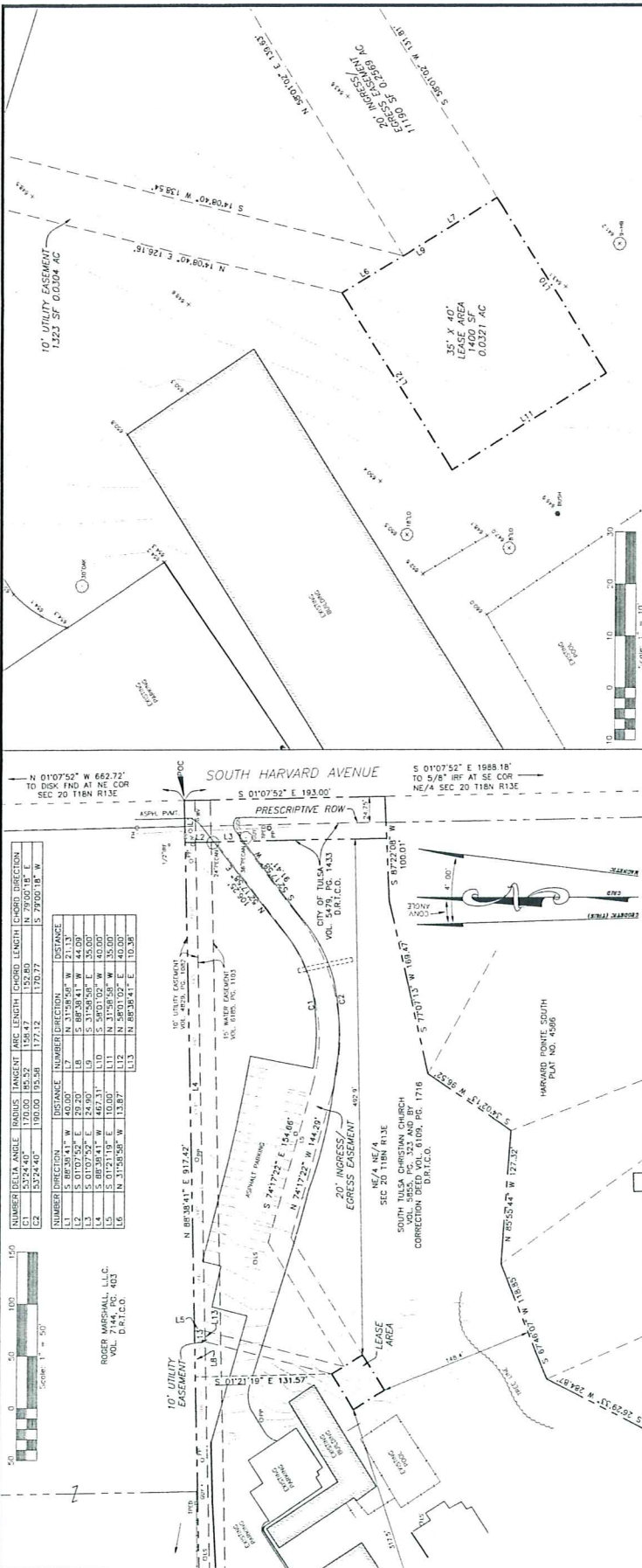
- PP - POWER POLE
- W - WATER MAIN
- PH - FIRE HYDRANT
- TM - TOWER FOUNDATION
- DM - GAS METER
- RM - RAILROAD RIGHT OF WAY
- RF - RAILROAD RIGHT OF WAY
- BM - BENCH MARK
- BL - BUILDING LINE
- FL - FENCE LINE
- PO - POINT

**VICINITY MAP**

The vicinity map shows the location of the property relative to South Harvard Avenue and the City of Tulsa. The map is titled 'VICINITY MAP' and shows the property location relative to the City of Tulsa and the City of Broken Arrow.

6.6.6





**ENLARGED SITE PLAN SCALE: 1" = 50'**

**LEGEND**

- PP - POWER POLE
- TR - TELEPHONE REAR
- WW - WATER MAIN
- FW - FIRE HYDRANT
- LP - LIGHT POLE
- CA - CABLE
- IR - IRON ROD SET
- BM - BENCH MARK
- BL - BUILDING LINES
- FE - FENCE LINE

**VICINITY MAP**

**PROJECT INFORMATION**

**SURVEYOR'S CERTIFICATE**

The undersigned hereby certifies that this survey was made by me or under my direct supervision and that I am a duly Licensed Professional Engineer and Land Surveyor. I am not aware of any fraud or other illegal conduct in connection with this survey. I am not aware of any fraud or other illegal conduct in connection with this survey. I am not aware of any fraud or other illegal conduct in connection with this survey.

**NOTES:**

1. THE PROPERTY IS SHOWN HEREON AS BEING BASED ON THE 1983 NORTH AMERICAN DATUM.

2. THE PROPERTY IS SHOWN HEREON AS BEING BASED ON THE 1983 NORTH AMERICAN DATUM.

3. THE PROPERTY IS SHOWN HEREON AS BEING BASED ON THE 1983 NORTH AMERICAN DATUM.

4. THE PROPERTY IS SHOWN HEREON AS BEING BASED ON THE 1983 NORTH AMERICAN DATUM.

5. THE PROPERTY IS SHOWN HEREON AS BEING BASED ON THE 1983 NORTH AMERICAN DATUM.

6. THE PROPERTY IS SHOWN HEREON AS BEING BASED ON THE 1983 NORTH AMERICAN DATUM.

7. THE PROPERTY IS SHOWN HEREON AS BEING BASED ON THE 1983 NORTH AMERICAN DATUM.

8. THE PROPERTY IS SHOWN HEREON AS BEING BASED ON THE 1983 NORTH AMERICAN DATUM.

9. THE PROPERTY IS SHOWN HEREON AS BEING BASED ON THE 1983 NORTH AMERICAN DATUM.

10. THE PROPERTY IS SHOWN HEREON AS BEING BASED ON THE 1983 NORTH AMERICAN DATUM.





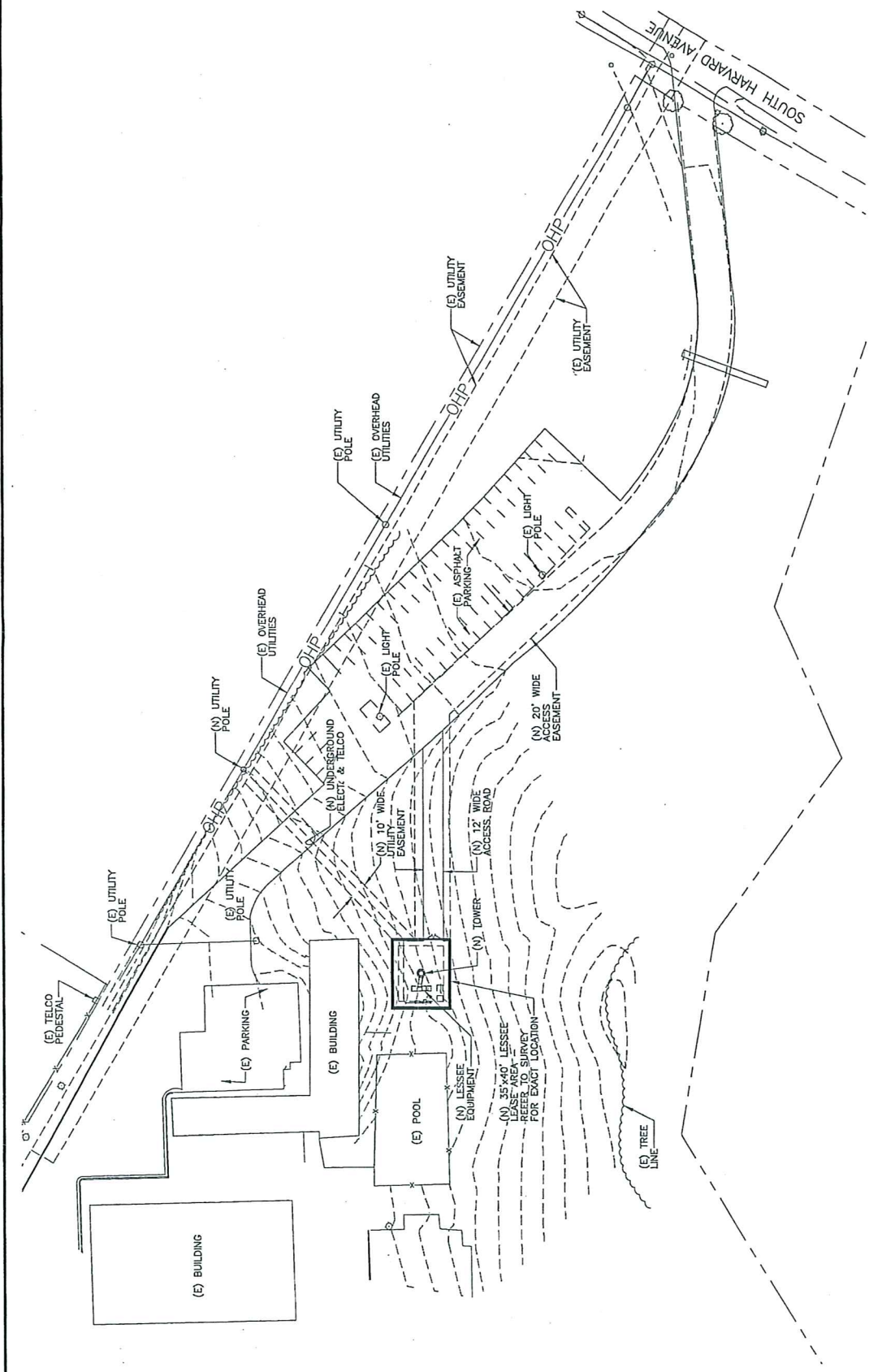
THIS IS A REVIEW SET  
APPROPRIATE PROFESSIONAL  
SEALS WILL BE ADDED ON  
FINAL CONSTRUCTION SET

**Tulsa\_Southwest\_Ok**  
168454B  
9220 SOUTH HARVARD AVENUE, TULSA, OK 74137  
ARCHCOMM, INC. - ARCHITECTS  
1840 Lockhill-Selma, Suite 101  
San Antonio, Texas 78213  
(210)308-9905



SHEET TITLE	
PRELIMINARY SITE PLAN	
SHEET HISTORY	
10.30.06 PRELIMINARY	
1.	
2.	
3.	
4.	
A1	
VZ005461	

THESE DRAWINGS ARE THE PROPERTY OF VERIZON WIRELESS. THEY ARE INTENDED FOR THE EXCLUSIVE USE OF THIS PROJECT ONLY. ANY RE-USE OF THESE PLANS (DRAWINGS) WITHOUT THE EXPRESS WRITTEN CONSENT OF VERIZON WIRELESS IS PROHIBITED.



1-800-522-6543



PRELIMINARY SITE PLAN

1

SCALE: 1"=60'-0"



NEW IMPERVIOUS GROUND COVER	
LEASE AREA	1,400.0 SF
ACCESS ROAD	1,400.0 SF
TOTAL	2,800.0 SF

6.6.8





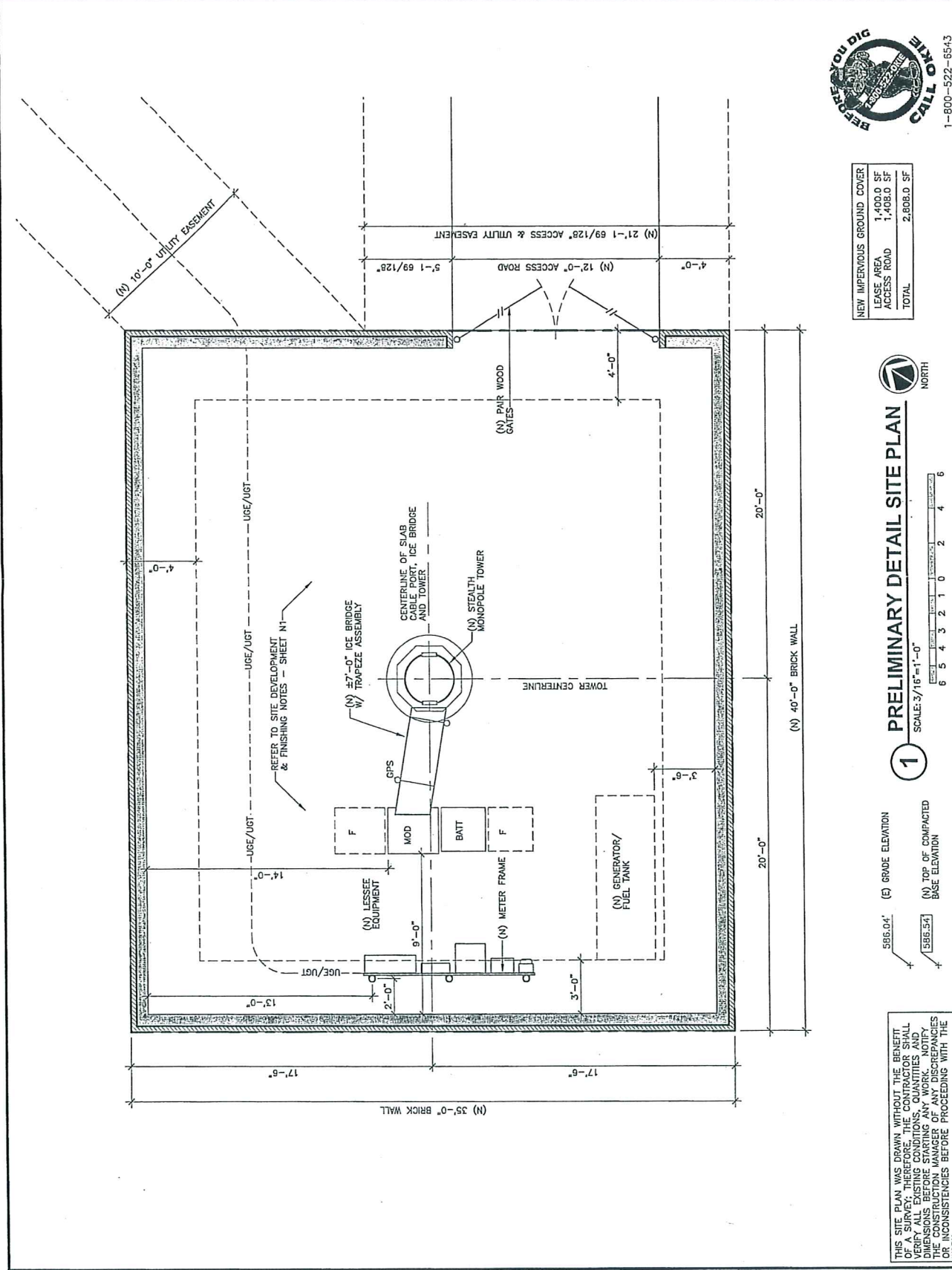
THIS IS A REVIEW SET  
APPROPRIATE PROFESSIONAL  
SEALS WILL BE ADDED ON  
FINAL CONSTRUCTION SET

**Tulsa\_Southwest\_Ok**  
168454B  
9220 SOUTH HARVARD AVENUE, TULSA, OK 74137  
ARCHCOMM, INC. - ARCHITECTS  
1840 Lockhill-Seima, Suite 101  
San Antonio, Texas 78213  
(210)308-9905



SHEET TITLE
PRELIMINARY DETAIL
SITE PLAN
SHEET HISTORY
10.30.06 PRELIMINARY
1.
2.
3.
4.
A2
VZ0605461

THESE DRAWINGS ARE THE PROPERTY OF VERIZON WIRELESS. THEY ARE INTENDED FOR THE EXCLUSIVE USE OF THIS PROJECT ONLY. ANY RE-USE OF THESE PLANS (DRAWINGS) WITHOUT THE EXPRESS WRITTEN CONSENT OF VERIZON WIRELESS IS PROHIBITED.



1-800-522-6543

NEW IMPERVIOUS GROUND COVER
LEASE AREA
ACCESS ROAD
TOTAL



**1** PRELIMINARY DETAIL SITE PLAN  
SCALE: 3/16" = 1'-0"



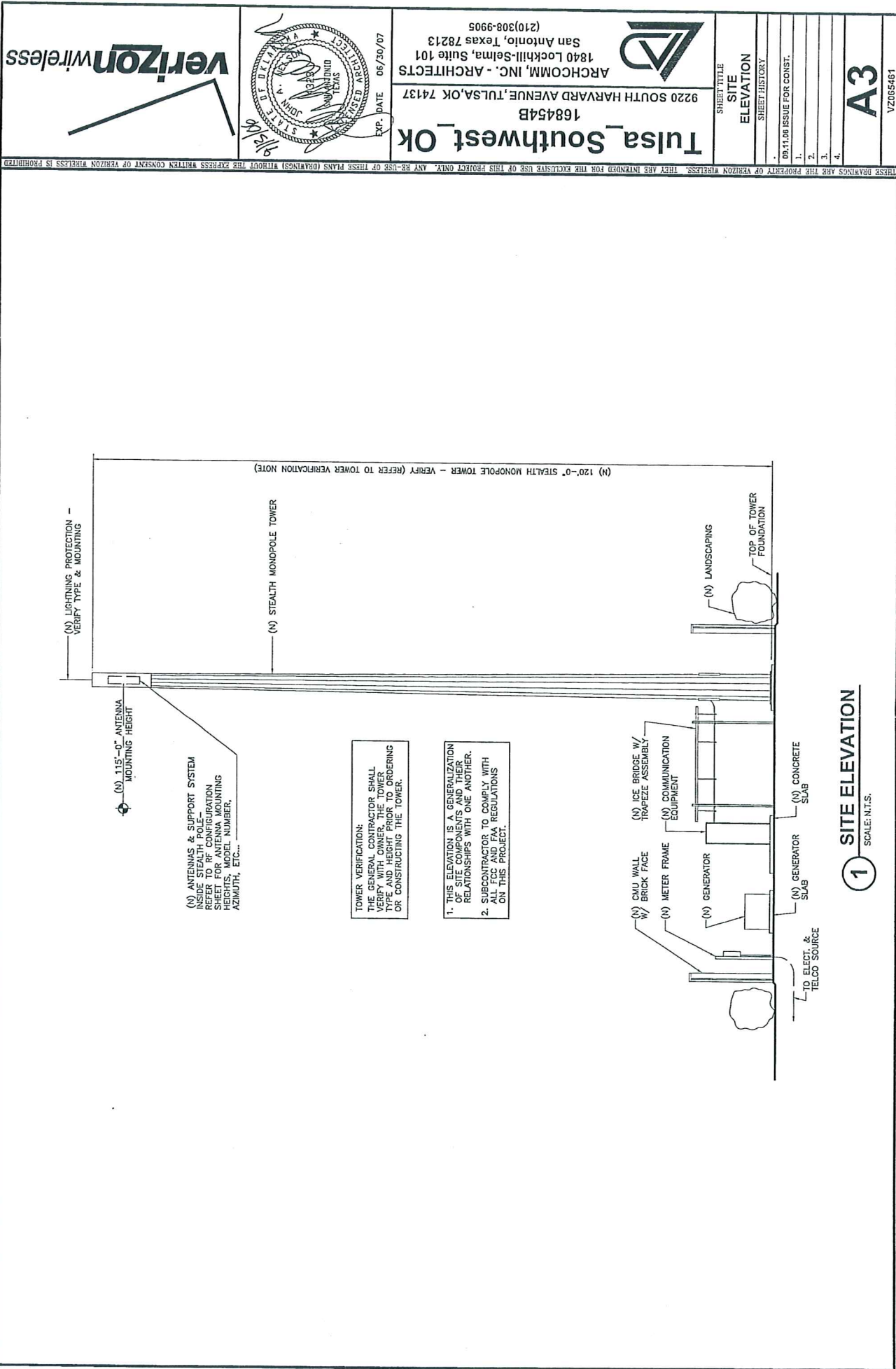
585.04' (E) GRADE ELEVATION  
585.54' (N) TOP OF COMPACTED BASE ELEVATION

THIS SITE PLAN WAS DRAWN WITHOUT THE BENEFIT OF A SURVEY. THEREFORE, THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND LOCATIONS OF UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DISCREPANCIES OR INCONSISTENCIES BEFORE PROCEEDING WITH THE WORK.

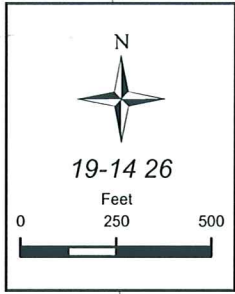
6.6.9



01.9.10







AG

S LYNN LANE RD

CS

RS-3

E 41st ST

CS

RM-0

RS-3

AG

Z-7048

RS-4

RS-3

E 46th ST

S 170th AV

S 172nd AV

E 47th ST

S 173rd AV

S 174th AV

S 175th AV

S 176th AV

S 176th PL

S 177th AV

S 175th AV

E 46th ST

E 47th ST

E 48th ST

6. H. 1





6.4.2



**TULSA METROPOLITAN AREA PLANNING COMMISSION  
CASE REPORT**

**APPLICATION: Z-7048**

**TRS 9426**

**Atlas N/A**

**CZM 50**

**PD-17 CD-6**

**TMAPC Hearing Date:** January 3, 2007

**Applicant:** Sisemore Weisz & Associates, Inc

**Tract Size:** 47± acres

**ADDRESS/GENERAL LOCATION:** South of the southwest corner East 41<sup>st</sup> Street and South 177<sup>th</sup> East Avenue

**EXISTING ZONING:** AG

**EXISTING USE:** Vacant/some residential

**ZONING ORDINANCE:** Ordinance number 11826, dated June 26, 1970, established zoning for the subject property.

**PROPOSED ZONING:** RS-3

**PROPOSED USE:** Single-family subdivision

**RELEVANT ZONING HISTORY:**

**PUD-733 October 2006:** All concurred in approval of a request for a PUD for commercial development at the northeast corner of South 177<sup>th</sup> East Avenue and East 41<sup>st</sup> Street South, with underlying zoning of CS, RS-3 and AG. This case is to be heard by the City Council on December 19, 2006.

**Z-7028 August 2006:** All concurred in approval of a request to rezone a 10+ acre tract from AG to RS-3 on property located south of southwest corner of East 41<sup>st</sup> Street and South 177<sup>th</sup> East Avenue.

**Z-7006 January 2006:** All concurred in approval of a request to rezone an 80± acre tract from RS-3 to RS-4 for Residential purposes located south of the southeast corner of East 41<sup>st</sup> Street South and South 177<sup>th</sup> East Avenue.

**Z-6999 September 2005:** All concurred in approval of a request to rezone a 90± acre tract locate west of the southwest corner of East 41<sup>st</sup> Street and 193<sup>rd</sup> East Avenue from RS-3, AG, OL and CS to RS-4 for single-family development.

**Z-6972/PUD-712 February 2005:** All concurred in approval a request to rezone approximately eight acres in a wrap-around configuration located north and west of the northwest corner of East 51<sup>st</sup> Street and South 193<sup>rd</sup> East Avenue from RM-0 to OL. Approval was also granted for a PUD on the entire northwest corner of this intersection to allow retail development with a proposed mini-storage facility around the commercial corner.

**Z-6970 February 2005:** All concurred in approval of a request to rezone a ten-acre tract located south of the southwest corner of East 49<sup>th</sup> Street and South 177<sup>th</sup> East Avenue, from AG to RS-3.



**PUD-711 February 2005:** Approval was granted for a gated single-family development for 38 lots. The property is located west of the northwest corner of East 51<sup>st</sup> Street and South 177<sup>th</sup> East Avenue.

**Z-6945 August 2004:** Approval was granted for RS-3 zoning from AG on a 126.5-acre tract located north and east of the northeast corner of East 51<sup>st</sup> Street and South 177<sup>th</sup> East Avenue.

**Z-6913 October 2003:** A request to rezone 11.6 acres, located west of the northwest corner of East 51<sup>st</sup> Street and South Lynn Lane (South 177<sup>th</sup> East Avenue) from AG to RS-4. Staff recommended denial on the grounds there were no other zoning and development patterns in the area with RS-4 zoning. Staff recommended the applicant re-submit the application along with a Planned Unit Development.

**Z-6911 September 2003:** Approval was granted to rezone 160 acres located east of the northeast corner of East 51<sup>st</sup> Street South and South 161 East Avenue from AG to RS-3 for single-family development.

**Z-6834 October 2001:** The TMAPC and City Council approved a request to rezone property located north or the northwest corner of East 51<sup>st</sup> Street and South 177<sup>th</sup> East Avenue, from AG to RS-3.

**Z-6816 June 2001:** All concurred in approval of a request to rezone an eleven-acre tract located north and east of the northeast corner of East 41<sup>st</sup> Street and South 177<sup>th</sup> East Avenue from RM-0 and RS-3 to AG and RS-3 for residential and agricultural uses.

**Z-6500 September 1995:** The TMAPC and City Council approved rezoning from AG to RS-4 on a property north of East 51<sup>st</sup> Street between Lynn Lane (South 177<sup>th</sup> East Avenue) and South 193<sup>rd</sup> East Avenue.

#### **AREA DESCRIPTION:**

**SITE ANALYSIS:** The subject property is approximately 47± acres in size and is located south of the southwest corner East 41<sup>st</sup> St and South 177<sup>th</sup> Avenue East. The property appears to be mostly vacant with a few residences/outbuildings and is zoned AG.

#### **STREETS:**

<b>Exist. Access</b>	<b>MSHP Design</b>	<b>MSHP R/W</b>	<b>Exist. # Lanes</b>
South 177th Avenue East	Secondary arterial	100'	two

**UTILITIES:** The subject tract has municipal water and sewer available.

**SURROUNDING AREA:** The subject tract is abutted on the east by vacant land and perhaps a large-lot residential property, zoned RS-3 and RS-4; on the north by large-lot residential uses and vacant land, zoned AG; on the south by vacant land and large-lot residential uses, zoned RS-3; and on the west by vacant land, zoned AG.

#### **RELATIONSHIP TO THE COMPREHENSIVE PLAN:**

The District 17 Plan, a part of the adopted Comprehensive Plan for the Tulsa Metropolitan Area, designates this area Low Intensity-No Specific land use. According to the Zoning Matrix, the requested RS-3 zoning is in accord with the District Plan.



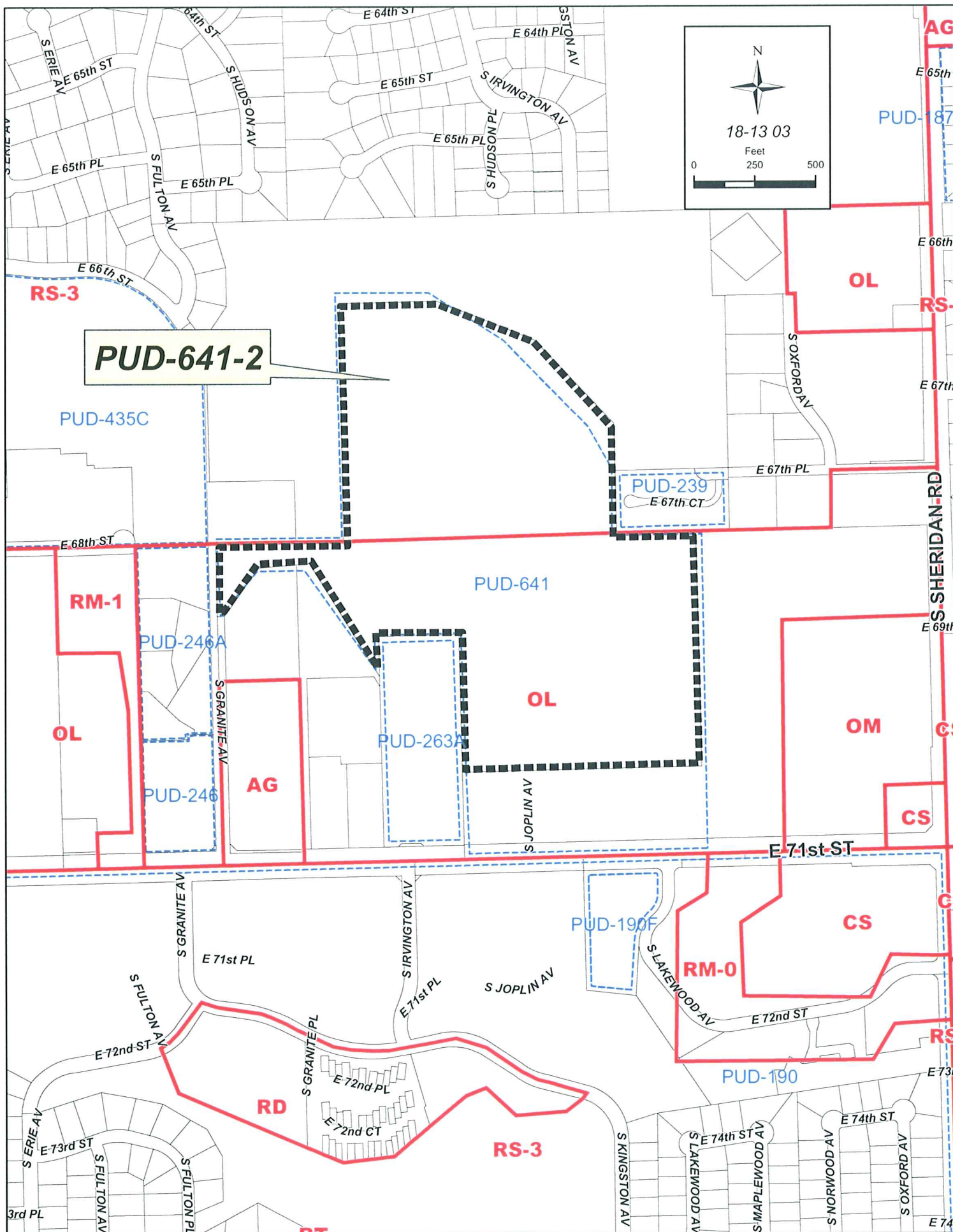
**STAFF RECOMMENDATION:**

Although very little development has occurred to date in this area, the zoning patterns are in place to accommodate single-family residential uses nearby. A recent zoning case northeast of this site (PUD-733) proposes commercial uses at the northeast corner of South 177<sup>th</sup> East Avenue and East 41<sup>st</sup> Street (recommended for approval by the TMAPC; to be heard by the City Council in late December). Therefore, based on the Comprehensive Plan, existing zoning patterns and trends in the area, staff recommends **APPROVAL** of RS-3 for Z-7048.

01/03/07

6. H. 5











January 3, 2007

## **STAFF RECOMMENDATION**

### **PUD- 641-2**

Minor Amendment – Montereau In Warren Woods; 6800 South Granite; Lot 1, Block 1, Montereau in Warren Woods; Development Area A; OL/RS-3/PUD; PD-18; CD-7

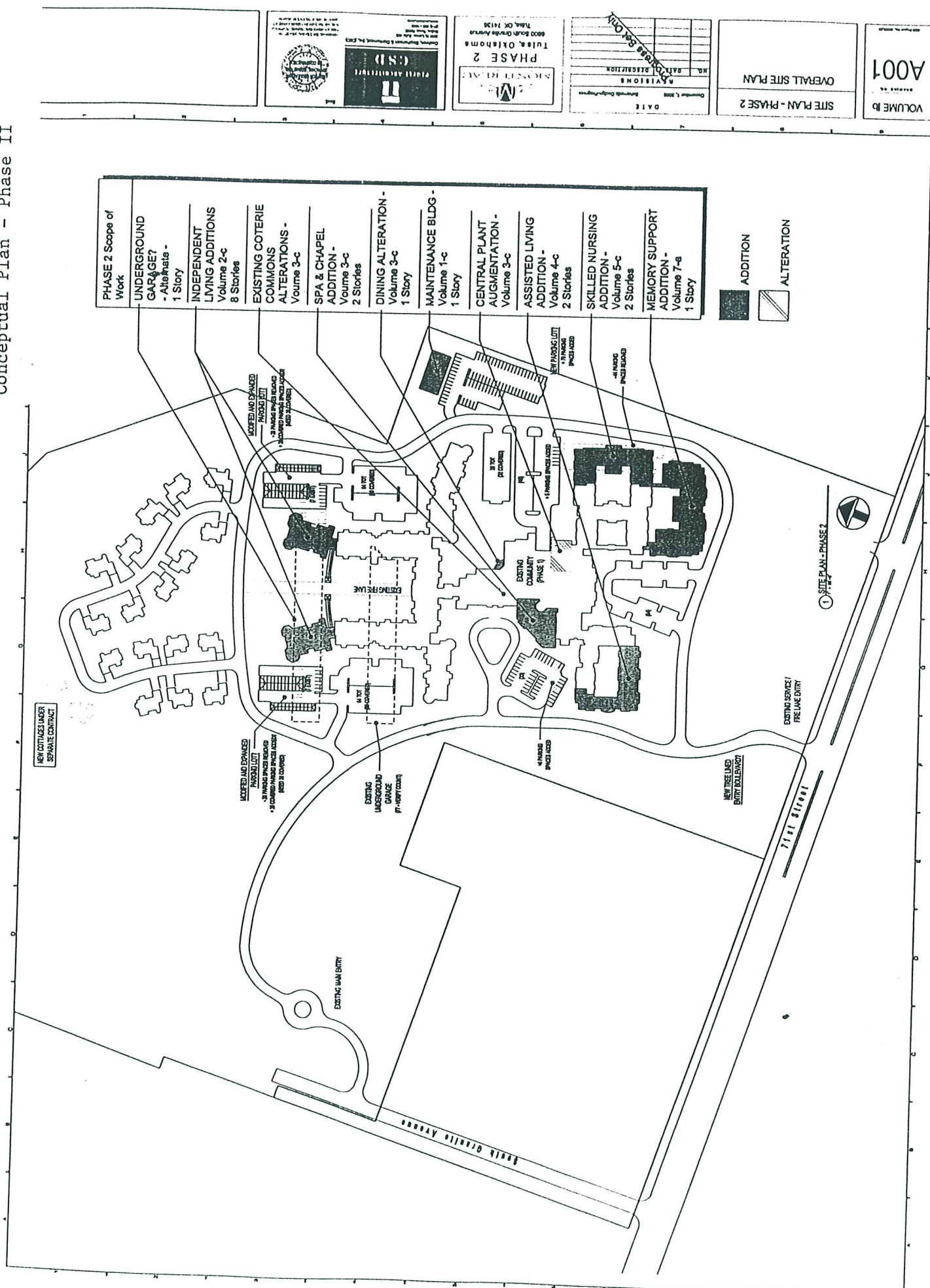
The applicant is requesting a minor amendment to PUD 641 for the purpose of increasing the building height limitation of the independent living apartment buildings from six stories to eight stories to allow construction of additions to the north wings of the multifamily complex. The proposed expansion will not exceed permitted number of multifamily dwelling units. Additional parking will be provided to accommodate the increase in dwelling units. The expanded north wings will comply with building setbacks. The nearest adjacent residential zoning and/ or residential use is approximately 275 feet to the east and 400 feet to the north.

Staff finds the proposed amendment to be minor in nature and recommends **APPROVAL** of PUD 641-2 as proposed.



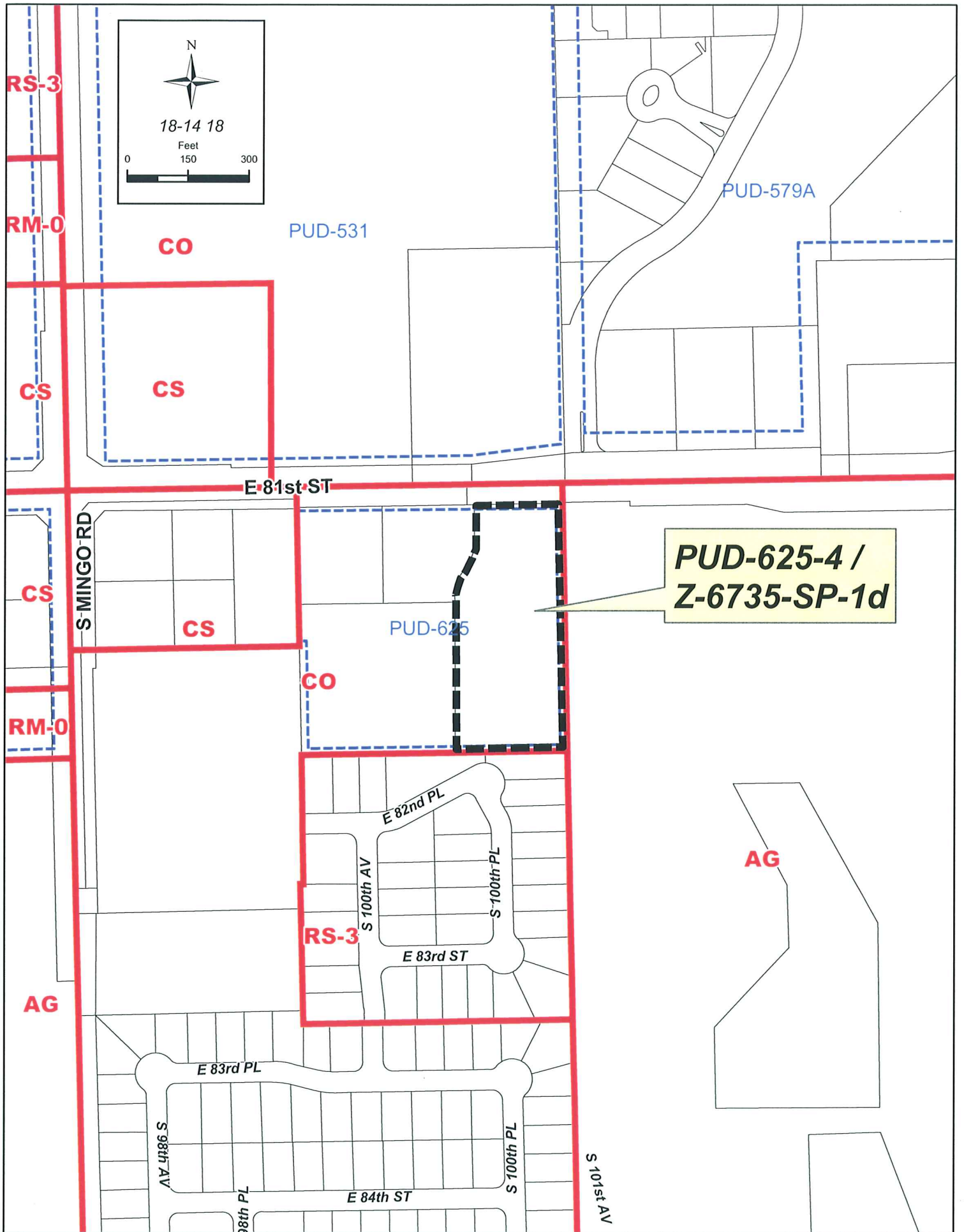
## EXHIBIT I

## Conceptual Plan - Phase II



6.I.4









Sisemore Weisz & Associates, Inc.

Engineering  
Land Surveying  
Land Planning

December 28, 2006

Ms. Barbara Huntsinger  
Tulsa Metropolitan Area Planning Commission  
201 W. 5<sup>th</sup> Street, Suite 600  
Tulsa, Oklahoma 74103

RE: PUD 625-4, Z-6735-SP-1d, L-20051 Continuance Request Letter (Lot 3, Block 1, College Center at Meadowbrook – PUD Minor Amendment, Minor Amendment to a Corridor District Site Plan, and Lot Split applications)

Dear Ms. Huntsinger:

Due to minor plan modifications by our clientele associated with the above applications, please let this letter serve as formal notice of our request for a continuance of the above referenced applications to the Wednesday, January 17, 2006 TMAPC meeting. These applications, as you are aware, are scheduled at this time for consideration at the upcoming Wednesday, January 3, 2007 TMAPC meeting. We anticipate that updated project plan documents will be completed by early next week, at which time we will submit such updated plan documentation to TMAPC staff for further review. Thank you for your consideration of this request.

Respectfully,

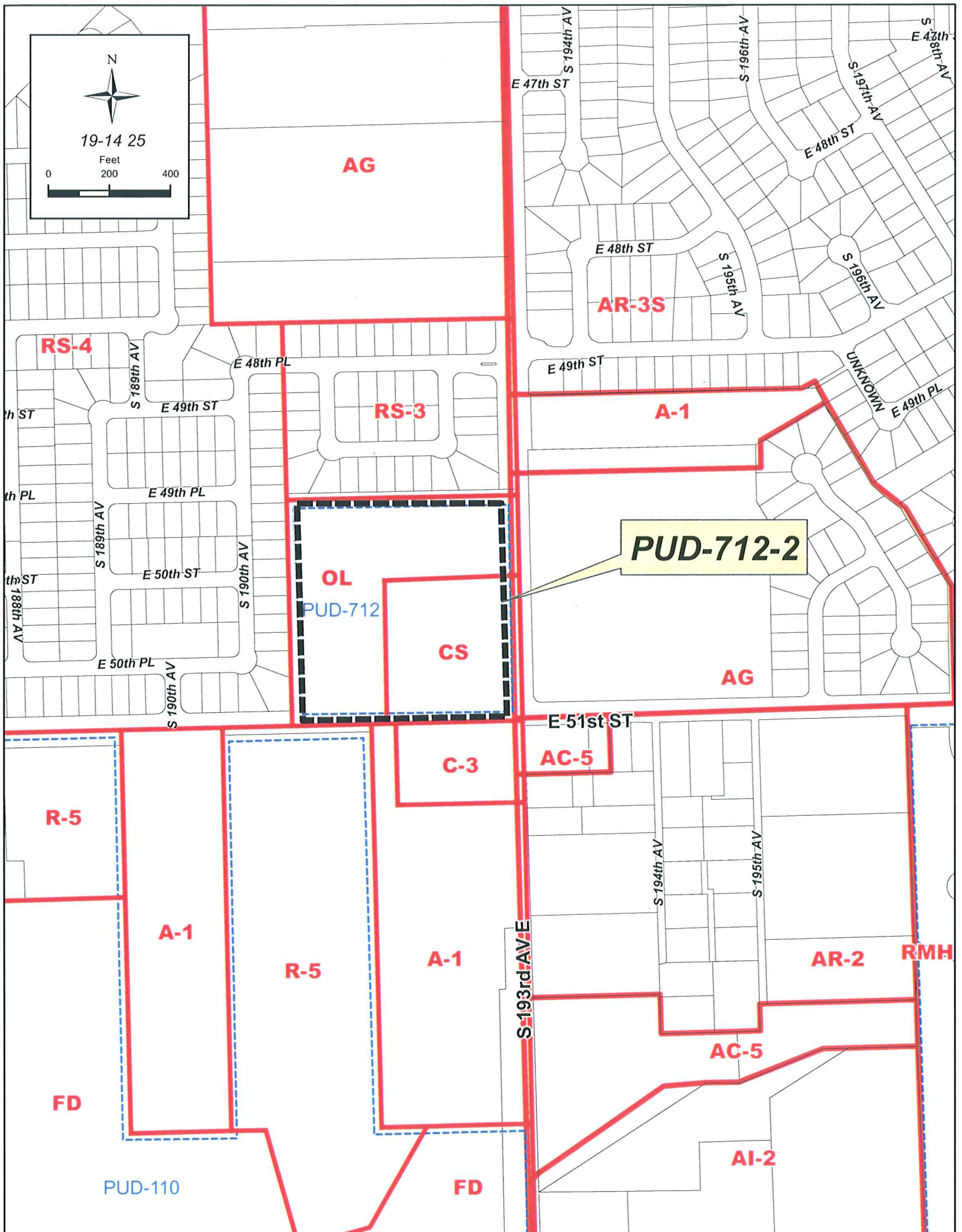


Darin L. Akerman, AICP  
Director of Planning

Cc: Delise Tomlinson, Janet Chonister, Mendy Ward, Jeff Platt, Raj Patel, file

w:\15513\continuance-letter.doc  
1814.1844





6.K.1







January 3, 2007

## STAFF RECOMMENDATION

### PUD- 712-2

Minor Amendment – Stone Creek Commercial Center; northwest corner of East 51<sup>st</sup> Street South and South 193<sup>rd</sup> East Avenue; Lots 1-4, Block 1, Stone Creek Commercial Center; Development Areas 'A' and 'B'; OL/CS/PUD; PD-17; CD-6

The applicant is requesting a minor amendment to PUD-712 for the purpose of reallocating floor area. No change in the permitted uses is proposed and the proposed intensity of use is permitted by the existing underlying zoning. The existing five acres (gross) of CS zoning with an allowable floor area ratio of .5 permits 108,900 square feet of commercial floor area. The existing approximate 7.75 acres (gross) of OL with an allowable floor area ratio of .3 permits 101,250 square feet of office (or mini-storage) floor area.

On November 2006, TMAPC approved minor amendment PUD 712-1, which among other matters allocated permitted floor area to four lots. Minor amendment PUD 712-2 proposes reallocation of permitted floor area as follows:

<u>Development Area A (retail)</u>	<u>As Approved</u>	<u>As Proposed</u>
Lot 1, Block 1		
Net Lot Area	1.50 AC	1.50 AC
Maximum Building Floor Area	11,400 SF	11,400 SF
Lot 2, Block 1		
Net Lot Area	5.0 AC	5.0 AC
Maximum Building Floor Area	46,665 SF	38,850 SF
Lot 3, Block 1		
Net Lot Area	0.59 AC	0.59 AC
Maximum Building Floor Area	5,185 SF	7,000 SF
<u>Development Area B (mini-storage)</u>		
Lot 4, Block 1	3.14 AC	3.14 AC
Maximum Building Floor Area	<u>50,000 SF</u>	<u>56,000 SF</u>
Total Floor Area	113,250 SF	113,250 SF

Staff finds the proposed amendment to be minor in nature and in keeping with the spirit and intent of PUD 712 and, therefore, recommends **APPROVAL** of PUD-712-2 as proposed subject to all other standards and conditions of PUD 712 as amended remaining in effect.

6.K.3

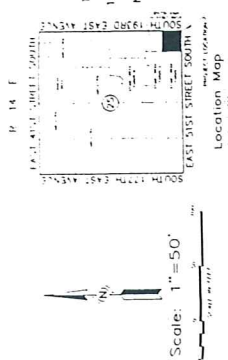


Preliminary Plat  
Planned Unit Development /12

# Stone Creek Commercial Center

A SUBDIVISION IN THE CITY OF TULSA, TULSA COUNTY, OKLAHOMA BEING A PART OF THE SE/4 OF SECTION TWENTY FIVE (25), TOWNSHIP 19 NORTH, RANGE 14 EAST, OF THE INDIAN BASE AND MERIDIAN

PLAT NO.	FINAL PLAT CERTIFICATE OF APPROVAL I hereby certify that this plat was approved by the Planning and Zoning and Engineering Commission	TAXES/INCS	This approval is valid if the plat is not used in the office of the County Clerk on or before	COUNTY or CITY ENGINEER	APPROVED _____ by the City of Tulsa, Oklahoma	_____ Mayor	_____ Attest: City Clerk	_____ Approved: City Attorney
					_____ Chairman			



## BENCHMARK

OWNER/DEVELOPER

NOTE

BY APPOINTMENT

## MONUMENTATION

SUBDIVISION STATISTICS

## BASIS OF BEARINGS

ASSUMED BEARING OF N 89° 57' 01" W ALONG  
THE SOUTH LINE OF THE SE/4 OF SECTION 25,  
- 19-N, R-14-E, OF THE INDIAN MERIDIAN,  
OKLAHOMA COUNTY, STATE OF OKLAHOMA.

STATE OF OKLAHOMA )

55 } COUNTY OF TULSA  
 I, Earlene Wilkins, Tulsa County Clerk, do and for the  
 County and State above named, do hereby certify that  
 the foregoing is a true and correct copy of a file instrument  
 as the same appears in my file in my office.

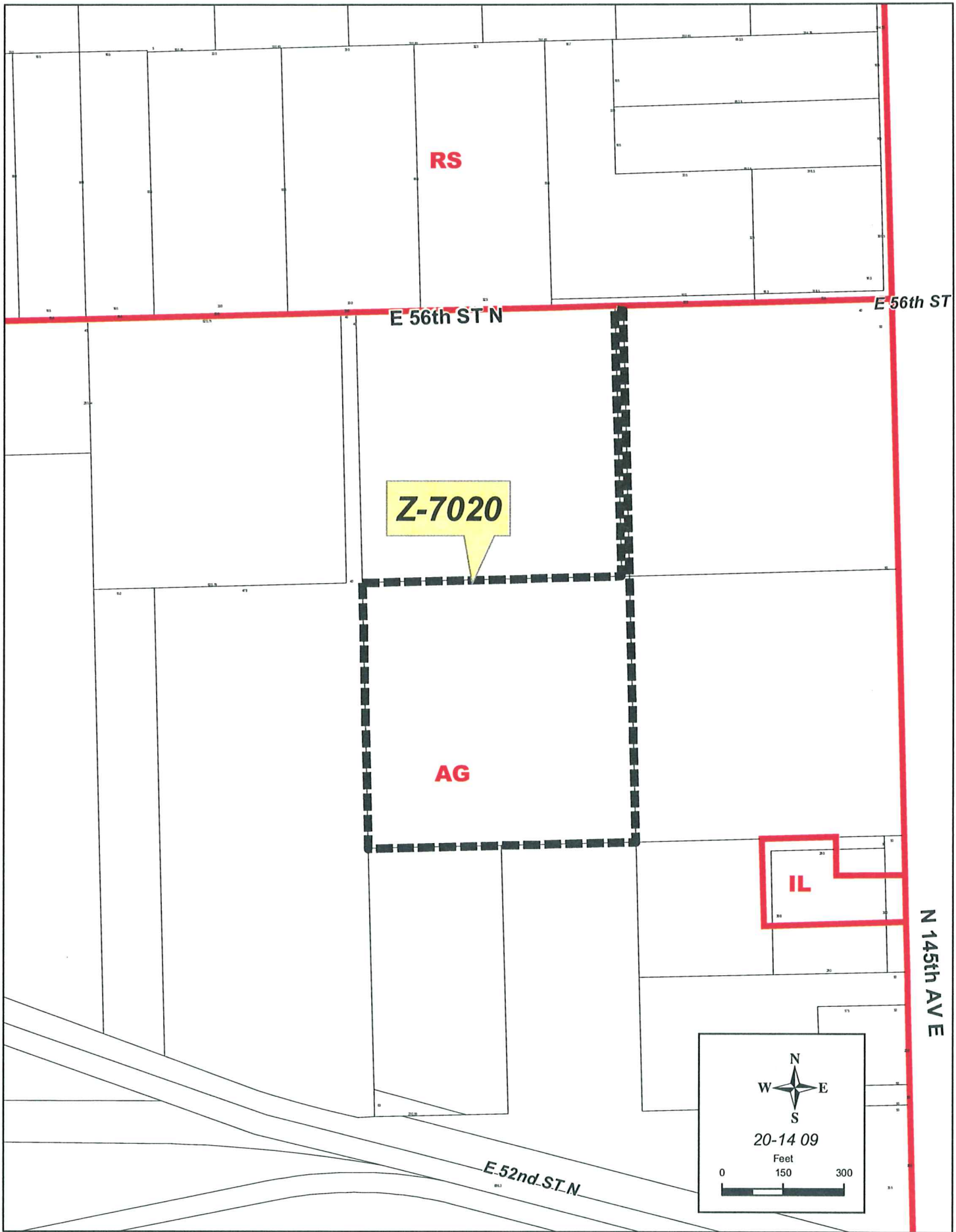
COUNTY TREASURER STAMP

East 51st Street South

Preliminary Plot  
County Commercial Center

6. K. 4





8.A.1



## Huntsinger, Barbara

---

**From:** Ronald D. Cates, Attorney at Law [rcates@tulsacoxmail.com]  
**Sent:** Thursday, December 28, 2006 9:49 AM  
**To:** Huntsinger, Barbara  
**Cc:** Matthews, Dane  
**Subject:** Z-7020-Robert Johnson

Ms. Hunsinger:

Thank you for your email communication. Indeed, on behalf of my client, I am requesting a continuance of the hearing before the Tulsa Metropolitan Planning Commission set for January 3, 2007. We are continuing in our efforts to address the concerns expressed by Mr. Alberty and Ms. Matthews with this application. Hopefully, those issues will be resolved in the very near future. I will defer to you as to the available dates for the rescheduling of this matter. I would suggest that with the holidays at least two (2) weeks would be required. Please advise me of your recommendation. Thank you for your assistance in this matter.