

# TULSA METROPOLITAN AREA PLANNING COMMISSION

## For Meeting No. 2548

May 20, 2009, 1:30 PM

175 East 2<sup>nd</sup> Street, 2<sup>nd</sup> Level, One Technology Center

Tulsa City Council Chambers

CONSIDER, DISCUSS AND/OR TAKE ACTION ON

Call to Order:

### REPORTS

#### Chairman's Report:

#### Worksession Report:

#### Comprehensive Plan Report:

Report on the update of the Comprehensive Plan

#### Director's Report:

Review TMAPC Receipts for the Month of April 2009

1. Minutes of May 6, 2009, Meeting No. 2547

### CONSENT AGENDA

All matters under "Consent" are considered by the Planning Commission to be routine and will be enacted by one motion. Any Planning Commission member may, however, remove an item by request.

2. **LC-169** - Dustin & Amanda Harris (9107)/Lot Combination (County)  
West of South 167<sup>th</sup> Avenue and East of South 168<sup>th</sup> Avenue, 16707  
West 167<sup>th</sup> Avenue
3. **LS-20290** – Robert Buss (0407)/Lot-Split (PD16) (CD3)  
East of North Mingo Road and South of East 56<sup>th</sup> Street North, 9726 56<sup>th</sup>  
Street North
4. **LS-20300** – David Polson (8210)/Lot-Split (PD8) (CD 2)  
Northeast corner of West 77<sup>th</sup> Street and South Xenophon Avenue, 2007  
West 77<sup>th</sup> Street
5. **PUD-557-A/Z-5620-SP-11 – Tulsa City/County – Hardesty Library** (PD-18) (CD-8)  
East of southeast corner of East 93<sup>rd</sup> Street South and South Memorial  
Drive (Detail Site Plan for expansion of the existing parking lots at the  
Hardesty Regional Library.)
6. **PUD-472-4 – Messick Mini-Storage** (PD-18) (CD-9)  
East of the southeast of Peoria Avenue and 58<sup>th</sup> Street South (Minor  
Amendment to add Community Center only to an existing mini-storage  
facility.)
7. **PUD-739-1 - Tulsa Engineering and Planning/Tim Terral** (PD-8) (CD-2)  
North of the northwest corner West 81<sup>st</sup> Street and Houston Avenue  
(Minor Amendment to waive 184 lineal feet of sidewalk located on north  
side of West 80<sup>th</sup> Street South at the entrance to the Reserve at  
Stonebrook.) (Related to Item 13.)

8. **PUD-714-A – Sack and Associates/Mark Capron** (PD-26) (CD-2)  
 South of the southeast corner of South College Avenue and East 103<sup>rd</sup> Street South (Minor Amendment to add Use Unit 2 – Area Wide Special Exception Uses to allow for a private club/pool and pool house.) (Related to Item 9.)
9. **PUD-714-A – Sack and Associates/Mark Capron** (PD-26) (CD-2)  
 South of the southeast corner of South College Avenue and East 103<sup>rd</sup> Street South (Detail Site Plan for a 625 square foot pool house and outdoor pool for exclusive use by the residents of Riverview Park Estates.) (Related to Item 8.)
10. **PUD-761 – Ron Cardwell, PE/CVS Pharmacy, Inc.** (PD-6) (CD-9)  
 Southeast corner South Harvard Avenue and 41<sup>st</sup> Street South (Detail Site Plan for a 13,062 square foot CVS Pharmacy.)

## **CONSIDERATION OF ITEMS REMOVED FROM THE CONSENT AGENDA**

### **PUBLIC HEARINGS**

11. **St. John Tulsa Federal Credit Union – (9307) Preliminary Plat** (PD 4) (CD 4)  
 Northwest corner of East 13<sup>th</sup> Place and South Lewis Avenue
12. **Peoples' Bank of Carbondale – (9234) Plat Waiver** (PD 8) (CD 2)  
 Southeast corner of 33<sup>rd</sup> West Avenue and I-44
13. **PUD-739-1 – Tulsa Engineering and Planning/Tim Terral – Sidewalk Waiver** (PD 8) (CD 2)  
 Northwest of northwest corner of 81<sup>st</sup> Street South and Elwood Avenue (Related to Item 7.)
14. **Z-7133 – Wallace Engineering/Hardesty Building** OL/IM to CH  
 North of northeast corner East 11<sup>th</sup> Street and South Wheeling Avenue (PD-4) (CD-4)

### **OTHER BUSINESS**

15. **City Council Consensus 2009-3 – directing the TMAPC to hold public hearings, analyze and recommend to the City Council ordinance amendments to the Zoning Code of the City of Tulsa governing the development of properties over or around land containing underground pipelines.**
16. **City Council Consensus 2009-6 – directing the TMAPC to hold public hearings, analyze and recommend to the City Council ordinance amendments to the Zoning Code of the City of Tulsa governing screening requirements for outhouses or temporary latrines in residentially zoned areas for more than six months.**
17. **Commissioners' Comments**

### **ADJOURN**

PD = Planning District/CD = Council District

**NOTICE: If you require special accommodation pursuant to the Americans with Disabilities Act, please notify INCOG (918) 584-7526**

**Exhibits, Petitions, Pictures, etc., presented to the Planning Commission may be received and deposited in case files to be maintained at Land Development Services, INCOG.**

**Ringin/sound on all cell phones and pagere must be turned off during the Planning Commission.**

Visit our website @ [www.tmapc.org](http://www.tmapc.org)

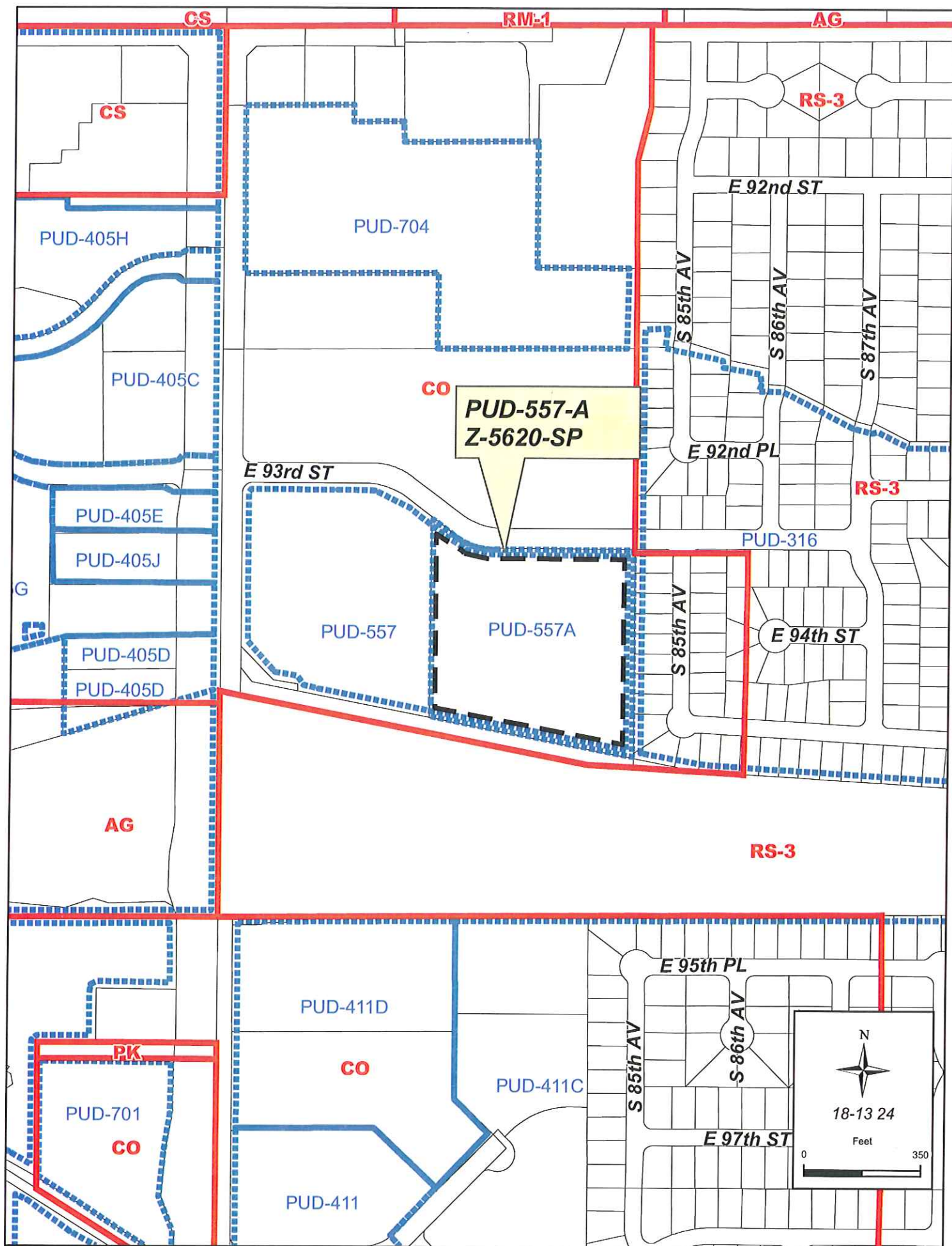
The Mission of the Tulsa Metropolitan Area Planning Commission (TMAPC) is to provide unbiased advice to the City Council and the County Commissioners on development and zoning matters, to provide a public forum that fosters public participation and transparency in land development and planning, to adopt and maintain a comprehensive plan for the metropolitan area, and to provide other planning, zoning and land division services that promote the harmonious development of the Tulsa Metropolitan Area and enhance and preserve the quality of life for the region's current and future residents.

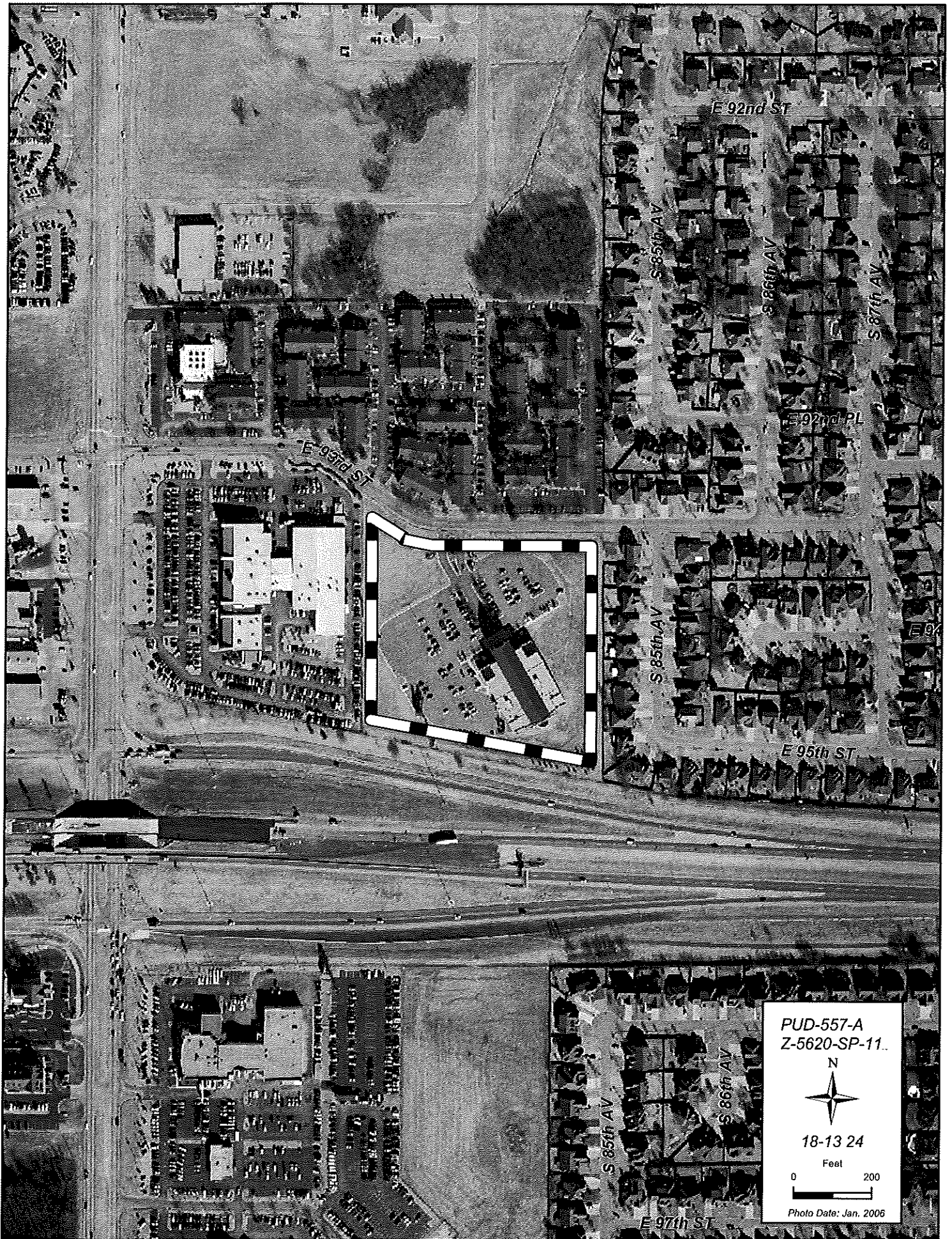
**TMAPC Mission Statement**

TMAPC RECEIPTS  
Month of April 2009

----- Current Period -----				----- Year To Date -----			
ITEM	CITY	COUNTY	TOTAL RECEIVED	ITEM	CITY	COUNTY	TOTAL RECEIVED
ZONING							
Zoning Letters	10	\$50.00	\$100.00	125	\$640.00	\$640.00	\$1,280.00
Zoning	9	2,982.50	5,965.00	92	25,415.00	25,415.00	50,830.00
PUDs & Plan Reviews	36	2,775.00	5,550.00	332	28,678.60	28,678.60	57,357.20
Refunds	0	0.00	0.00	2	(105.00)	(105.00)	(210.00)
Fees Waived	0	0.00	0.00	2	205.00	205.00	410.00
		<u>\$5,807.50</u>	<u>\$11,615.00</u>		<u>\$54,628.60</u>	<u>\$54,628.60</u>	<u>\$109,257.20</u>
LAND DIVISION							
Minor Subdivisions	1	\$325.00	\$650.00	7	\$2,462.85	\$2,462.85	\$4,925.70
Preliminary Plats	1	602.50	1,205.00	16	8,479.75	8,479.75	16,959.50
Final Plats	1	522.50	1,045.00	19	8,330.98	8,330.97	16,661.94
Plat Waivers	1	125.00	250.00	17	2,125.00	2,125.00	4,250.00
Lot Splits	8	400.00	800.00	68	3,627.50	3,627.50	7,255.00
Lot Combinations	8	400.00	800.00	57	2,900.00	2,900.00	5,800.00
Access Changes	2	50.00	100.00	10	250.00	250.00	500.00
Other	0	0.00	0.00	0	0.00	0.00	0.00
Refunds	0	0.00	0.00	1	(175.00)	(175.00)	(350.00)
Fees Waived	0	0.00	0.00	1	50.00	50.00	100.00
		<u>\$2,425.00</u>	<u>\$4,850.00</u>		<u>\$28,001.08</u>	<u>\$28,001.07</u>	<u>\$56,002.14</u>
BOARDS OF ADJUSTMENT							
Fees	18	\$3,550.00	\$5,750.00	213	\$55,525.00	\$9,550.00	\$65,075.00
Refunds	0	0.00	0.00	2	(650.00)	0.00	(650.00)
Fees Waived	0	0.00	0.00	7	2,450.00	350.00	2,800.00
		<u>\$3,550.00</u>	<u>\$5,750.00</u>		<u>\$54,875.00</u>	<u>\$9,550.00</u>	<u>\$64,425.00</u>
TOTAL		\$11,782.50	\$22,215.00		\$137,504.68	\$92,179.67	\$229,684.34







PUD-557-A  
Z-5620-SP-11



18-13 24

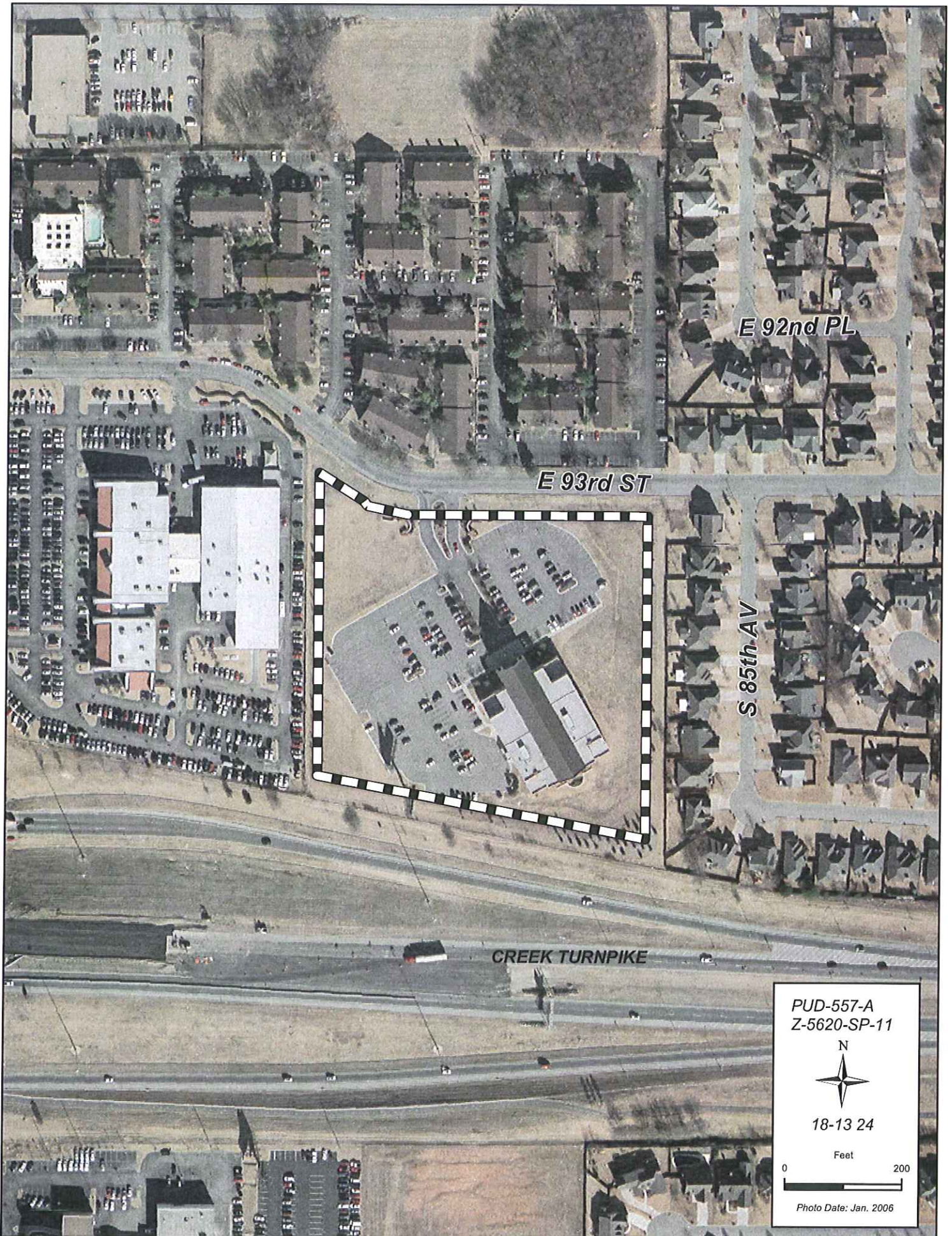
Feet

0 200



Photo Date: Jan. 2006





E 92nd PL

E 93rd ST

S 85th AV

CREEK TURNPIKE

PUD-557-A  
Z-5620-SP-11



18-13 24

Feet

0 200

Photo Date: Jan. 2006



May 20, 2009

## STAFF RECOMMENDATION

**PUD-557-A:** Detail Site Plan – East of the southeast corner of 93<sup>rd</sup> Street South and South Memorial Drive; Lot 2, Block 1 – Sunchase II; TRS 8324; CZM 57; Atlas 2083; PD 18; CD 8; CO/PUD.

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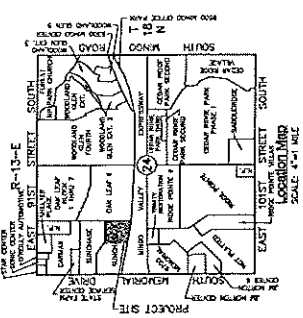
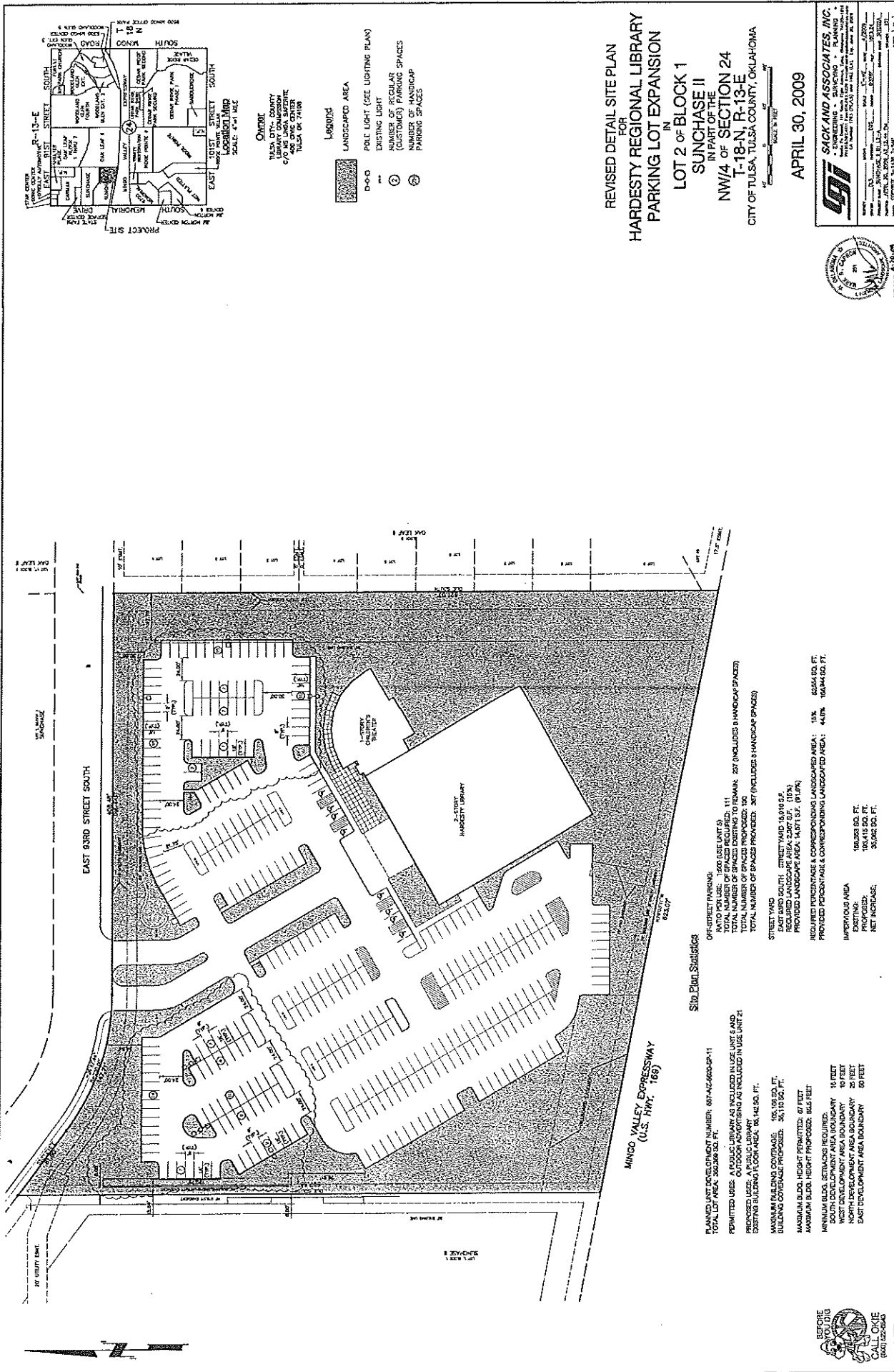
The applicant is requesting approval of a detail site plan for expansion of the existing parking lots at the Hardesty Regional Library.

With the addition of 130 parking spaces there will be 367 spaces provided for the library and associated children's theater. With this expansion the site will continue to meet all applicable open space, landscaping and parking area setback requirements. Access to the site will continue to be from East 93<sup>rd</sup> Street. Parking has been provided in excess of the applicable Use Unit of the Zoning Code. Additional landscaping is being provided, with the over-all landscape plan exceeding the requirements of the PUD and landscape chapter of the Zoning Code.

All sight lighting is limited to 12-feet in height within 120' of the east boundary line. All other site lighting is limited to 25 feet in total height. All lighting is directed down and away from adjoining properties.

Staff recommends **APPROVAL** of the detail site plan for expansion of the parking lots at the Hardesty Regional Library, PUD-557-A.

*(Note: Detail site plan approval does not constitute landscape and sign plan approval.)*



- LEGEND**
- LANDSCAPED AREA
  - POLE LIGHT (SEE LIGHTING PLAN)
  - EXISTING LIGHT
  - NUMBER OF REGULAR (CUSTOMER) PARKING SPACES
  - NUMBER OF HANDICAP PARKING SPACES

REVISED DETAIL SITE PLAN  
FOR  
HARDESTY REGIONAL LIBRARY  
PARKING LOT EXPANSION  
IN  
LOT 2 OF BLOCK 1  
SUNCHASE II  
IN PART OF THE  
NW/4 OF SECTION 24  
T-18-N, R-13-E  
CITY OF TULSA, TULSA COUNTY, OKLAHOMA

APRIL 30, 2009

**SACK AND ASSOCIATES, INC.**  
ENGINEERING • SURVEYING • PLANNING  
1000 N. WILSON AVENUE, SUITE 100  
TULSA, OKLAHOMA 74103  
PHONE: (918) 438-1234  
FAX: (918) 438-1235  
WWW.SACKANDASSOCIATES.COM



**Site Plan Statistics**

<b>OFF-STREET PARKING</b>	
RATIO NUMBER OF SPACES PER UNIT (S)	111
TOTAL NUMBER OF SPACES EXISTING TO REMAIN	237 (INCLUDES 8 HANDICAP SPACES)
TOTAL NUMBER OF SPACES PROPOSED TO REMAIN	237
TOTAL NUMBER OF SPACES PROVIDED	307 (INCLUDES 8 HANDICAP SPACES)
<b>STREET YARD</b>	
EAST 93RD SOUTH STREET YARD 15,000 S.F.	
REQUIRED LANDSCAPE AREA 2,287 S.F. (15%)	
PROVIDED LANDSCAPE AREA 1,437 S.F. (9.6%)	
REQUIRED PERCENTAGE & CORRESPONDING LANDSCAPED AREA: 15%	92,564 SQ. FT.
PROVIDED PERCENTAGE & CORRESPONDING LANDSCAPED AREA: 9.6%	16,844 SQ. FT.
<b>IMPERVIOUS AREA</b>	
EXISTING	106,000 SQ. FT.
PROPOSED	106,000 SQ. FT.
NET INCREASE	30,000 SQ. FT.

<b>PERMITTED USES: A PUBLIC LIBRARY AS INCLUDED IN USE UNIT 6 AND 21</b>	
PROPOSED USES: A PUBLIC LIBRARY	
EXISTING BUILDING FLOOR AREA: 98,142 SQ. FT.	
MAXIMUM BUILDING COVERAGE: 100,000 SQ. FT.	
BUILDING COVERAGE PROPOSED: 30,110 SQ. FT.	
<b>MAXIMUM BUILDING HEIGHT PERMITTED: 67 FEET</b>	
MAXIMUM BUILDING HEIGHT PROPOSED: 67 FEET	
<b>MINIMUM BUILDING SETBACKS REQUIRED:</b>	
WEST DEVELOPMENT AREA BOUNDARY	10 FEET
SOUTH DEVELOPMENT AREA BOUNDARY	20 FEET
NORTH DEVELOPMENT AREA BOUNDARY	20 FEET
EAST DEVELOPMENT AREA BOUNDARY	50 FEET



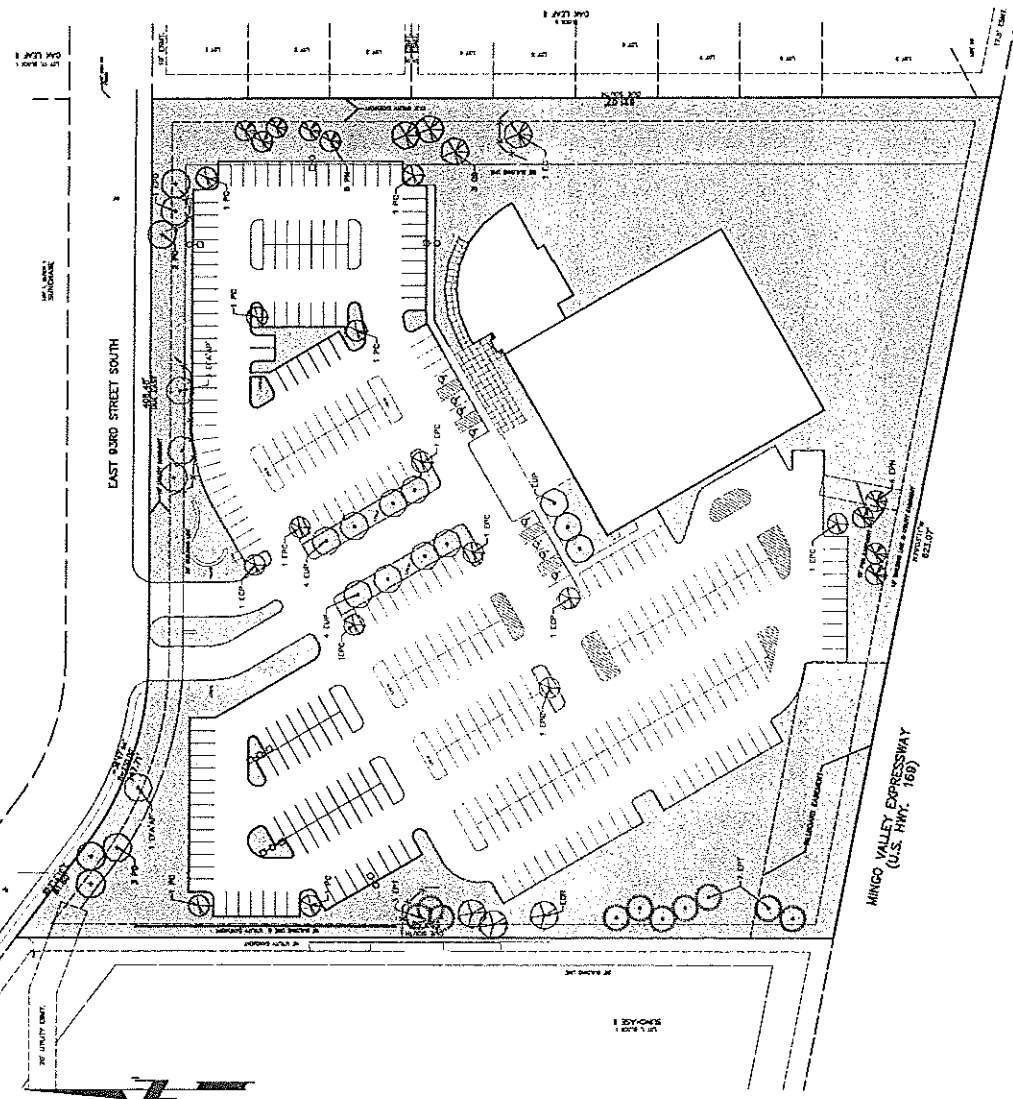
5.5

## MAY 05, 2009


[illegible][illegible]

## Landscape Certificate

BLACK AND ASSOCIATES, INC. AN OKLAHOMA CORPORATION, AND THE UNDERMINED  
LICENSED LANDSCAPE ARCHITECT. DO HEREBY STATE THAT IN OUR PROFESSIONAL  
OPINION THE LANDSCAPE PLANS DESCRIBED HEREON ARE IN CONFORMANCE WITH THE

[illegible]

**BEFORE  
YOU DIG**



**CALL OKIE**  
(800) 522-0043







Kintow, Keith & Padd, Inc.  
Architecture | Interiors  
Tel 918.744.4270  
Fax 918.744.7849  
2021 south laws sulla 150  
tulsa, oklahoma 74104  
www.kktarchitects.com  
info@kktarchitects.com



Thomas E. Kintow, P.E. 51746  
TULSA, OKLAHOMA 74104

# HARDESTY REGIONAL LIBRARY

PARKING  
ADDITION

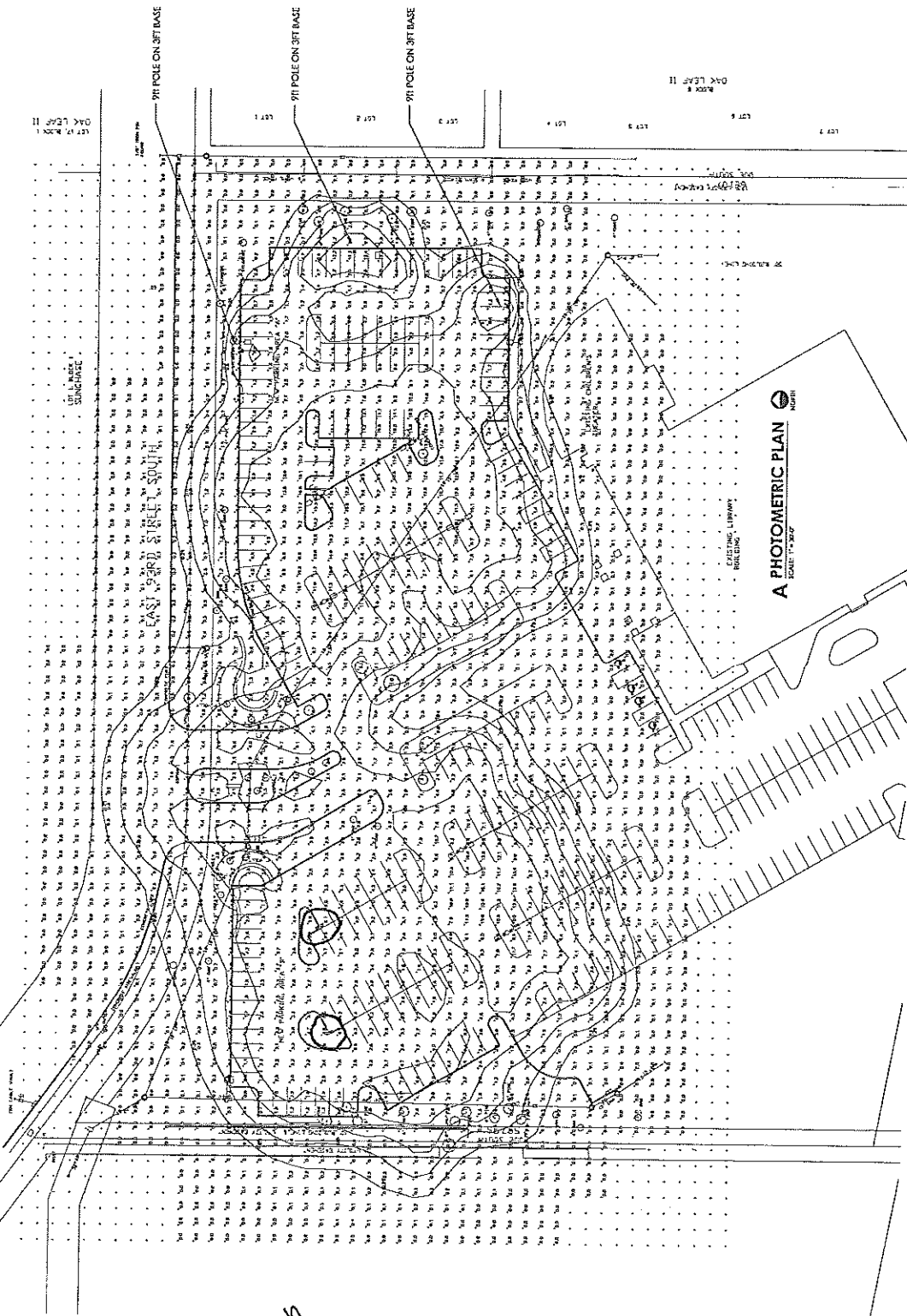
TULSA  
CITY/COUNTY  
LIBRARY  
SYSTEM

8316 E. 93RD ST.  
TULSA, OKLAHOMA  
74133

SCALE  
FILE NAME  
ANALYST  
DRAWN BY  
GROUP

DRAWING

PHOTOMETRIC  
PLAN  
E1.2



WEST POLES  
C 23' PER  
APPLICANT







**PUD-472-4**

19-13 31

0 25 50 100 150

Feet

6.2





May 20, 2009

## STAFF RECOMMENDATION

**PUD-472-4:** Minor Amendment – East of the southeast of Peoria Ave. and 58<sup>th</sup> Street South; Lot 6 – Southlawn; 1330 E. 58<sup>th</sup> St. S.; TRS 9331; CZM 47; Atlas 663; PD 18; CD 9; CS/PUD.

The applicant is requesting a minor amendment to add Community Center only, within Use Unit 5 – Community Services and Similar Uses to an existing mini-storage facility. The proposed use is a use permitted by right in a CS zoned district the underlying zoning of PUD-472.

§1107, H-15 of the Tulsa Zoning Code allows for changes in use within a PUD to be done with a minor amendment, so long as the change or addition of the use is a use permitted by right by the underlying zoning district and the change in use, “does not result in any increase of incompatibility with the present and future use of the proximate properties”. The properties to the west and north are zoned CS, to the east RM-2 and to the south RS-3.

The storage facility is 17,150 square feet (sf). The applicant is requesting that 1,600 sf or 9% of the floor area of the facility be dedicated to the additional use, which will include the meeting room, a pass-through kitchen designed for caterers and restrooms as required by Code (see Exhibits A and B). The kitchen will not be equipped for on-site preparation of food and would be equipped with an ice maker, refrigerator and sink only.

The meeting room would be limited to the number of people it will hold (50) and will have excessive insulation and sheet rock per Exhibit C providing extra sound insulation. The nearest single family structure is located approximately 350 feet to the south. The site is surrounded by a 4” thick, 6-foot high concrete wall. Sufficient parking will be provided to ensure no cars will be parked on neighboring streets.

Provided the aforementioned staff feels the conversion of 1,600 sf of storage space into meeting space will not result in any increase of incompatibility with the present and future use of the proximate properties. Therefore, staff recommends **APPROVAL** of minor amendment PUD-472-4.

*Note: Approval of a minor amendment does not constitute detail site, landscape or sign plan approval.*

6.4









Messick Meeting Room,

3/3/09

Our purpose is to provide a nice, high quality meeting room for up to 50 people. This room will be used only between 6:00PM and 12:00PM on weekends and no later than 11:00PM on weekdays. MMR has a pass-through-kitchen designed for caterers. This type of kitchen has no oven or stove and will be equipped with a ice machine, refrigerator, prep table, three hole wash sink, and a hot water heater.

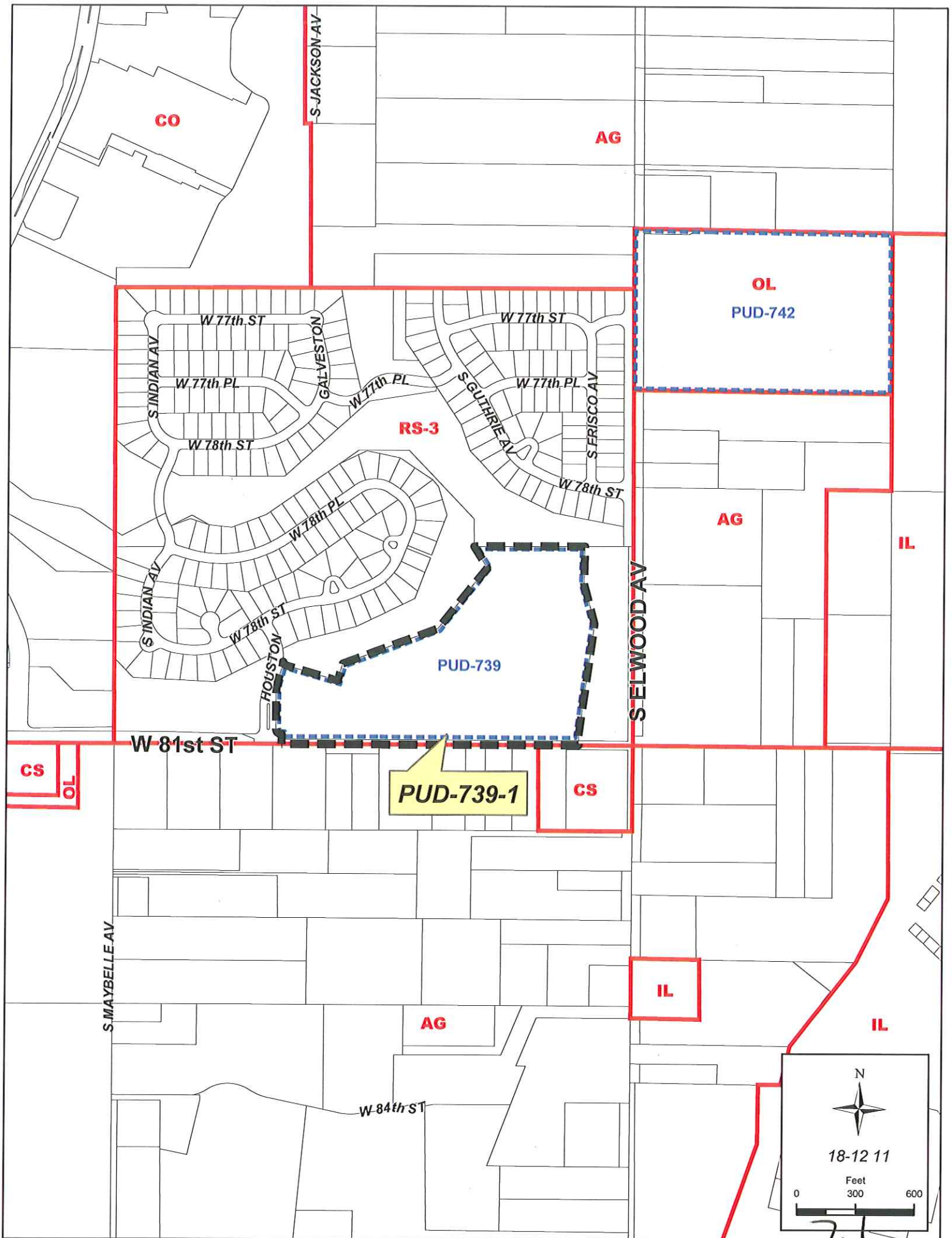
MMR has a brides restroom and a grooms. Both of which will be wheel chair accessible.

All walls will be insulated with 3.5 inches of insulation and faced with 5/8 fire sheet rock except for the East wall which will be insulated with 10 inches plus 5/8 fire sheet rock as a sound barrier. The ceiling in the banquet room will have 8 inches of insulation with a sheet metal non-combustible material.

We believe Tulsa has a need for this type of facility and a larger number of people will be able to afford a nice place for events.

Dean H. Messick

**EXHIBIT C** 6.7



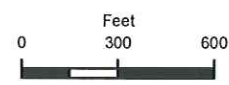




**PUD-739-1**



18-12 11



Note: Graphic overlays may not precisely align with physical features on the ground.  
Aerial 2008

7.2





N

18-12 11

Feet  
0 150 300

Note: Graphic overlays may not precisely align with physical features or Aerial Photo L

7.3



May 20, 2009

### STAFF RECOMMENDATION

**PUD-739-1:** Minor Amendment – North of the northeast corner of West 81<sup>st</sup> Street and Houston Ave. (west of the northwest corner of W. 81<sup>st</sup> Street and S. Elwood Ave.); The Reserve at Stonebrook; TRS 8211; CZM 51; Atlas 1428; PD 8; CD; 2; RS-3/PUD.

The applicant is requesting a minor amendment to waive 184 lineal feet of sidewalk located on the north side of West 80<sup>th</sup> Street South, just west of South Houston Ave. at the entrance to the Reserve at Stonebrook. The applicant is requesting to pay the fee-in-lieu of the 184' of sidewalk and is not requesting to waive the entire sidewalk requirement per PUD and subdivision regulations (see Exhibit A).

The applicant is making the request citing topographic conditions along the 184 lineal feet of West 80<sup>th</sup> Street South. Exhibits C through E are photographs of the area in question. Notice on Exhibit D, the distance between the curb and the edge of the grass. The edge of the grass is actually the upper limits of the detention pond, and represents an area approximately three feet wide. The slope in this area is estimated to be a drop off of about 3 – 4-feet (+/-). This drop off, combined with the availability of a 3-foot strip of land would make the installation of a minimum 4-foot wide sidewalk impractical.

Given that the request is for the fee-in-lieu of 184' of sidewalk in a development with an extensive sidewalk system as depicted on Exhibit A, staff recommends **APPROVAL** of minor amendment PUD-739-1, waiving 184 lineal feet of sidewalk near the entrance to the Reserve at Stonebrook only, in exchange for the fee-in-lieu of sidewalk to be paid to the City of Tulsa.

*Note: Approval of a minor amendment does not constitute detail site, landscape or sign plan approval.*

## Overall Revised Sidewalk Plan

A subdivision in the City of Tulsa, being a part of the SE/4 of Section 11, Township 18 North, Range 12 East, of the Indian Meridian, Tulsa County, State of Oklahoma

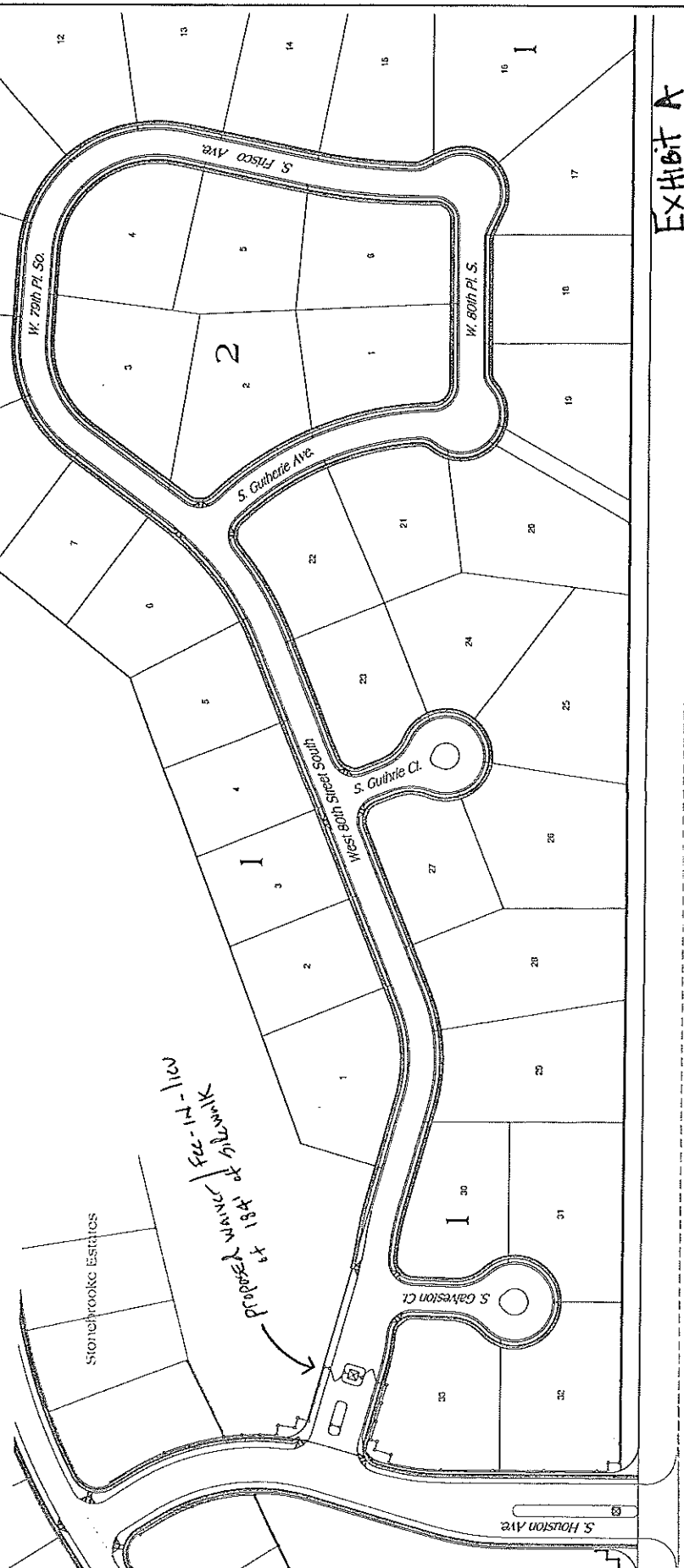
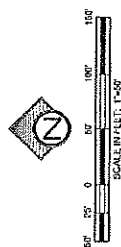


Exhibit A

West 81st Street South -

The Reserve at Stonebrooke

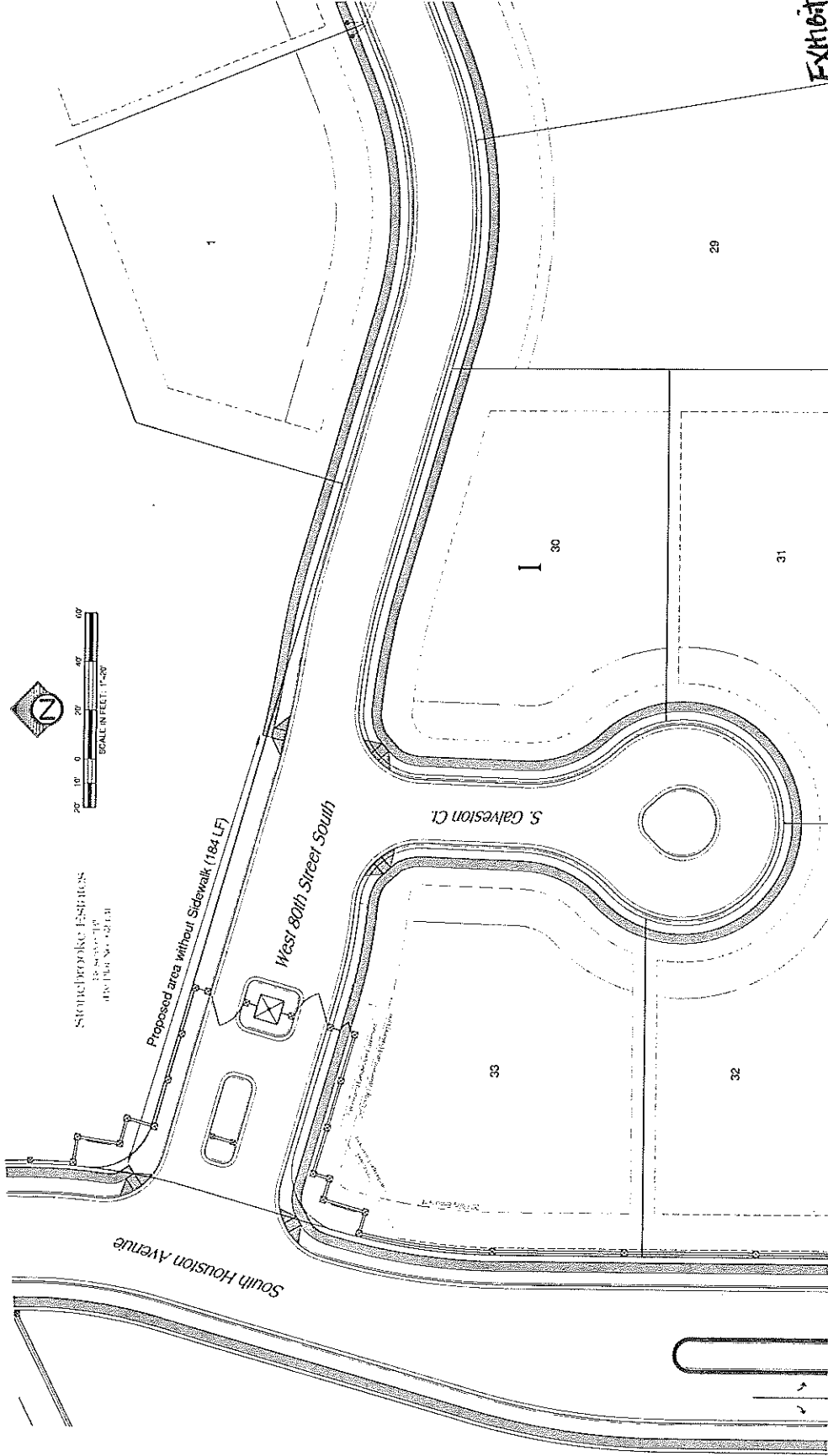
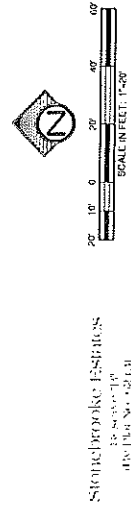
Figure 2

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7.5

# The Reserve at Stonebrooke

A subdivision in the City of Tulsa, being a part of the SE 1/4 of Section 11, Township 18 North,  
Range 12 East, of the Indian Meridian, Tulsa County, State of Oklahoma



The Reserve at Stonebrooke  
Sheet 1 of 3

2.04.137740 Minor Amendment E.A. Revised Sidewalk Plan 08.07.07 Proj. #132004 - 470.04





C  
7.7





7.8







PUD-306  
CS

PUD-306D

RM-0

PUD-306C  
RS-3

RS-2

E 101st ST

CS

SEVANSTON AV

E 101st PL

COLLEGE

S COLLEGE PL

S FLORENCE AV

AG

PUD-376

E 102nd ST

AG

RS-3

E 102nd PL

SEVANSTON PL

S COLLEGE AV

E 102nd PL

E 103rd ST

E 103rd ST

PUD-714  
PUD-714-A

S FLORENCE AV

S GARY PL

PUD-426

RS-1

DELAWARE PL

E 103rd PL

S COLLEGE AV

PUD-714-A-1

E 104th ST

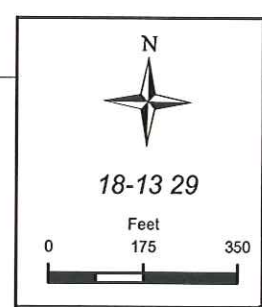
AG

S DELAWARE AV

E 105th ST

AG

RS-1

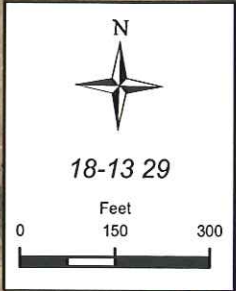


8.1

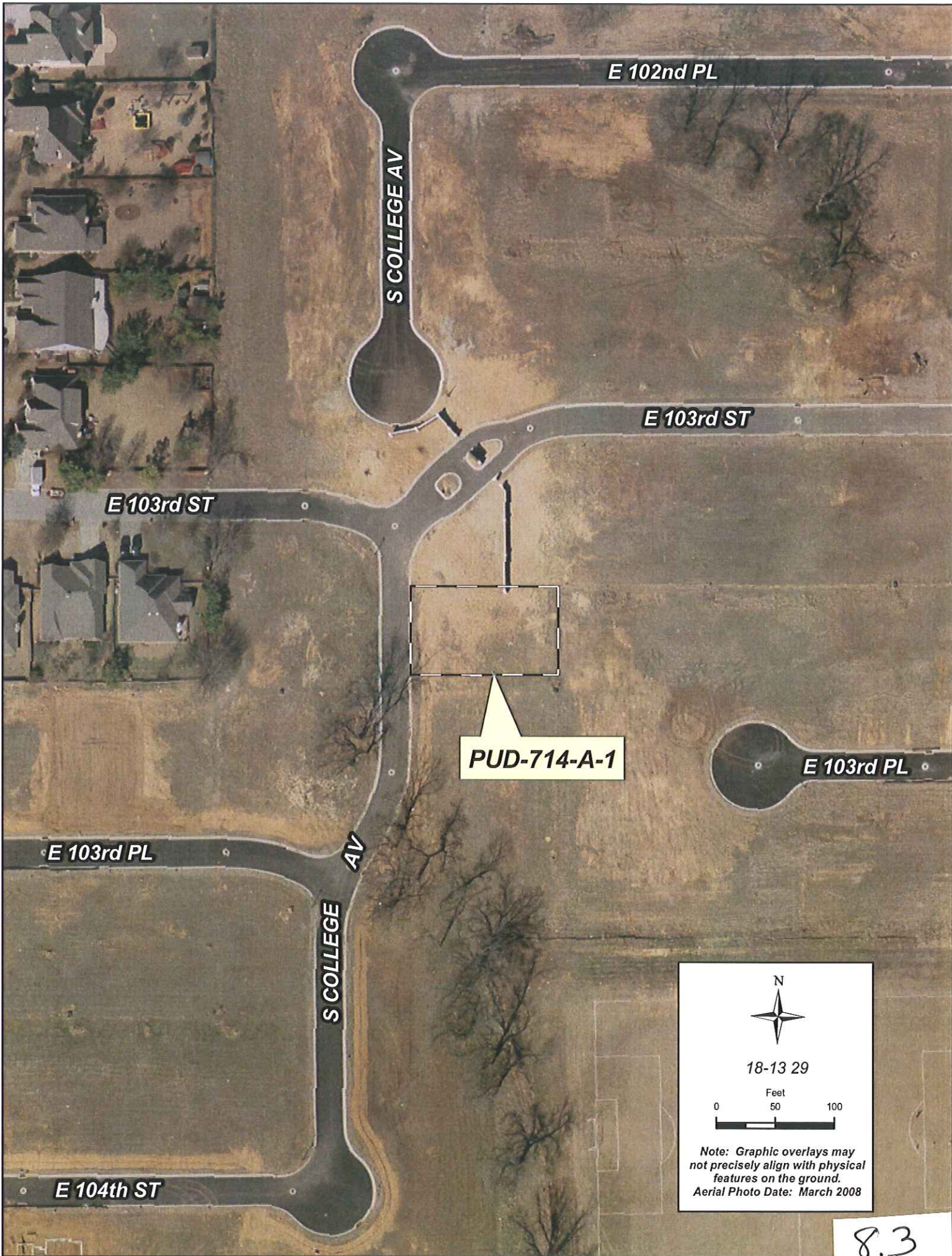




PUD-714-A-1







May 20, 2009

### STAFF RECOMMENDATION

**PUD-714-A-1:** Minor amendment – South of the south east corner of South College Ave. and East 103<sup>rd</sup> Street South; Lot 20, Block 3 – Riverview Park Estates; TRS 8329; CZM 56; Atlas 2474; PD 26; CD 2; RS-3/PUD.

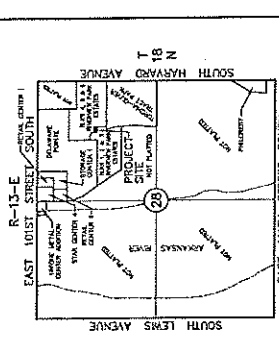
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The applicant is requesting a minor amendment to PUD-714 to add Use Unit 2 - Area Wide Special Exception Uses. The addition of Use Unit 2 would allow for a private club/pool and pool house to be located on one of the lots (Lot 20, Block 3) within the subdivision for exclusive use by the residents of the Riverview Park Estates subdivision (see Exhibit A). The pool and pool house would not be open to the general public. Associated with this request is a detail site plan for the aforementioned pool and pool house also appearing on the May 20, 2009 agenda of the TMAPC.

Since the pool and pool house would be used privately by the residents of Riverview Park Estates, would be maintained by the homeowners association, and the minor amendment request is supported by residents currently living in the subdivision (much of which is still under construction – see Exhibit B), staff recommends **APPROVAL** of minor amendment PUD-714-A-1.

*(Note: Detail site plan approval does not constitute landscape and sign plan approval.)*





Location Map  
SCALE: 4" = 1 MILE

**OWNER:**  
RIVERVIEW PARK ESTATES, LLC  
ATTN: JOHN SMITH  
BROKEN ARROW, OKLAHOMA 74013-0808  
PHONE: (918) 252-0508

**EXISTING UTILITY LEGEND:**  
 - 1" = 1' PER 1" SCALE  
 - 1" = 1' PER 1" SCALE  
 - 1" = 1' PER 1" SCALE

**SITE PLAN LEGEND:**  
 - 1" = 1' PER 1" SCALE  
 - 1" = 1' PER 1" SCALE  
 - 1" = 1' PER 1" SCALE

**Site Plan Statistics**

**PLD NUMBER: 714-A**  
**PERMITTED USES:** USE UNIT 2 - PRIVATE CLUB OR LODGE  
**PROPOSED USES:** COMMUNITY SWIMMING POOL  
**MAXIMUM BLDG. FLOOR AREA PERMITTED:** N/A  
**BLDG. FLOOR AREA PROPOSED:** 000 S.F.  
**MAXIMUM BLDG. HEIGHT PERMITTED:** 35 FEET  
**MAXIMUM BLDG. HEIGHT PROPOSED:** 24 FEET  
**MINIMUM BLDG. SETBACKS REQUIRED:**  
 FROM RIGHT-OF-WAY LINE OF SOUTH COLLEGE AVENUE: 25 FEET  
 FROM SIDE LOT LINES: 5 FEET  
 FROM REAR LOT LINE: 20 FEET  
**OFF-STREET PARKING:**  
 USE UNIT 2: 1 PARKING SPACE PER 300 S.F.  
**TOTAL SQ. FT. OF BUILDING PROPOSED IN US UNIT:** 000 S.F.  
**PARKING SPACES REQUIRED PER USE UNIT:** 2  
**PARKING SPACES PROVIDED:** 5 (INCLUDES 1 HANDICAP SPACE)  
**LANDSCAPED STREET YARD PER STREET FRONTAGE:**  
 SOUTH COLLEGE AVENUE: 1,000 S.F.  
 REQUIRED: 200 SQ. FT. (10%)  
 PROVIDED: 277 SQ. FT. (91%)

**DETAIL SITE & LANDSCAPE PLAN  
FOR  
RIVERVIEW PARK SWIMMING POOL**

**LOT 20 IN BLOCK 3**

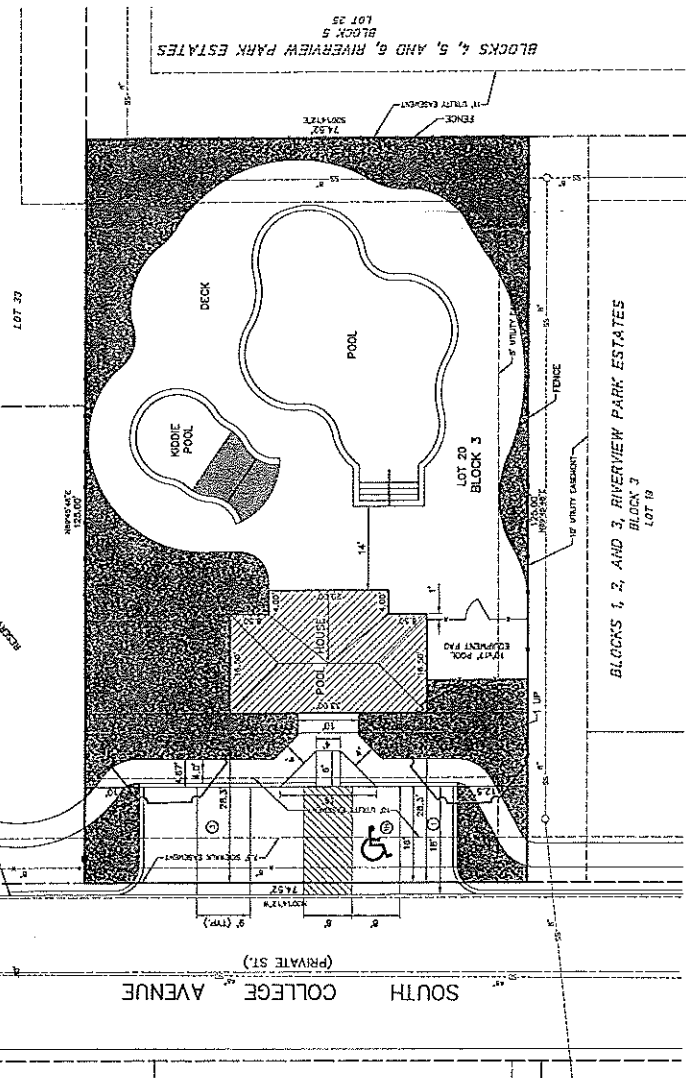
**OF  
'RIVERVIEW PARK ESTATES'  
SECTION 19, T-18-N, R-13-E  
CITY OF TULSA, TULSA COUNTY, OKLAHOMA**

APRIL 28, 2009

**EXHIBIT A**

**SACK AND ASSOCIATES, INC.**  
 1000 N. WILSON AVENUE, SUITE 100  
 TULSA, OKLAHOMA 74103-1000  
 PHONE: (918) 438-1000  
 FAX: (918) 438-1001  
 WWW.SACKANDASSOCIATES.COM

**BLOCKS 4, 5, AND 6, RIVERVIEW PARK ESTATES**



**BLOCKS 1, 2, AND 3, RIVERVIEW PARK ESTATES**

**Landscaping Summary**

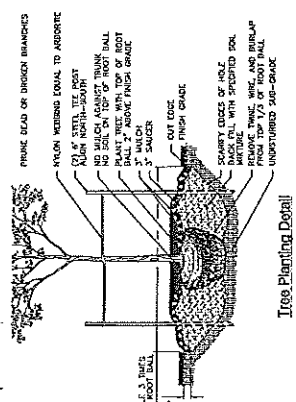
**PLD NUMBER: 714-A**  
**STREET YARD:**  
 SOUTH COLLEGE AVENUE: 1,000 S.F.  
 REQUIRED LANDSCAPE AREA (10%): 200 SQ. FT.  
 PROVIDED LANDSCAPE AREA (91%): 277 SQ. FT.  
 REQUIRED: 1 TREE PER 100 S.F.  
 PROVIDED: 2 TREES

**Note:**

1. ALL PLANTS SHALL BE GUARANTEED TO REMAIN ALIVE AND HEALTHY FOR THE PERIOD OF 1 YEAR FROM THE DATE OF PLANTING. PLANTS THAT DO NOT MEET THESE REQUIREMENTS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. PLANTS SHALL BE GUARANTEED TO REMAIN ALIVE AND HEALTHY FOR THE PERIOD OF 1 YEAR FROM THE DATE OF PLANTING. PLANTS THAT DO NOT MEET THESE REQUIREMENTS SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.

**Plant List**

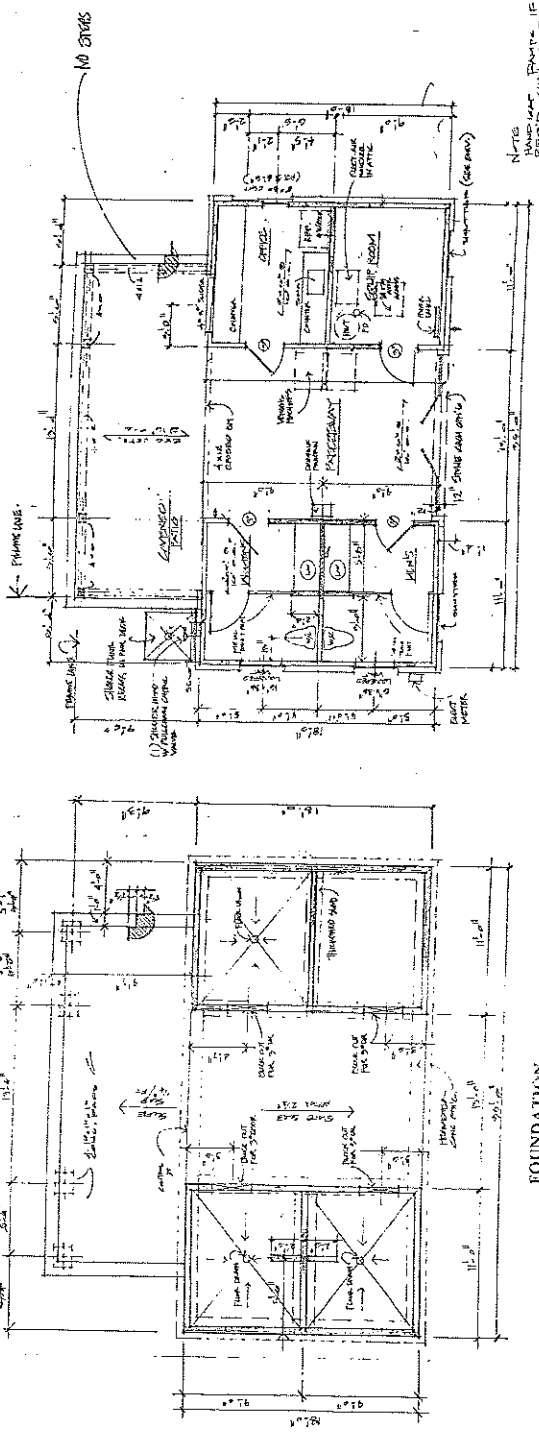
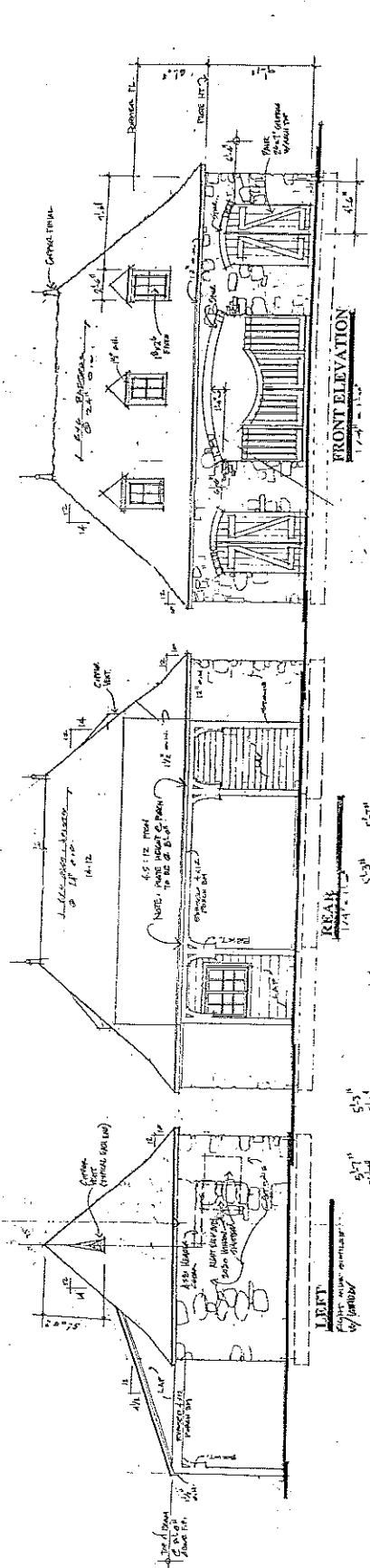
QTY	DOWN	BOTANICAL NAME	COMMON NAME	SIZE	CONT.	SPACING	REMARKS
UP	2	ULMUS PARVIFLORA	LACINIAE CLM	1 1/2" GAL/100	100	100	WANTED



**Tree Planting Detail**  
NOT TO SCALE

8.5

NOTES:  
1. ALL DIMENSIONS ARE IN FEET AND INCHES.  
2. FINISH FLOOR IS INDICATED BY A DOTTED LINE.  
3. FINISH GRADE IS INDICATED BY A DOTTED LINE.  
4. FINISH CEILING IS INDICATED BY A DOTTED LINE.  
5. FINISH WALL IS INDICATED BY A DOTTED LINE.  
6. FINISH ROOF IS INDICATED BY A DOTTED LINE.  
7. FINISH STAIR IS INDICATED BY A DOTTED LINE.  
8. FINISH DOOR IS INDICATED BY A DOTTED LINE.  
9. FINISH WINDOW IS INDICATED BY A DOTTED LINE.  
10. FINISH PORCH IS INDICATED BY A DOTTED LINE.  
11. FINISH PATIO IS INDICATED BY A DOTTED LINE.  
12. FINISH DRIVEWAY IS INDICATED BY A DOTTED LINE.  
13. FINISH GARAGE IS INDICATED BY A DOTTED LINE.  
14. FINISH PORCH FLOOR IS INDICATED BY A DOTTED LINE.  
15. FINISH PATIO FLOOR IS INDICATED BY A DOTTED LINE.  
16. FINISH DRIVEWAY FLOOR IS INDICATED BY A DOTTED LINE.  
17. FINISH GARAGE FLOOR IS INDICATED BY A DOTTED LINE.  
18. FINISH PORCH FLOOR IS INDICATED BY A DOTTED LINE.  
19. FINISH PATIO FLOOR IS INDICATED BY A DOTTED LINE.  
20. FINISH DRIVEWAY FLOOR IS INDICATED BY A DOTTED LINE.  
21. FINISH GARAGE FLOOR IS INDICATED BY A DOTTED LINE.



**RIVERVIEW PARK**

**R.L. KEITH ASSOCIATES**

**1**

April 24, 2009

To: Tulsa Metropolitan Planning Commission

Re: Community Pool at Riverview Park Estates

To Whom It May Concern:

I am 100% in favor of the construction of the Community Pool on Lot 20 of Block 3 at Riverview Park Estates - Tulsa, Oklahoma, and am looking forward to its construction as soon as possible.

Sincerely,

s/ Scott Dyk

Printed name: Scott Dyk

Street Address: 10316 S. Delaware P!  
Riverview Park Estates Subdivision  
Tulsa, Oklahoma

8.7  
**EXHIBIT B**



Sent By: HP LaserJet 3100;

4925528;

Apr-29-09 3:40PM;

Page 5/5

April 24, 2009

To: Tulsa Metropolitan Planning Commission

Re: Community Pool at Riverview Park Estates

To Whom It May Concern:

I am 100% in favor of the construction of the Community Pool on Lot 20 of Block 3 at Riverview Park Estates - Tulsa, Oklahoma, and am looking forward to its construction as soon as possible.

Sincerely,

s/ D-R

Printed name: Dale Penn

Street Address: 2905 E. 104<sup>th</sup> St. St. Tulsa 74137  
Riverview Park Estates Subdivision  
Tulsa, Oklahoma

**RiverviewParkEstates**

---

**From:** "Zac Gordon" <zac@timbercaverhomes.com>  
**To:** <Info@RiverviewParkEstates.com>  
**Sent:** Monday, April 27, 2009 4:25 PM  
**Subject:** Community Pool at Riverview Park Estates

Please advise the Tulsa Metropolitan Planning commission that I am 100% in favor of the construction of the Community Pool on Lot 20 of Block 3 at Riverview Park Estates - Tulsa, Oklahoma, and am looking forward to its construction as soon as possible.

Sincerely,  
Zach Gordon  
Zac@timbercaverhomes.com  
2936 E. 103<sup>rd</sup> Pl  
Riverview Park Estates

**RiverviewParkEstates**

---

**From:** "Zac Gordon" <zac@timbercarverhomes.com>  
**To:** <Info@RiverviewParkEstates.com>  
**Sent:** Monday, April 27, 2009 4:26 PM  
**Subject:** Community Pool at Riverview Park Estates

Please advise the Tulsa Metropolitan Planning commission that I am 100% in favor of the construction of the Community Pool on Lot 20 of Block 3 at Riverview Park Estates - Tulsa, Oklahoma, and am looking forward to its construction as soon as possible.

Sincerely,

Zach Gordon

Zac@timbercaverhomes.com

2918 E. 104<sup>th</sup> St

Riverview Park Estates



April 24, 2009


To: Tulsa Metropolitan Planning Commission

Re: Community Pool at Riverview Park Estates

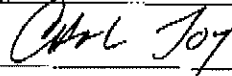
To Whom It May Concern:

I am 100% in favor of the construction of the Community Pool on Lot 20 of Block 3 at Riverview Park Estates - Tulsa, Oklahoma, and am looking forward to its construction as soon as possible.

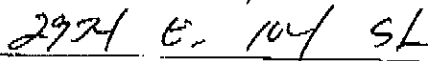
Sincerely,

s/ 

Printed name:



Street Address:



Riverview Park Estates Subdivision  
Tulsa, Oklahoma

April 24, 2009

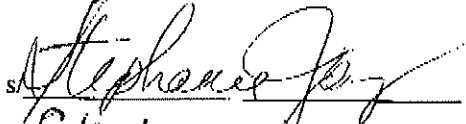
To: Tulsa Metropolitan Planning Commission

Re: Community Pool at Riverview Park Estates

To Whom It May Concern:

I am 100% in favor of the construction of the Community Pool on Lot 20 of Block 3 at Riverview Park Estates - Tulsa, Oklahoma, and am looking forward to its construction as soon as possible.

Sincerely,



Printed name: Stephanie Joy

Street Address: 10335 S. College Ave.  
Riverview Park Estates Subdivision  
Tulsa, Oklahoma

8.12

April 24, 2009

To: Tulsa Metropolitan Planning Commission

Re: Community Pool at Riverview Park Estates

To Whom It May Concern:

I am 100% in favor of the construction of the Community Pool on Lot 20 of Block 3 at Riverview Park Estates - Tulsa, Oklahoma, and am looking forward to its construction as soon as possible.

Sincerely,

s/

Printed name:

Street Address:

Riverview Park Estates Subdivision  
Tulsa, Oklahoma

8.13



April 24, 2009

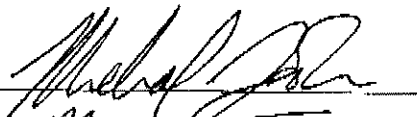
To: Tulsa Metropolitan Planning Commission

Re: Community Pool at Riverview Park Estates

To Whom It May Concern:

I am 100% in favor of the construction of the Community Pool on Lot 20 of Block 3 at Riverview Park Estates - Tulsa, Oklahoma, and am looking forward to its construction as soon as possible.

Sincerely,

s/ 

Printed name: MICHAEL TOOLE

Street Address: 2937 E 104th  
Riverview Park Estates Subdivision  
Tulsa, Oklahoma

8.14

April 24, 2009

To: Tulsa Metropolitan Planning Commission

Re: Community Pool at Riverview Park Estates

To Whom It May Concern:

I am 100% in favor of the construction of the Community Pool on Lot 20 of Block 3 at Riverview Park Estates - Tulsa, Oklahoma, and am looking forward to its construction as soon as possible.

Sincerely,

s/ Kim Wilkens

Printed name: Kim Wilkens

Street Address: 2908 E 103 Pl.  
Riverview Park Estates Subdivision  
Tulsa, Oklahoma

8.15

April 24, 2009

To: Tulsa Metropolitan Planning Commission

Re: Community Pool at Riverview Park Estates

To Whom It May Concern:

I am 100% in favor of the construction of the Community Pool on Lot 20 of Block 3 at Riverview Park Estates - Tulsa, Oklahoma, and am looking forward to its construction as soon as possible.

Sincerely,

*s/ Shawn Flaherty*

Printed name: Shawn Flaherty

Street Address: 2926 E. 104<sup>th</sup> St.  
Riverview Park Estates Subdivision  
Tulsa, Oklahoma

8.16



April 24, 2009

To: Tulsa Metropolitan Planning Commission

Re: Community Pool at Riverview Park Estates

To Whom It May Concern:

I am 100% in favor of the construction of the Community Pool on Lot 20 of Block 3 at Riverview Park Estates - Tulsa, Oklahoma, and am looking forward to its construction as soon as possible.

Sincerely,



Printed name: Tracy & Steve Stansbarger

Street Address: 10315 S. College Ave.  
Riverview Park Estates Subdivision  
Tulsa, Oklahoma 74137

April 24, 2009

To: Tulsa Metropolitan Planning Commission

Re: Community Pool at Riverview Park Estates

To Whom It May Concern:

I am 100% in favor of the construction of the Community Pool on Lot 20 of Block 3 at Riverview Park Estates - Tulsa, Oklahoma, and am looking forward to its construction as soon as possible.

Sincerely,

s/

Printed name:

Street Address:

Riverview Park Estates Subdivision  
Tulsa, Oklahoma

8.18

PLATTED UTIL LAYOUT

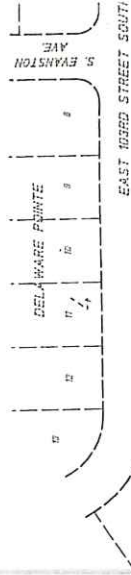
**Monumentation**

ALL CORNERS TO BE SET USING A 3/8" x 1/8" IRON PIPE SETTING. MONUMENTS TO BE SET AFTER INSTALLATION OF UTILITIES AND COMPLETION OF STREET IMPROVEMENTS, UNLESS OTHERWISE NOTED.

**Basis of Bearings**

THE BEARINGS SHOWN HEREON ARE BASED ON THE RECORDED PLAT OF "DELAWARE PRINCE", PLAT 4752.

CURVE	LENGTH	RADIUS	BEARING	CHORD	CHORD BEARING
1	10.00	100.00	90.00°	10.00	0.00°
2	15.71	157.08	90.00°	15.71	0.00°
3	21.42	214.16	90.00°	21.42	0.00°
4	27.13	271.24	90.00°	27.13	0.00°
5	32.84	328.32	90.00°	32.84	0.00°
6	38.55	385.40	90.00°	38.55	0.00°
7	44.26	442.48	90.00°	44.26	0.00°
8	49.97	499.56	90.00°	49.97	0.00°
9	55.68	556.64	90.00°	55.68	0.00°
10	61.39	613.72	90.00°	61.39	0.00°
11	67.10	670.80	90.00°	67.10	0.00°
12	72.81	727.88	90.00°	72.81	0.00°
13	78.52	784.96	90.00°	78.52	0.00°
14	84.23	842.04	90.00°	84.23	0.00°
15	89.94	899.12	90.00°	89.94	0.00°
16	95.65	956.20	90.00°	95.65	0.00°
17	101.36	1013.28	90.00°	101.36	0.00°
18	107.07	1070.36	90.00°	107.07	0.00°
19	112.78	1127.44	90.00°	112.78	0.00°
20	118.49	1184.52	90.00°	118.49	0.00°
21	124.20	1241.60	90.00°	124.20	0.00°
22	129.91	1298.68	90.00°	129.91	0.00°
23	135.62	1355.76	90.00°	135.62	0.00°
24	141.33	1412.84	90.00°	141.33	0.00°
25	147.04	1469.92	90.00°	147.04	0.00°
26	152.75	1527.00	90.00°	152.75	0.00°
27	158.46	1584.08	90.00°	158.46	0.00°
28	164.17	1641.16	90.00°	164.17	0.00°
29	169.88	1698.24	90.00°	169.88	0.00°
30	175.59	1755.32	90.00°	175.59	0.00°
31	181.30	1812.40	90.00°	181.30	0.00°
32	187.01	1869.48	90.00°	187.01	0.00°
33	192.72	1926.56	90.00°	192.72	0.00°
34	198.43	1983.64	90.00°	198.43	0.00°
35	204.14	2040.72	90.00°	204.14	0.00°
36	209.85	2097.80	90.00°	209.85	0.00°
37	215.56	2154.88	90.00°	215.56	0.00°
38	221.27	2211.96	90.00°	221.27	0.00°
39	226.98	2269.04	90.00°	226.98	0.00°
40	232.69	2326.12	90.00°	232.69	0.00°
41	238.40	2383.20	90.00°	238.40	0.00°
42	244.11	2440.28	90.00°	244.11	0.00°
43	249.82	2497.36	90.00°	249.82	0.00°
44	255.53	2554.44	90.00°	255.53	0.00°
45	261.24	2611.52	90.00°	261.24	0.00°
46	266.95	2668.60	90.00°	266.95	0.00°
47	272.66	2725.68	90.00°	272.66	0.00°
48	278.37	2782.76	90.00°	278.37	0.00°
49	284.08	2839.84	90.00°	284.08	0.00°
50	289.79	2896.92	90.00°	289.79	0.00°
51	295.50	2954.00	90.00°	295.50	0.00°
52	301.21	3011.08	90.00°	301.21	0.00°
53	306.92	3068.16	90.00°	306.92	0.00°
54	312.63	3125.24	90.00°	312.63	0.00°
55	318.34	3182.32	90.00°	318.34	0.00°
56	324.05	3239.40	90.00°	324.05	0.00°
57	329.76	3296.48	90.00°	329.76	0.00°
58	335.47	3353.56	90.00°	335.47	0.00°
59	341.18	3410.64	90.00°	341.18	0.00°
60	346.89	3467.72	90.00°	346.89	0.00°
61	352.60	3524.80	90.00°	352.60	0.00°
62	358.31	3581.88	90.00°	358.31	0.00°
63	364.02	3638.96	90.00°	364.02	0.00°
64	369.73	3696.04	90.00°	369.73	0.00°
65	375.44	3753.12	90.00°	375.44	0.00°
66	381.15	3810.20	90.00°	381.15	0.00°
67	386.86	3867.28	90.00°	386.86	0.00°
68	392.57	3924.36	90.00°	392.57	0.00°
69	398.28	3981.44	90.00°	398.28	0.00°
70	403.99	4038.52	90.00°	403.99	0.00°
71	409.70	4095.60	90.00°	409.70	0.00°
72	415.41	4152.68	90.00°	415.41	0.00°
73	421.12	4209.76	90.00°	421.12	0.00°
74	426.83	4266.84	90.00°	426.83	0.00°
75	432.54	4323.92	90.00°	432.54	0.00°
76	438.25	4381.00	90.00°	438.25	0.00°
77	443.96	4438.08	90.00°	443.96	0.00°
78	449.67	4495.16	90.00°	449.67	0.00°
79	455.38	4552.24	90.00°	455.38	0.00°
80	461.09	4609.32	90.00°	461.09	0.00°
81	466.80	4666.40	90.00°	466.80	0.00°
82	472.51	4723.48	90.00°	472.51	0.00°
83	478.22	4780.56	90.00°	478.22	0.00°
84	483.93	4837.64	90.00°	483.93	0.00°
85	489.64	4894.72	90.00°	489.64	0.00°
86	495.35	4951.80	90.00°	495.35	0.00°
87	501.06	5008.88	90.00°	501.06	0.00°
88	506.77	5065.96	90.00°	506.77	0.00°
89	512.48	5123.04	90.00°	512.48	0.00°
90	518.19	5180.12	90.00°	518.19	0.00°
91	523.90	5237.20	90.00°	523.90	0.00°
92	529.61	5294.28	90.00°	529.61	0.00°
93	535.32	5351.36	90.00°	535.32	0.00°
94	541.03	5408.44	90.00°	541.03	0.00°
95	546.74	5465.52	90.00°	546.74	0.00°
96	552.45	5522.60	90.00°	552.45	0.00°
97	558.16	5579.68	90.00°	558.16	0.00°
98	563.87	5636.76	90.00°	563.87	0.00°
99	569.58	5693.84	90.00°	569.58	0.00°
100	575.29	5750.92	90.00°	575.29	0.00°



**Note**  
THE MINIMUM FINISH FLOOR ELEVATION SHALL BE 616.45 (NGVD) OR 1.25' ABOVE THE HIGHEST TOP OF CURB ELEVATION ON THE WHICHEVER IS GREATER.

NOT PLATTED

BLOCKS 1, 2 AND 3 RIVER



**LOTS FOR SALE BY BUILDERS**  
SEE BUILDER CONTACT INFO OTHER SIDE

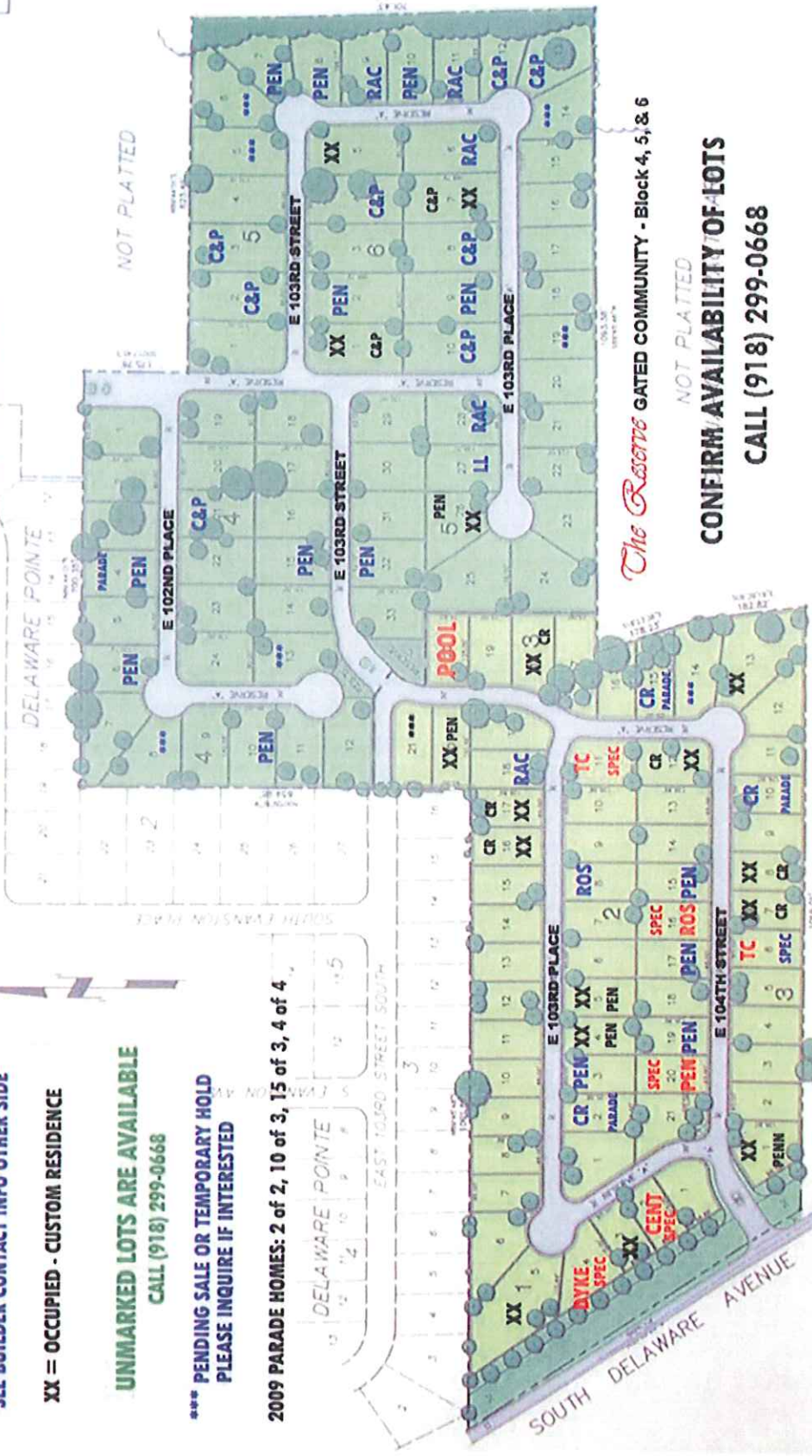
XX = OCCUPIED - CUSTOM RESIDENCE

**UNMARKED LOTS ARE AVAILABLE**  
CALL (918) 299-0668

\*\*\* PENDING SALE OR TEMPORARY HOLD  
PLEASE INQUIRE IF INTERESTED

2009 PARADE HOMES: 2 of 2, 10 of 3, 15 of 3, 4 of 4

# Riverview Park Estates



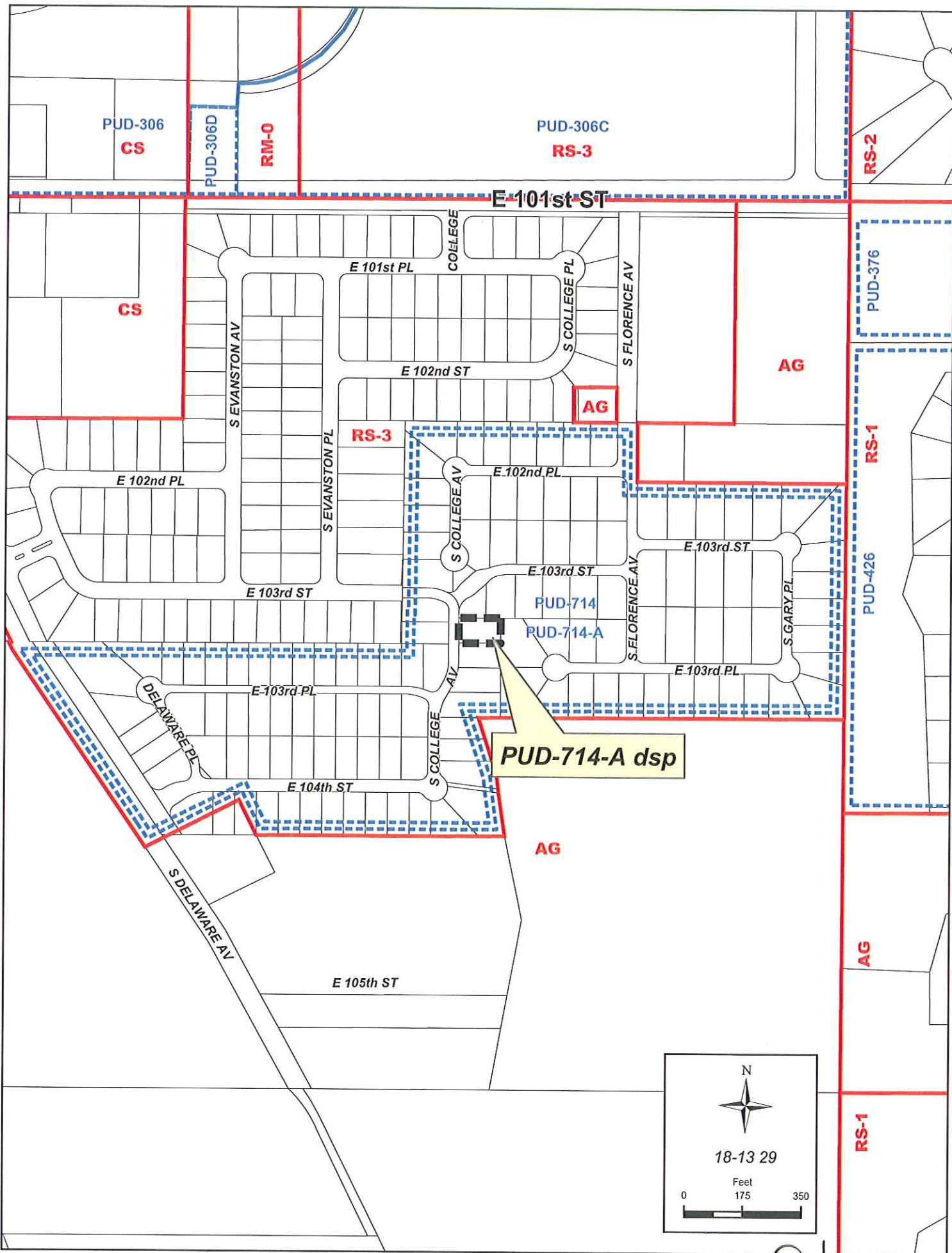
*The Reserve* GATED COMMUNITY - Block 4, 5, & 6

NOT PLATTED

**CONFIRM AVAILABILITY OF LOTS**

CALL (918) 299-0668

8.20



9.1





E 101st ST

E 101st PL

COLLEGE

S COLLEGE PL

S FLORENCE AV

E 102nd ST

S EVANSTON AV

S EVANSTON PL

E 102nd PL

S COLLEGE AV

E 102nd PL

E 103rd ST

E 103rd ST

E 103rd ST

S GARY PL

E 103rd PL

PUD-714-A

E 103rd PL

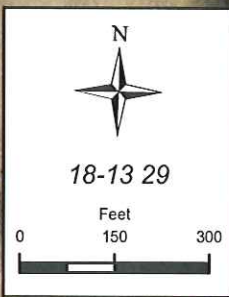
DELAWARE PL

E 104th ST

S COLLEGE AV

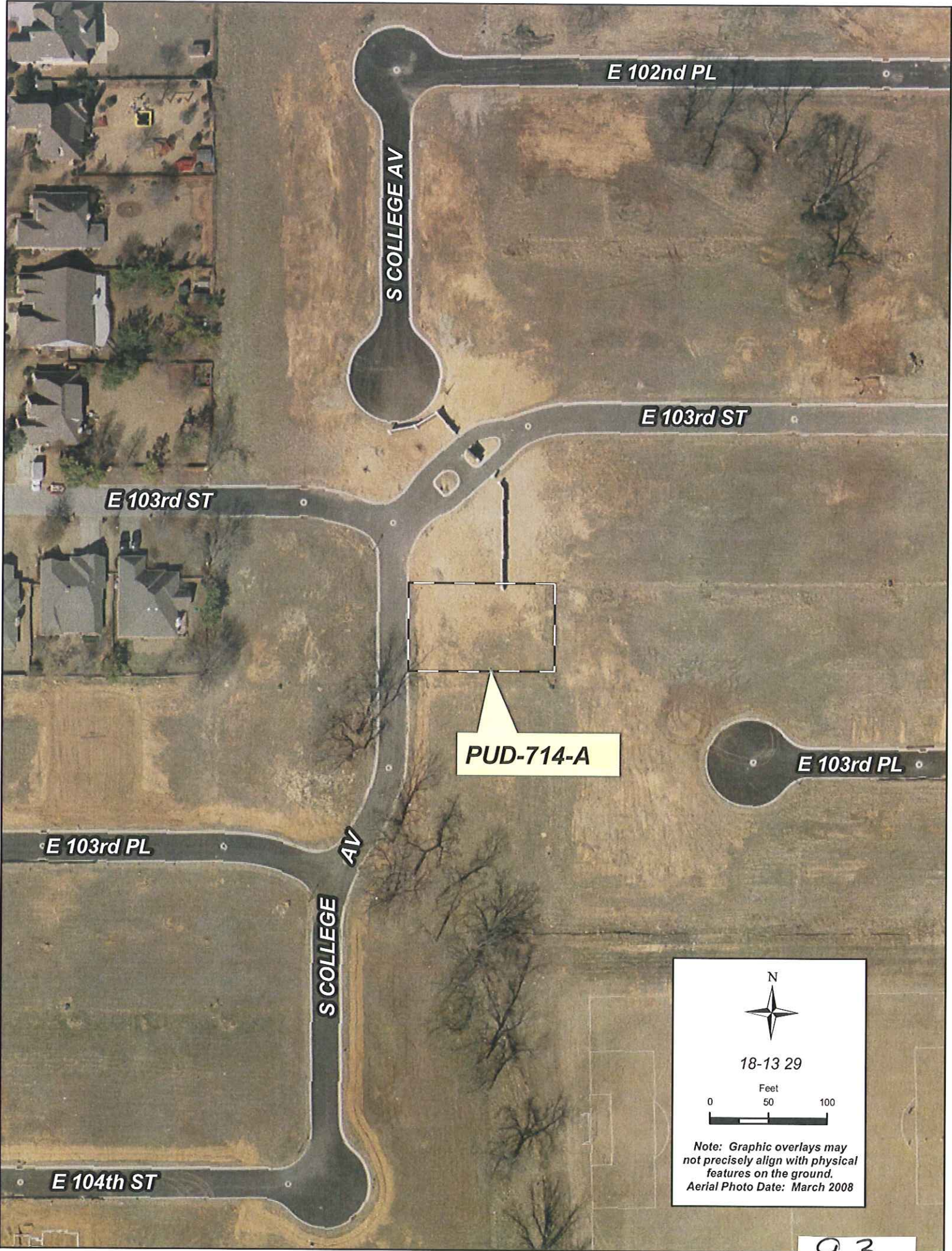
S DELAWARE AV

E 105th ST



9.2





E 102nd PL

S COLLEGE AV

E 103rd ST

E 103rd ST

PUD-714-A

E 103rd PL

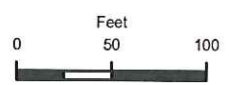
E 103rd PL

S COLLEGE AV

E 104th ST



18-13 29



Note: Graphic overlays may not precisely align with physical features on the ground.  
Aerial Photo Date: March 2008

May 20, 2009

### STAFF RECOMMENDATION

**PUD-714-A:** Detail Site Plan – South of the south east corner of South College Ave. and East 103<sup>rd</sup> Street South; Lot 20, Block 3 – Riverview Park Estates; TRS 8329; CZM 56; Atlas 2474; PD 26; CD 2; RS-3/PUD.

---

The applicant is requesting approval of a detail site plan for a 625 square foot pool house and outdoor pool for exclusive use by the residents of Riverview Park Estates. Associated with this case is minor amendment PUD-714-A-1 which also appears on the May 20, 2009 agenda of the TMAPC. The minor amendment request is to allow the accessory use, Use Unit 2 – Area Wide Special Exception Uses, to permit the private use of the pool by residents of the subdivision only. The pool would not be open to the general public.

The submitted site plan meets all applicable open space, building height and setback limitations. Access to the site is provided from S. College Ave. Parking has been provided per the applicable Use Unit of the Zoning Code. A 6' security fence will be constructed along the north, south and east boundary lines of the lot. Landscaping is provided per the landscape chapter of the Zoning Code. Any sight lighting will be directed down and away from adjoining properties. Sidewalks will be provided along South College Ave. as required by PUD Development Standards and Subdivision Regulations.

Staff recommends **APPROVAL** of the detail site plan for Lot 20, Block 3 – Riverview Park Estates.

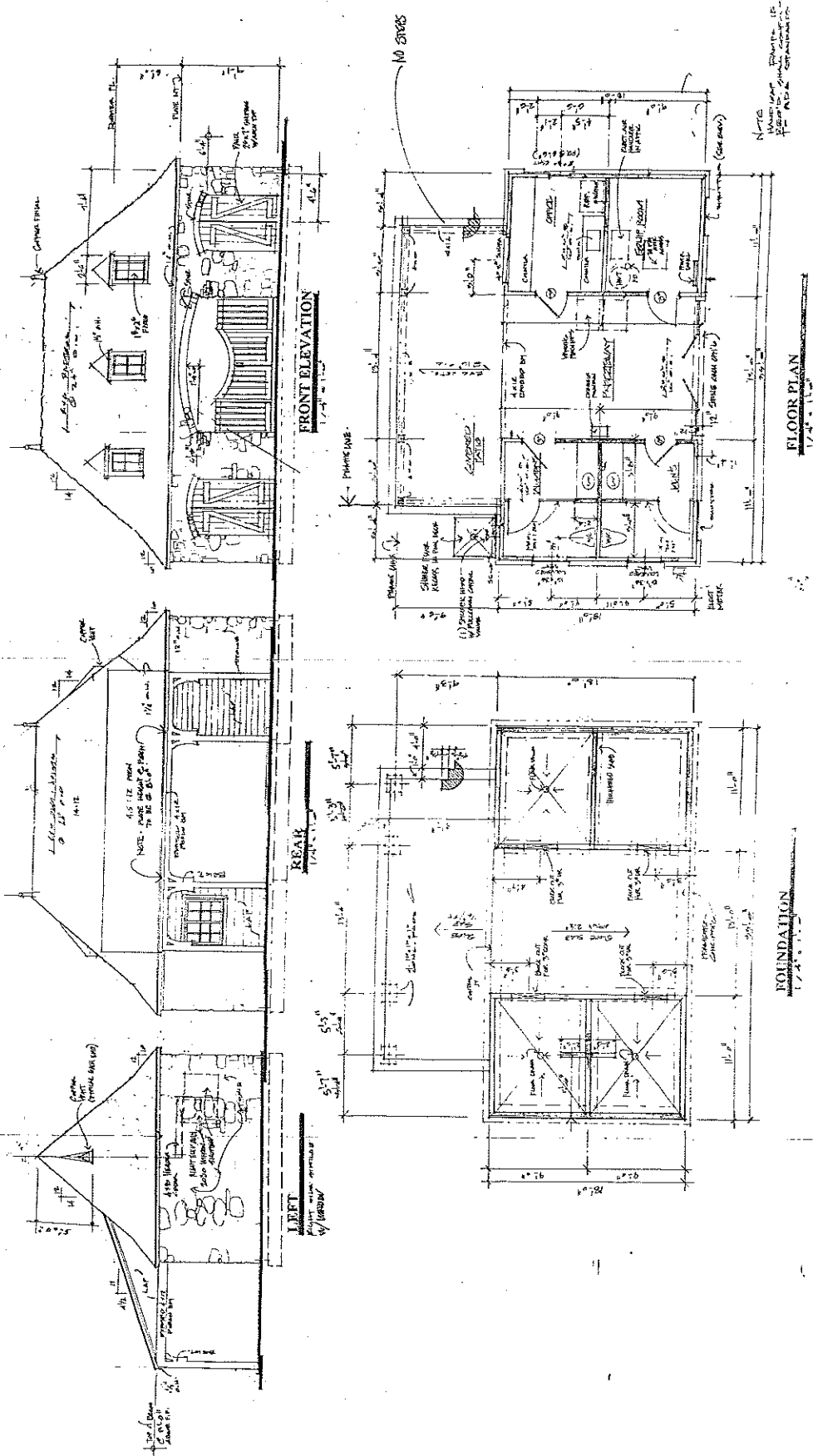
*(Note: Detail site plan approval does not constitute landscape and sign plan approval.)*

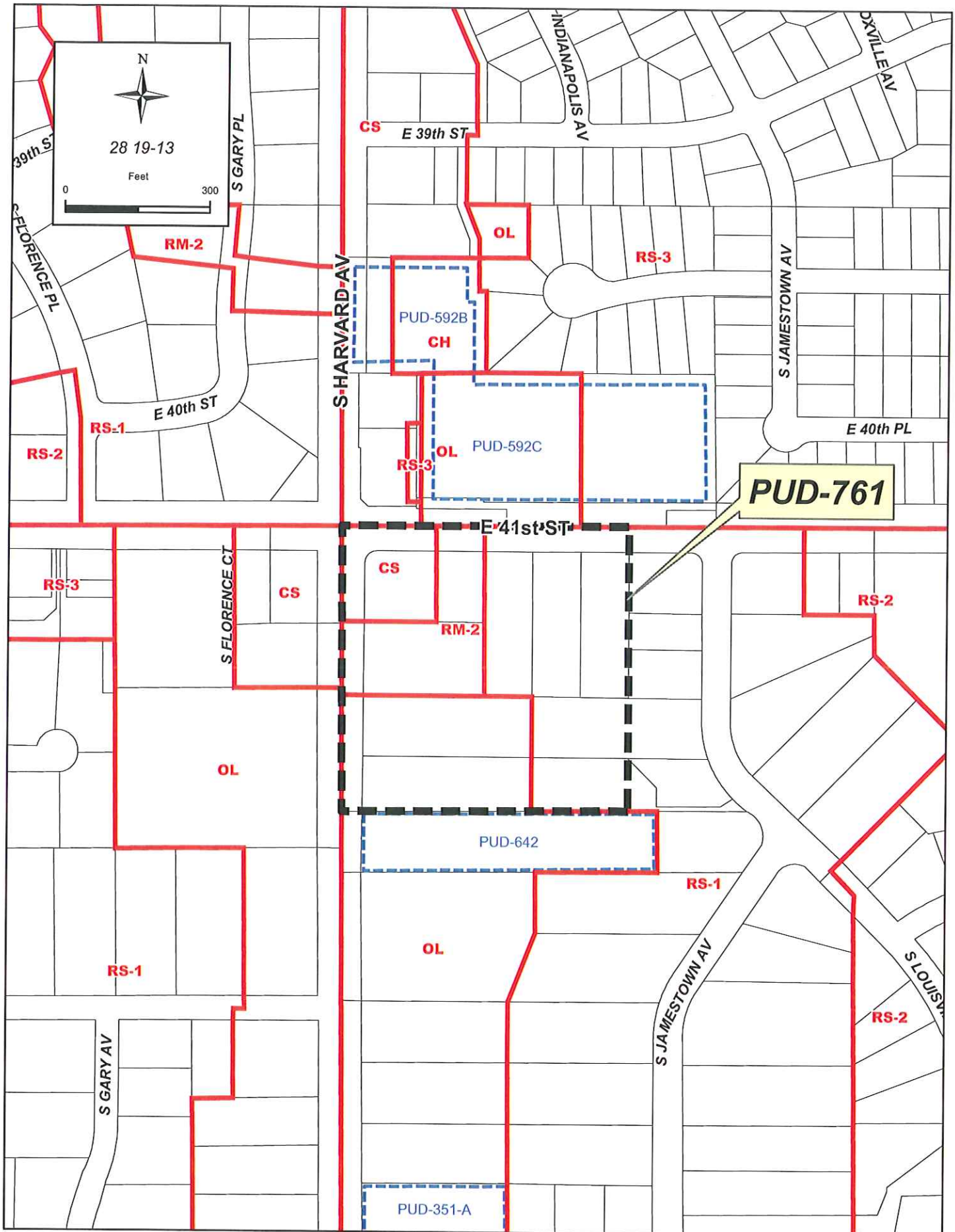
9.4







[illegible]









PUD-761



19-13 28

Feet

0 150

Photo Date: Jan. 2006

S Harvard Ave

E 41st St



May 20, 2009

### STAFF RECOMMENDATION

**PUD-761:** Detail Site Plan – Southeast corner S. Harvard Ave. and 41<sup>st</sup> Street South; Lot 1, Block 1 – Harvard Square South; TRS 9328; CZM 48; Atlas 311; PD 6; CD 9; RM-2/OL/CS/PUD.

---

The applicant is requesting approval of a detail site plan for a 13,062 square foot (sf) CVS Pharmacy. The proposed use, Use Unit 13 – Convenience Goods and Services is a permitted use within PUD-761.

The submitted site plan meets all applicable building floor area, exterior design, open space, building height and setback limitations. Access to the site is provided from one point along Harvard Avenue and one point from 41<sup>st</sup> Street. Parking has been provided per the applicable Use Unit of the Zoning Code. A 6' masonry type screening wall will be constructed simultaneously along the south PUD boundary line. An 8' masonry type wall will also be constructed commencing 50' from the eastern most point of the south PUD boundary line and continue north for the entirety of the east boundary line of the PUD as required by PUD development standards. All sight lighting is limited to 25-feet in height and will be directed down and away from adjoining properties. A trash enclosure is provided as required by the PUD. Sidewalks will be provided along Harvard Avenue and 41<sup>st</sup> Street as required by PUD Development Standards and Subdivision regulations.

Staff recommends **APPROVAL** of the detail site plan for Lot 1, Block 1 – Harvard Square South.

*(Note: Detail site plan approval does not constitute landscape and sign plan approval.)*



---

**COMMENTS:** \_\_\_\_\_



10.5

**J.J. JACOBS**  
**Contract Builders**  
 Three services/contractors are being  
 provided for this project. The primary  
 contractor is J.J. Jacobs, Inc. The  
 secondary contractor is J.J. Jacobs, Inc.  
 The tertiary contractor is J.J. Jacobs, Inc.  
 50TH FLOOR TX 75102  
 7777 MAIN STREET  
 TEL (817) 222-8500  
 FAX (817) 222-8550

CONSULTANT:

SCALE

**cvs**  
**pharmacy**  
 TYPE A-2000-LEFT  
 CHAMBER DRIVE-THRU  
 STORE NUMBER 07972  
 10101 CHAMBER DRIVE  
 SUITE 100  
 DALLAS, TEXAS 75243  
 LOCAL 1700 NEW

**DEVELOPER**  
**Armstrong Development**  
 10101 Chamber Drive, Suite 100  
 Dallas, Texas 75243  
 972-381-1122  
 972-381-1123

REVISIONS

DRAWING BY: JLD  
 DATE: 30 APRIL 2009  
 JOB NUMBER: 0797200  
 TITLE: EXTERIOR ELEVATIONS

SHEET NUMBER: A-4.1  
 COMMENTS: ISSUED FOR BID/PERMIT

22.8

EXTERIOR FINISH SCHEDULE

ITEM	DESCRIPTION	UNIT	QTY	FINISH	NOTES
1	BRICK WORK 1	SQ YD		BRICK	BRICK COLOR: NATURAL
2	BRICK WORK 2	SQ YD		BRICK	BRICK COLOR: NATURAL
3	BRICK WORK 3	SQ YD		BRICK	BRICK COLOR: NATURAL
4	BRICK WORK 4	SQ YD		BRICK	BRICK COLOR: NATURAL
5	BRICK WORK 5	SQ YD		BRICK	BRICK COLOR: NATURAL
6	BRICK WORK 6	SQ YD		BRICK	BRICK COLOR: NATURAL
7	BRICK WORK 7	SQ YD		BRICK	BRICK COLOR: NATURAL
8	BRICK WORK 8	SQ YD		BRICK	BRICK COLOR: NATURAL
9	BRICK WORK 9	SQ YD		BRICK	BRICK COLOR: NATURAL
10	BRICK WORK 10	SQ YD		BRICK	BRICK COLOR: NATURAL
11	BRICK WORK 11	SQ YD		BRICK	BRICK COLOR: NATURAL
12	BRICK WORK 12	SQ YD		BRICK	BRICK COLOR: NATURAL
13	BRICK WORK 13	SQ YD		BRICK	BRICK COLOR: NATURAL
14	BRICK WORK 14	SQ YD		BRICK	BRICK COLOR: NATURAL
15	BRICK WORK 15	SQ YD		BRICK	BRICK COLOR: NATURAL
16	BRICK WORK 16	SQ YD		BRICK	BRICK COLOR: NATURAL
17	BRICK WORK 17	SQ YD		BRICK	BRICK COLOR: NATURAL
18	BRICK WORK 18	SQ YD		BRICK	BRICK COLOR: NATURAL
19	BRICK WORK 19	SQ YD		BRICK	BRICK COLOR: NATURAL
20	BRICK WORK 20	SQ YD		BRICK	BRICK COLOR: NATURAL

LEGEND

1 - RE EXISTING FINISH SCHEDULE

NOTE: BRICK WORK REPAIR POINT

1 FRONT ELEVATION

SCALE: 1/8" = 1'-0"

2 LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

3 RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

4 REAR ELEVATION

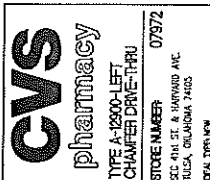
SCALE: 1/8" = 1'-0"

AVERAGE BUILDING HEIGHT IS 25'-11".  
 TAKEN AT 15' INTERVALS ALONG ALL  
 FACADES OF THE BUILDING.



**CONSULTANT:**

**SEAL:**



### CONCLUSIONS:

ISSUING BY:	DATE:	TO:
INAC	30 APRIL 2009	FWB0100

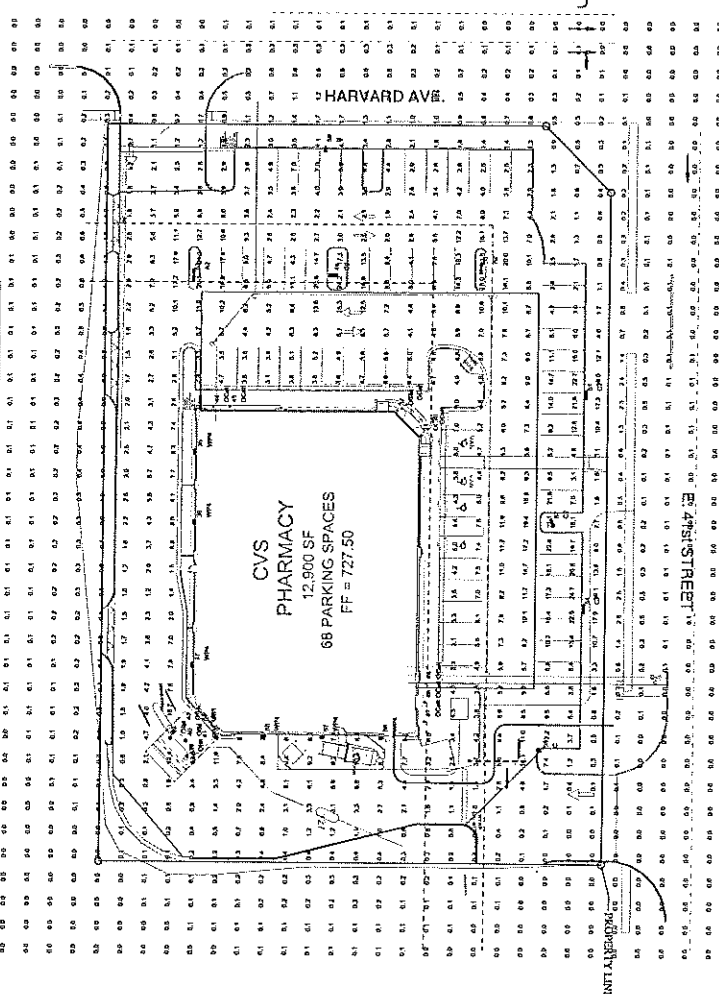
SHEET NUMBER: SE-1.2  
 COMMENTS: ISSUED FOR BID/PERMIT

22.9

[illegible]

Immigration Statistics Summary					
Region	Local #	#	Y	001ank	YEAR
1	001	152,414	211,624	9,33	45
2	002	112,271	219,625	9,33	45
3	003	189,231	212,7	9,33	45
4	004	189,231	212,7	9,33	45
5	005	189,231	212,7	9,33	45
6	006	189,231	212,7	9,33	45
7	007	189,231	212,7	9,33	45
8	008	189,231	212,7	9,33	45
9	009	189,231	212,7	9,33	45
10	010	189,231	212,7	9,33	45
11	011	189,231	212,7	9,33	45
12	012	189,231	212,7	9,33	45
13	013	189,231	212,7	9,33	45
14	014	189,231	212,7	9,33	45
15	015	189,231	212,7	9,33	45
16	016	189,231	212,7	9,33	45
17	017	189,231	212,7	9,33	45
18	018	189,231	212,7	9,33	45
19	019	189,231	212,7	9,33	45
20	020	189,231	212,7	9,33	45
21	021	189,231	212,7	9,33	45
22	022	189,231	212,7	9,33	45
23	023	189,231	212,7	9,33	45
24	024	189,231	212,7	9,33	45
25	025	189,231	212,7	9,33	45
26	026	189,231	212,7	9,33	45
27	027	189,231	212,7	9,33	45
28	028	189,231	212,7	9,33	45
29	029	189,231	212,7	9,33	45
30	030	189,231	212,7	9,33	45
31	031	189,231	212,7	9,33	45
32	032	189,231	212,7	9,33	45
33	033	189,231	212,7	9,33	45
34	034	189,231	212,7	9,33	45
35	035	189,231	212,7	9,33	45
36	036	189,231	212,7	9,33	45
37	037	189,231	212,7	9,33	45
38	038	189,231	212,7	9,33	45
39	039	189,231	212,7	9,33	45
40	040	189,231	212,7	9,33	45
41	041	189,231	212,7	9,33	45
42	042	189,231	212,7	9,33	45
43	043	189,231	212,7	9,33	45
44	044	189,231	212,7	9,33	45
45	045	189,231	212,7	9,33	45
46	046	189,231	212,7	9,33	45
47	047	189,231	212,7	9,33	45
48	048	189,231	212,7	9,33	45
49	049	189,231	212,7	9,33	45
50	050	189,231	212,7	9,33	45
51	051	189,231	212,7	9,33	45
52	052	189,231	212,7	9,33	45
53	053	189,231	212,7	9,33	45
54	054	189,231	212,7	9,33	45
55	055	189,231	212,7	9,33	45
56	056	189,231	212,7	9,33	45
57	057	189,231	212,7	9,33	45
58	058	189,231	212,7	9,33	45
59	059	189,231	212,7	9,33	45
60	060	189,231	212,7	9,33	45
61	061	189,231	212,7	9,33	45
62	062	189,231	212,7	9,33	45
63	063	189,231	212,7	9,33	45
64	064	189,231	212,7	9,33	45
65	065	189,231	212,7	9,33	45
66	066	189,231	212,7	9,33	45
67	067	189,231	212,7	9,33	45
68	068	189,231	212,7	9,33	45
69	069	189,231	212,7	9,33	45
70	070	189,231	212,7	9,33	45
71	071	189,231	212,7	9,33	45
72	072	189,231	212,7	9,33	45
73	073	189,231	212,7	9,33	45
74	074	189,231	212,7	9,33	45
75	075	189,231	212,7	9,33	45
76	076	189,231	212,7	9,33	45
77	077	189,231	212,7	9,33	45
78	078	189,231	212,7	9,33	45
79	079	189,231	212,7	9,33	45
80	080	189,231	212,7	9,33	45
81	081	189,231	212,7	9,33	45
82	082	189,231	212,7	9,33	45
83	083	189,231	212,7	9,33	45
84	084	189,231	212,7	9,33	45
85	085	189,231	212,7	9,33	45
86	086	189,231	212,7	9,33	45
87	087	189,231	212,7	9,33	45
88	088	189,231	212,7	9,33	45
89	089	189,231	212,7	9,33	45
90	090	189,231	212,7	9,33	45
91	091	189,231	212,7	9,33	45
92	092	189,231	212,7	9,33	45
93	093	189,231	212,7	9,33	45
94	094	189,231	212,7	9,33	45
95	095	189,231	212,7	9,33	45
96	096	189,231	212,7	9,33	45
97	097	189,231	212,7	9,33	45
98	098	189,231	212,7	9,33	45
99	099	189,231	212,7	9,33	45
100	100	189,231	212,7	9,33	45

THIS STUDY DOES NOT  
MEET THE STANDARDS  
FOR ILLUMINATION SET  
BY CVS, DUE TO  
DESIGN CRITERIA



FOR PRICING CONTACT  
Weidenbach-Brown Co., Inc.  
315 McCreed Park South  
St. Louis, MO 63114  
Tel: 781-769-9868  
Fax: 781-769-9822  
E-mail: [CVS2507@vnet.com](mailto:CVS2507@vnet.com)

1 PHOTOMETRIC SITE PLAN  
SE-1.2 SCALE: 1" = 30'-0"

**JE JACOBS**  
Cantor Burgess  
Architectural Firm, Inc.  
2000 North Central Expressway  
Suite 200  
Fort Worth, TX 76102  
TEL (817) 222-8500  
FAX (817) 222-8550

CONSULT: YANT  
SCALE: 1/4" = 1'-0"

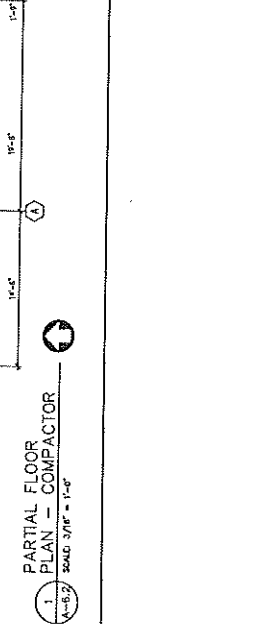
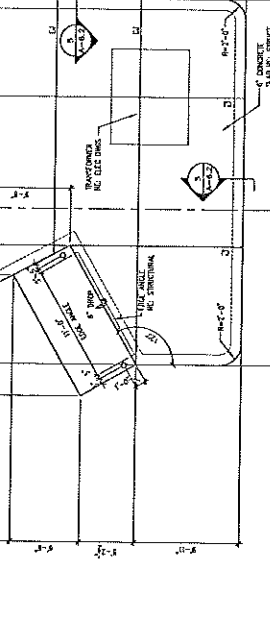
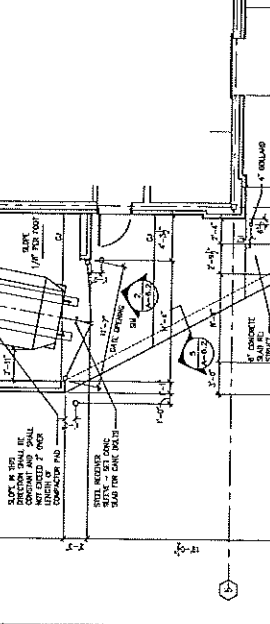
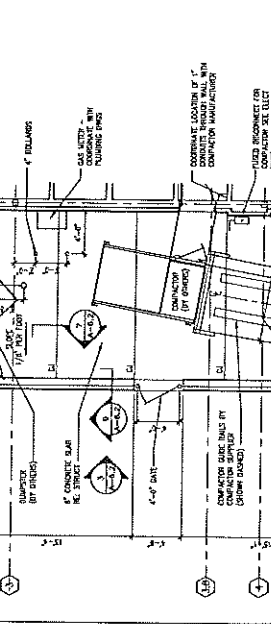
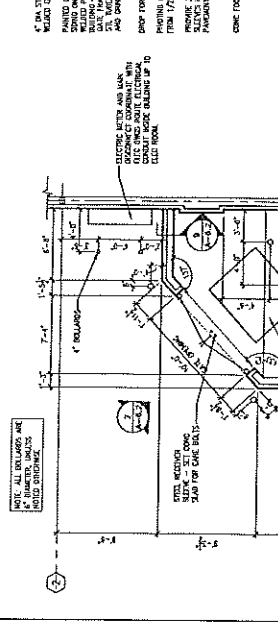
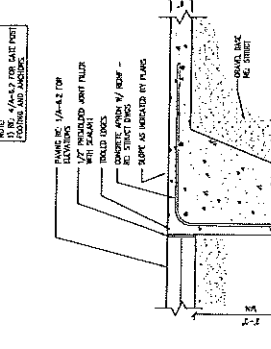
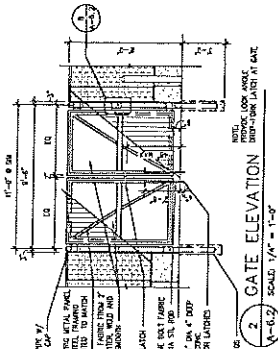
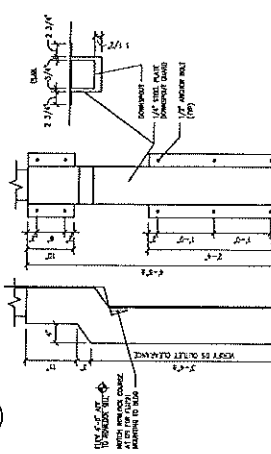
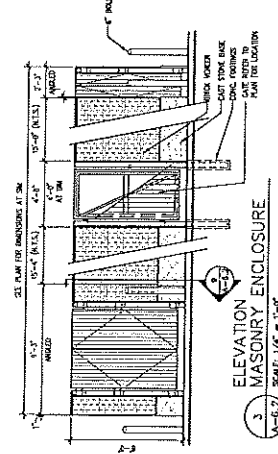
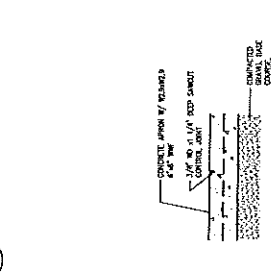
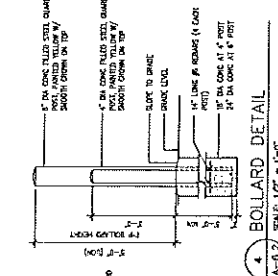
SCALE: 1/4" = 1'-0"

**CVS**  
pharmacy  
TYPE A-1000-LEFT  
CHAMBER DRIVE THRU  
STORE NUMBER 07972  
SEC 41ST & HARRISON AVE  
TULSA, OKLAHOMA  
DEAL TYPE NEW

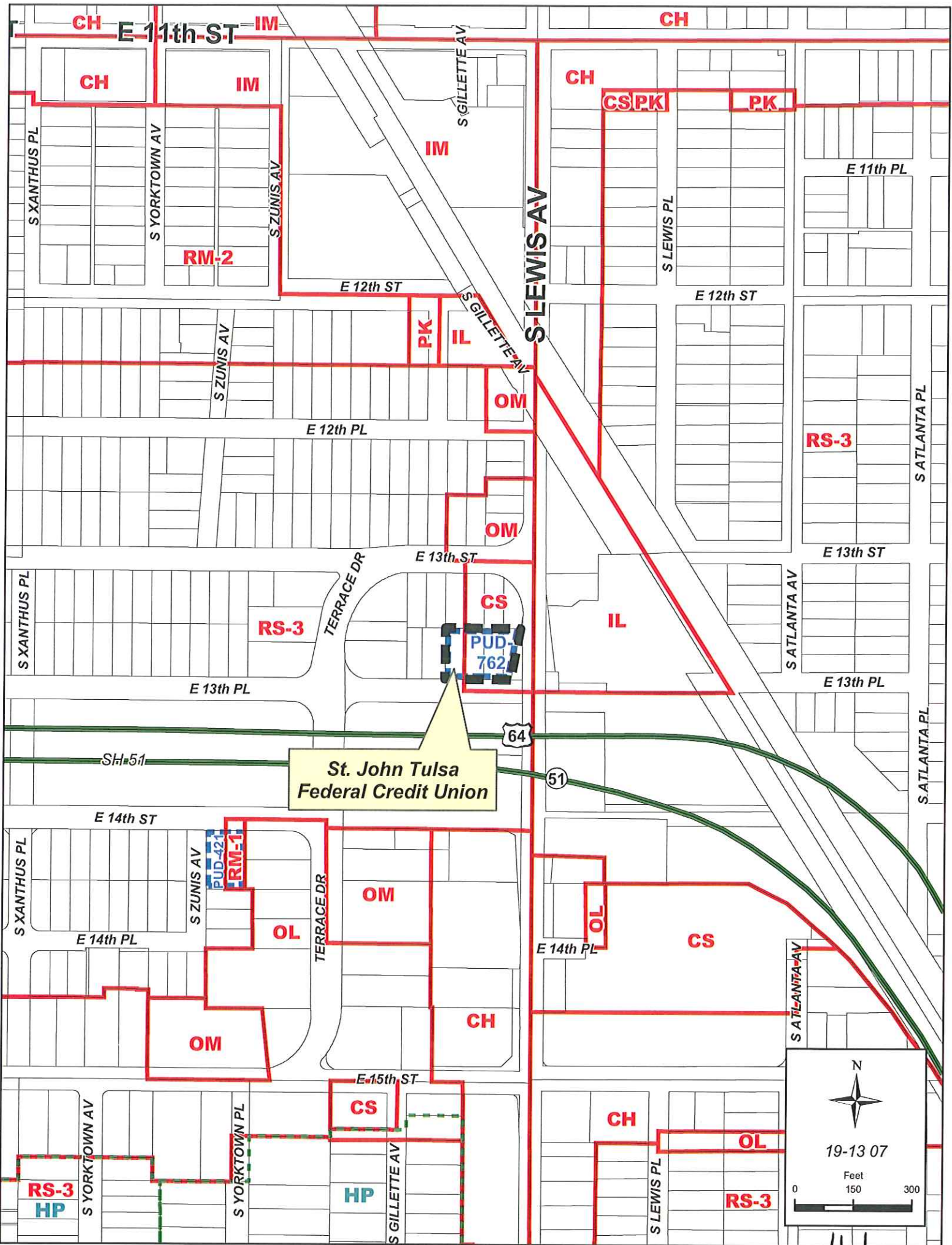
**DEVELOPER**  
Armstrong Development  
1700 North Street, Suite 200  
Tulsa, Oklahoma 74103  
REVISED:

DRAWING BY: LJS  
DATE: 30 APRIL 2000  
JOB NUMBER: F000000  
TITLE: ENLARGED PLANS  
& DETAILS  
SHEET NUMBER: A-6.2

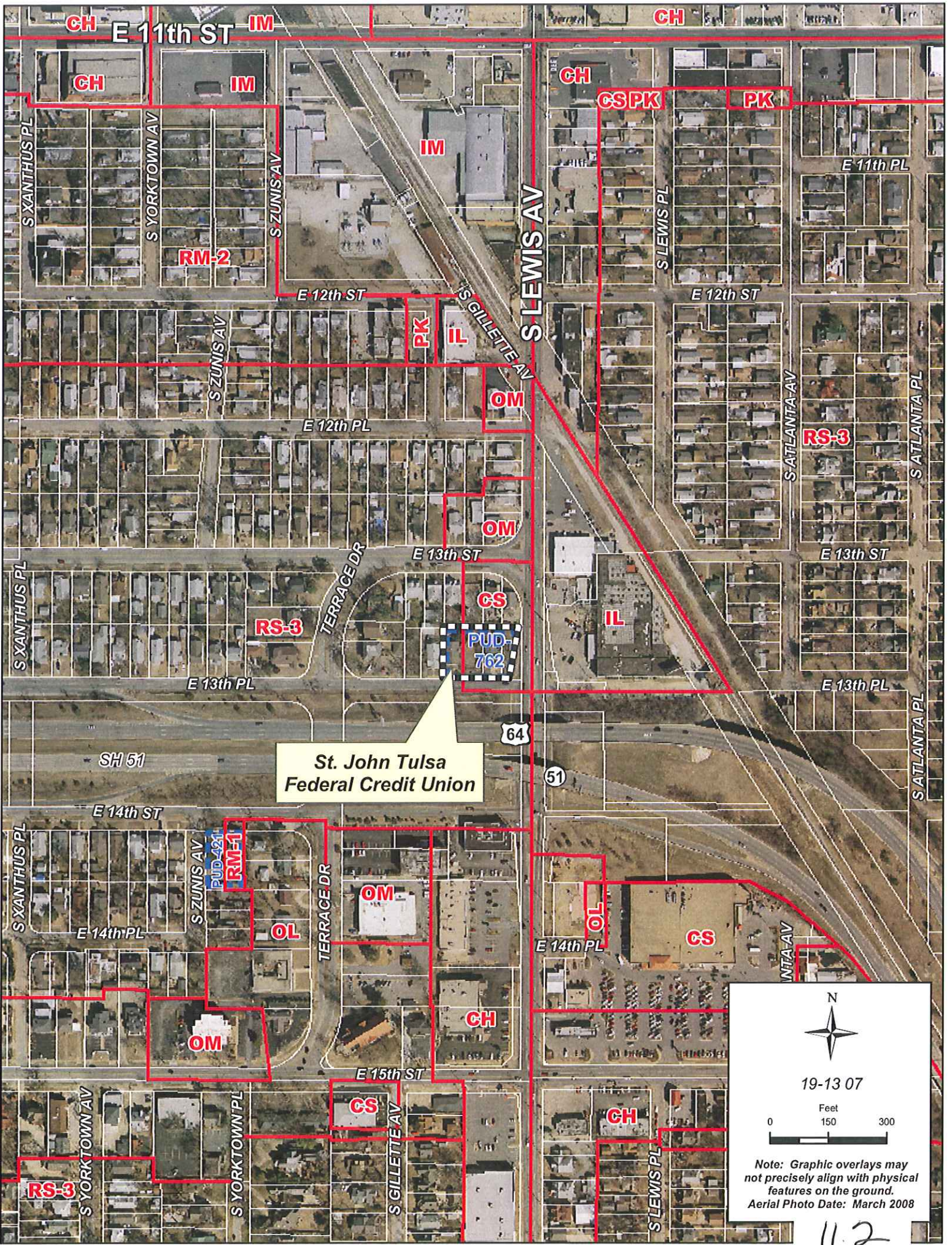
COMMENTS:  
ISSUED FOR BID/PERMIT  
22.5



NOTE: ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES ARE FOR INFORMATION ONLY. DIMENSIONS IN PARENTHESES ARE FOR INFORMATION ONLY. DIMENSIONS IN PARENTHESES ARE FOR INFORMATION ONLY.





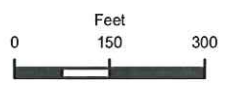


St. John Tulsa  
Federal Credit Union

PUD-762



19-13 07



Note: Graphic overlays may  
not precisely align with physical  
features on the ground.  
Aerial Photo Date: March 2008

11.2



E 12th PL

S LEWIS AV

S GILLETTE AV

E 13th ST

TERRACE DR

E 13th PL

St. John Tulsa  
Federal Credit Union

64

SH 51

51

E 14th ST

TERRACE DR

E 14th PL



19-13 07

Feet  
0 75 150

Note: Graphic overlays may  
not precisely align with physical  
features on the ground.  
Aerial Photo Date: March 2008

11.3



## PRELIMINARY SUBDIVISION PLAT

**St. John Tulsa Federal Credit Union - (9307) (PD 4) (CD 4)**  
Northwest corner of West 13<sup>th</sup> Place and South Lewis Avenue

This plat consists of 1 Lot, 1 Block, on .545 acres.

The following issues were discussed May 7, 2009 at the Technical Advisory Committee (TAC) meeting:

1. **Zoning:** The property is zoned PUD 762. The PUD standards must be shown in the plat covenants. Comments from Traffic Engineering (as shown attached) remain the same as they were for the PUD approval.
2. **Streets:** Add standard sidewalk language for sidewalk to be constructed.  
No comment.
3. **Sewer:** The 4 foot fence easement located along the north boundary line of the plat must be located far enough away from the existing sanitary sewer line to allow a minimum of 7.5 feet of separation between the centerline of the sewer pipe and the edge of the footing for the wall. In Section 1 H, in the first line after the word Landscaping, add Walls & Screening Fences to the items that must be repaired at the expense of the owner. In Section II B 7, no portion of the proposed wall, including the footing, shall be constructed closer to the existing sanitary sewer line than 7.5 feet from the centerline of the pipe. Pre-cast panels that could be removed from the fence for easement maintenance work were suggested.
4. **Water:** No comment.
5. **Storm Drainage:** Drainage from this site will not be allowed to flow to adjacent residential lots. Section 1 C and E did not have the standard language, and must be corrected. The specific subsections are C2, 3, and 4 and E. The standard language has been attached to these comments. Areas outside of the parking lot curbing cannot be increased in height or slope towards the adjacent residential properties.
6. **Utilities: Telephone, Electric, Gas, Cable, Pipeline, Others:** No comment.



7. **Other: Fire:** No comment. **GIS:** Fix the inconsistencies between the metes and bounds legal description and what is shown on the face of the plat. Locate and label the Broken Arrow Expressway on the location map. Tie the plat from a section corner using bearings and distances from a labeled point of commencement (poc) to the labeled point of beginning identification of all monuments to be set or found in making the survey shall be shown to assure the reestablishment of any point or line of the survey. Submit a subdivision control data form (Appendix D), last page of the Subdivision Regulations for the Tulsa Metropolitan Area, in which the first point shall be the point of beginning (pob) with two other points on or near the plat's boundary.

Staff recommends **APPROVAL** of the Preliminary Subdivision plat subject to the TAC comments and the special and standard conditions below.

**Waivers of Subdivision Regulations:**

1. None requested.

**Special Conditions:**

1. The concerns of the public works department staff must be taken care of to their satisfaction.

**Standard Conditions:**

1. Utility easements shall meet the approval of the utilities. Coordinate with Subsurface Committee if underground plant is planned. Show additional easements as required. Existing easements shall be tied to or related to property line and/or lot lines.
2. Water and sanitary sewer plans shall be approved by the Public Works Department prior to release of final plat. (Include language for W/S facilities in covenants.)
3. Pavement or landscape repair within restricted water line, sewer line, or utility easements as a result of water or sewer line or other utility repairs due to breaks and failures, shall be borne by the owner(s) of the lot(s).
4. Any request for creation of a Sewer Improvement District shall be submitted to the Public Works Department Engineer prior to release of final plat.
5. Paving and/or drainage plans (as required) shall be approved by the Public Works Department.
6. Any request for a Privately Financed Public Improvement (PFPI) shall be submitted to the Public Works Department.
7. A topo map shall be submitted for review by TAC (Subdivision Regulations). (Submit with drainage plans as directed.)

8. Street names shall be approved by the Public Works Department and shown on plat.
9. All curve data, including corner radii, shall be shown on final plat as applicable.
10. Bearings, or true N/S, etc., shall be shown on perimeter of land being platted or other bearings as directed by the County Engineer.
11. All adjacent streets, intersections and/or widths thereof shall be shown on plat.
12. It is recommended that the developer coordinate with the Public Works Department during the early stages of street construction concerning the ordering, purchase and installation of street marker signs. (Advisory, not a condition for plat release.)
13. It is recommended that the applicant and/or his engineer or developer coordinate with the Tulsa City/County Health Department for solid waste disposal, particularly during the construction phase and/or clearing of the project. Burning of solid waste is prohibited.
14. The method of sewage disposal and plans therefore shall be approved by the City/County Health Department. [Percolation tests (if applicable) are required prior to preliminary approval of plat.]
15. The owner(s) shall provide the following information on sewage disposal system if it is to be privately operated on each lot: type, size and general location. (This information to be included in restrictive covenants on plat.)
16. The method of water supply and plans therefore shall be approved by the City/County Health Department.
17. All lots, streets, building lines, easements, etc., shall be completely dimensioned.
18. The key or location map shall be complete.
19. A Corporation Commission letter, Certificate of Non-Development, or other records as may be on file, shall be provided concerning any oil and/or gas wells before plat is released. (A building line shall be shown on plat on any wells not officially plugged. If plugged, provide plugging records.)
20. A "Letter of Assurance" regarding installation of improvements shall be provided prior to release of final plat. (Including documents required under 3.6.5 Subdivision Regulations.)
21. Applicant is advised of his responsibility to contact the U.S. Army Corps of Engineers regarding Section 404 of the Clean Waters Act.
22. All other Subdivision Regulations shall be met prior to release of final plat.
23. All PUD standards and conditions shall be included in the covenants of the



plat and adequate mechanisms established to assure initial and continued compliance with the standards and conditions.

24. Private streets shall be built to City or County standards (depending upon the jurisdiction in which the plat is located) and inspected and accepted by same prior to issuance of any building permits in the subdivision.





**Fernandez, Diane**

---

**From:** Mark Brown [markbrown@ci.tulsa.ok.us]  
**Sent:** Tuesday, May 05, 2009 1:08 PM  
**To:** Fernandez, Diane  
**Subject:** Fwd: St. John Credit Union, 13th and Lewis  
**Attachments:** 28123\_20090505\_ODOT row.png; SCAN5301\_000.pdf

>>> Mark Brown 5/5/2009 1:04 PM >>>  
Diane,

All issues that I brought forth in the pre-development stages of this development have been satisfactorily addressed. An email that was sent to Mr. Chris Sansone and copied to Ms. Delise Tomlinson was issued on August 27, 2008 at 1:57 p.m. It stated that all issues had been addressed and that I revise my comments to be "No comments." That email is contained in the attached Adobe Acrobat file.

Please feel free to call or email if further clarification is required.

Mark

City of Tulsa  
Public Works Department  
Traffic Operations Section

Mark A. Brown, P. E.  
Traffic Operations Manager  
City of Tulsa  
440 W. 23rd Street  
Tulsa, OK 74107

Email: [markbrown@cityoftulsa.org](mailto:markbrown@cityoftulsa.org)  
Website: [www.cityoftulsa.org](http://www.cityoftulsa.org)

Office: (918) 596-9744  
Fax: (918) 699-3806

>>> "Delise Tomlinson" <dtomlinson@tannerbaitshop.com> 5/5/2009 9:45 AM >>>  
Good morning Mark,

We believe there has been a misunderstanding regarding your comments for Thursday's TAC. Please see the attached correspondence where we addressed your comments at the PUD stage. Also, ODOT has already obtained the 5' in question. Please see attached.

**Delise Tomlinson, AICP**

**Tanner Consulting, LLC**  
Land Planning  
Architecture Civil Engineering  
Surveying Landscape Architecture

5323 South Lewis Avenue  
Tulsa, Oklahoma 74105 Phone: (918) 745-9929  
dtomlinson@TannerBaitShop.com Fax: (918) 745-9969

5/12/2009

11.9

## Delise Tomlinson

---

**From:** Mark Brown [markbrown@ci.tulsa.ok.us]  
**Sent:** Wednesday, August 27, 2008 1:57 PM  
**To:** csansone@incog.org  
**Cc:** Delise Tomlinson  
**Subject:** PUD-762 - St. John's Tulsa Federal Credit Union

Chris,

I met with Delise Tomlinson and their client to discuss the comments I submitted for the August 21, 2008, Technical Advisory meeting for the subject PUD. After learning that Darryl French was initially engaged with Tanner Consulting on this project and that he had given favorable comment and acceptance to what was proposed in the PUD submittal, I fully retract my submitted comments of August 21, 2008. I revise it to say "No comments."

At issue were three items and all were satisfactorily addressed in my meeting with Delise et al on August 26, 2008, at 11:00 a.m. at Tanner Consulting. Please call if you have questions.

Sincerely,

Mark

City of Tulsa  
Public Works Department  
Traffic Operations Section

Mark A. Brown, P. E.  
Traffic Operations Manager  
City of Tulsa  
440 W. 23rd Street  
Tulsa, OK 74107

Email: markbrown@cityoftulsa.org  
Website: www.cityoftulsa.org

Office: (918) 596-9744  
Fax: (918) 699-3806

**Delise Tomlinson**

---

**From:** Delise Tomlinson  
**Sent:** Monday, August 25, 2008 12:39 PM  
**To:** 'cen@nwcldaw.com'; 'Louis Reynolds'; 'mistypotter@sjtfcu.org'; 'wtempinski@oakleafdesigns.com'  
**Cc:** Ricky Jones; Dan Tanner; Justin Morgan  
**Subject:** TAC comments; PUD 762; St. John Federal Credit Union

Good afternoon,

Please find attached the TAC comments from the August 21, 2008 TAC meeting. I have requested a meeting with Mark Brown to discuss his comments, but have not yet heard back from him.

Dan and I met with Darryl French at our offices on May 12 to discuss access and circulation for the site. At that time Darryl did not express concern with the two accesses onto 13<sup>th</sup> Place, supported the median cut on Lewis, and thought stacking at the drive-thru lanes was "doable", but not great. I spoke with Darryl again today (he is now at Sack & Assoc.). Darryl saw Mark the morning of TAC and did not acknowledge to Mark any of the direction he gave us at our meeting with him at Tanner. Darryl said today that Mark's chief concern with access onto 13<sup>th</sup> Place was the proximity of the easternmost access to the intersection and suggested that by moving it west at least 12 feet we may be able to work a compromise.

Per TAC comments and today's discussion with Darryl it is highly likely the northernmost drive-thru lane will have to be removed and used instead for circulation and to address Mark's concerns on stacking.

I'll let you know as soon as I hear from Mark about a meeting time/date. Please call or email me if you have any questions or need additional information.

Regards,

**Delise Tomlinson**

**Tanner Consulting, LLC**

**Land Planning**

Architecture Civil Engineering

Surveying Landscape Architecture

5323 South Lewis Avenue

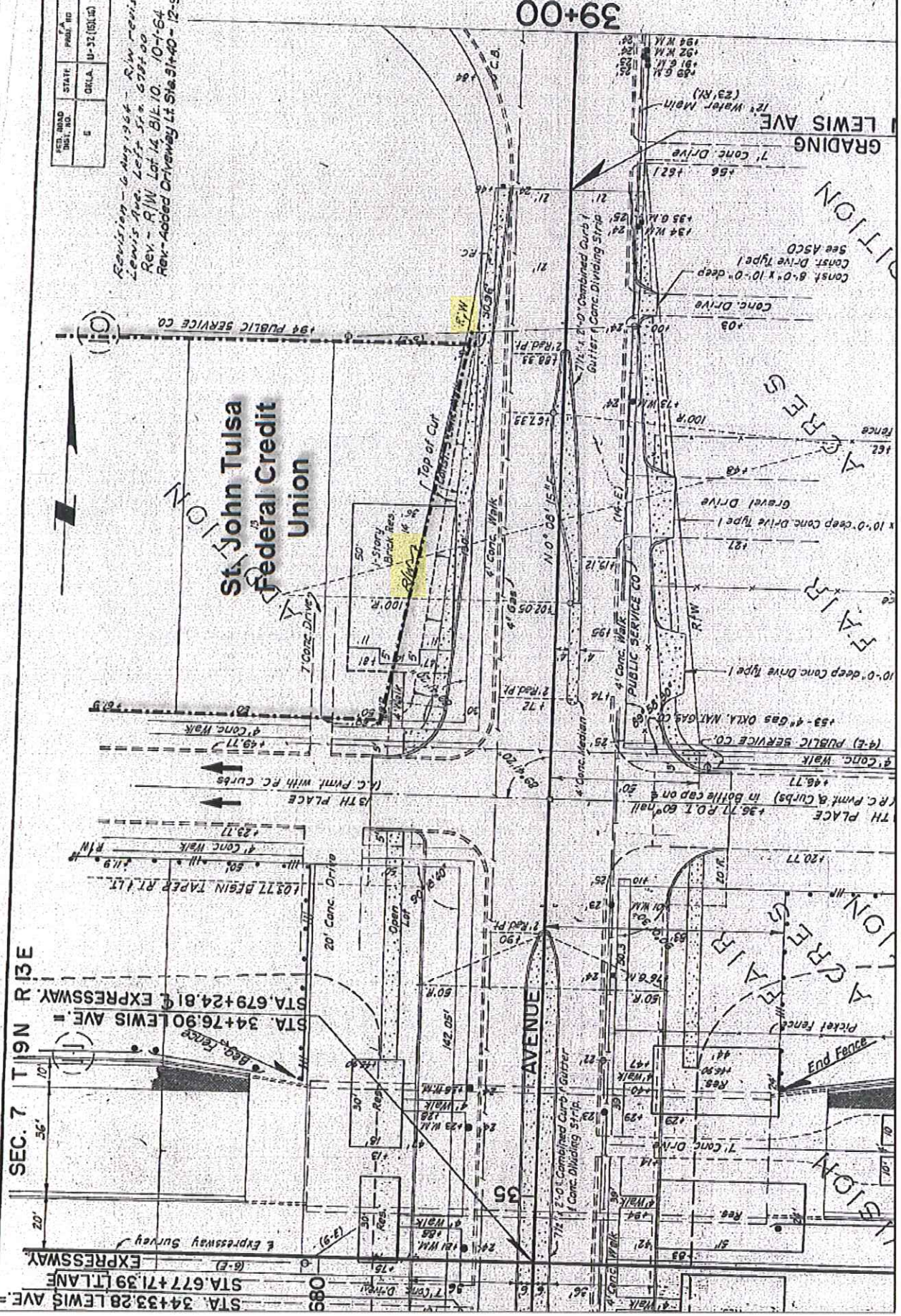
Tulsa, Oklahoma 74105 Phone: (918) 745-9929

dtomlinson@TannerBaitShop.com Fax: (918) 745-9969

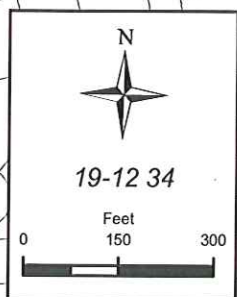
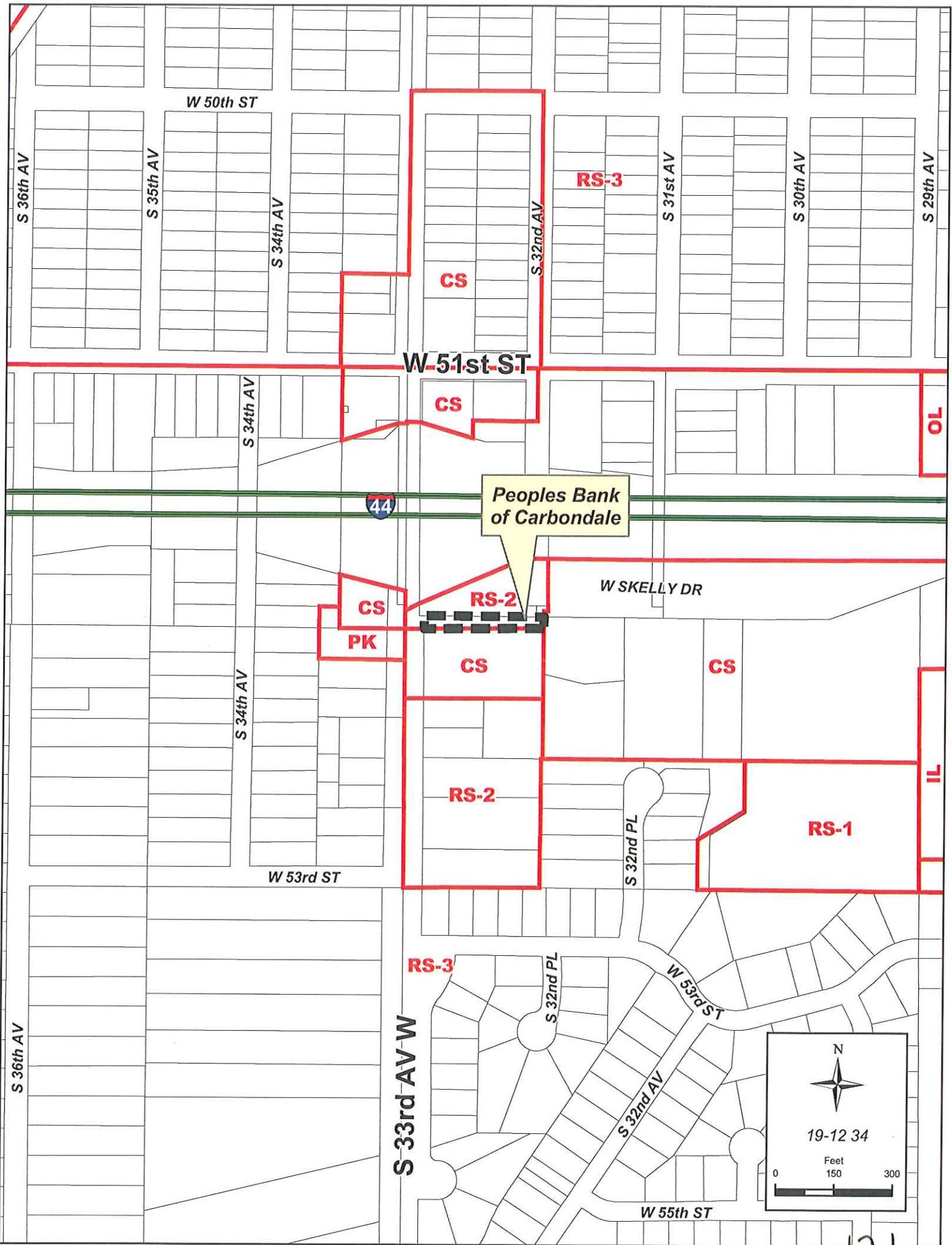


SEC. ROAD DIST. NO.	STATE	PA. PROJ. NO.	FEED. PLAN NO.	TOTAL SHEETS
5	OKLA.	U-32 (155.12)		39

Revision - 6 Aug 1964 - R/W revised along Lewis Ave. Left Sta. 679+00  
 Rev. - R/W Lot 14, B/L 10, 10-1-64  
 Rev. Added Driveway Lt Sta. 31+40 - 12-9-64

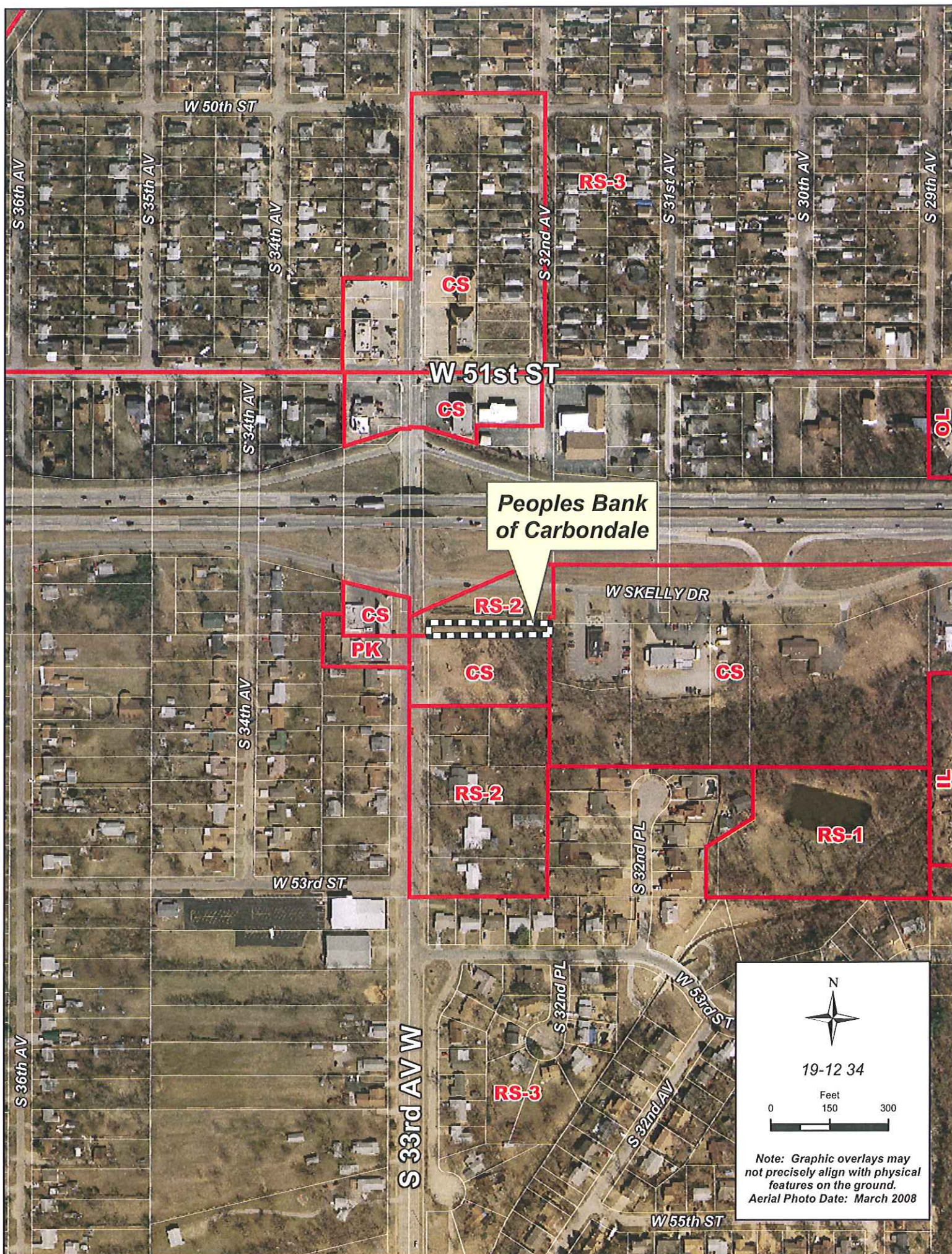






12.1





12.2





W 51st ST

S 34th AV

S 34th AV

S 33rd AV-W

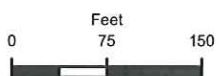
W 53rd ST

Peoples Bank  
of Carbondale

W SKELLY DR



19-12 34



Note: Graphic overlays may  
not precisely align with physical  
features on the ground.  
Aerial Photo Date: March 2008



## PLAT WAIVER

May 20, 2009

**People's Bank of Carbondale -**  
Southeast corner of East 13<sup>th</sup> Place and South Lewis Avenue

The platting requirement is being triggered by a commercial (CS) rezoning for parking for an excess 35 foot strip of Oklahoma Department of Transportation (ODOT) leased by the applicant.

**Staff provides the following information from TAC at their May 7, 2009 meeting:**

**ZONING:**

- TMAPC Staff: Staff does not object to the plat waiver for the previously platted property.

**STREETS:**

- Sidewalk must be constructed if none currently existing.

**SEWER:**

- No comment.

**WATER:**

- No comment.

**STORM DRAIN:**

- Offsite/public drainage, which flows across this site must be placed in an overland drainage easement, and all culverts conveying this drainage must be placed in a storm sewer easement. These may be provided by separate instrument easements, and do not require a plat.

**FIRE:**

- No comment.

**UTILITIES:**

- No comment.

Staff recommends **APPROVAL** of the plat waiver.

**A YES answer to the following 3 questions would generally be FAVORABLE to a plat waiver:**

- |                                                                          | Yes | NO |
|--------------------------------------------------------------------------|-----|----|
| 1. Has Property previously been platted?                                 | X   |    |
| 2. Are there restrictive covenants contained in a previously filed plat? | X   |    |

12.4



3. Is property adequately described by surrounding platted properties or street right-of-way? X

**A YES answer to the remaining questions would generally NOT be favorable to a plat waiver:**

	YES	NO
4. Is right-of-way dedication required to comply with Major Street and Highway Plan?		X
5. Would restrictive covenants be required to be filed by separate instrument if the plat were waived?		X
6. Infrastructure requirements:		
a) Water		
i. Is a main line water extension required?		X
ii. Is an internal system or fire line required?		X
iii. Are additional easements required?		X
b) Sanitary Sewer		
i. Is a main line extension required?		X
ii. Is an internal system required?		X
iii. Are additional easements required?		X
c) Storm Sewer		
i. Is a P.F.P.I. required?		X
ii. Is an Overland Drainage Easement required?		X
iii. Is on site detention required?		X
iv. Are additional easements required?		X
7. Floodplain		
a) Does the property contain a City of Tulsa (Regulatory) Floodplain?		X
b) Does the property contain a F.E.M.A. (Federal) Floodplain?		X
8. Change of Access		
a) Are revisions to existing access locations necessary?		X
9. Is the property in a P.U.D.?		X
a) If yes, was plat recorded for the original P.U.D.		
10. Is this a Major Amendment to a P.U.D.?		X
a) If yes, does the amendment make changes to the proposed physical development of the P.U.D.?		
11. Are mutual access easements needed to assure adequate access to the site?		X
12. Are there existing or planned medians near the site which would necessitate additional right-of-way dedication or other special considerations?		X







201 Executive Center  
Suite 600  
201 West 5th Street  
Tulsa, Oklahoma 74103-4212  
918/584-7526-Fax 918/583-1024

**To: TMAPC Members**

**From: Diane Fernandez, Incog Planner** *DF*

**RE: Sidewalk Waiver Request for part of the Reserve at Stonebrooke Plat**

**Date: May 20, 2009**

Attached is information concerning a request to waive the sidewalk requirement in a part of the Reserve at Stonebrooke Subdivision Plat. The Preliminary Plat was approved for this Addition on June 20, 2007.

The consulting engineer and owners of the project met with Development Services and Planning staff in April to discuss this request. Staff is in agreement that we can support the partial waiver for this subdivision plat with the fee-in-lieu of alternative for this part of the Addition.



Land Planning Civil Engineering Project Management Land Surveying  
6737 South 85th East Avenue | Tulsa, Oklahoma 74133 | 918-252-9621 | Fax 918-250-4566

April 14, 2009

TMAPC  
201 West 5th Street, Suite 600  
Tulsa, OK 74103  
918.584.7526 Fax 918.583.1024

Attn: Diane Fernandez, Senior Planner

Re: The Reserve at Stonebrooke, Request for Partial Sidewalk Waiver

Dear Diane:

We would like to request a Partial Sidewalk Waiver for 184 LF of sidewalk located along the north side of West 80<sup>th</sup> Street South, near the entry into The Reserve at Stonebrooke. The reason for this request is that the slope of the existing pond, located north of West 80<sup>th</sup> Street South, comes almost to the edge of the back of curb of West 80<sup>th</sup> Street South, which will make construction of the sidewalk very difficult. It is our intent to construct all other sidewalks as required per the City of Tulsa standards. We are also in agreement with the fee in lieu of, that was discussed in our meeting of April 2, 2009.

Respectfully submitted,

A handwritten signature in blue ink, appearing to read 'Tim Terral', with a stylized flourish at the end.

Tim Terral  
Director of Land Planning



13.2





## Entry Detail - Revised Sidewalk Plan

Stonebrooke Estates  
Houston, TX  
Hwy 1741 No. 624.3

Scale: 1" = 40'

0 20' 40' 60' 80' 100'

North Arrow

Proposed area without Sidewalk (1184 LF)

West 80th Street South

South Houston Avenue

S. Galveston Ct.

30 31 32 33

Proposed Area Without Sidewalk (1184 LF)

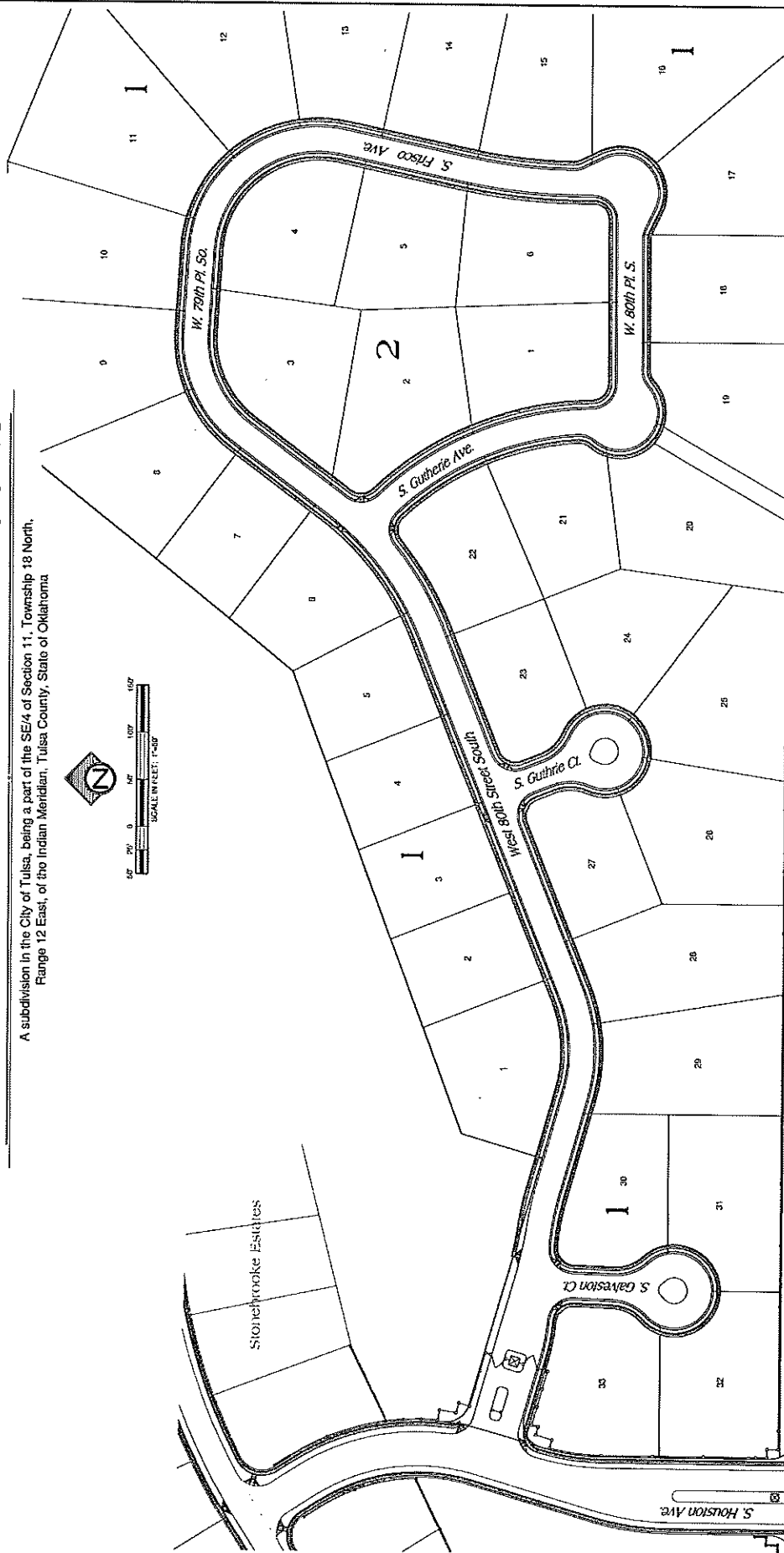
Not to be Constructed

© 1998, 1997, 1996, 1995, 1994, 1993, 1992, 1991, 1990, 1989, 1988, 1987, 1986, 1985, 1984, 1983, 1982, 1981, 1980, 1979, 1978, 1977, 1976, 1975, 1974, 1973, 1972, 1971, 1970, 1969, 1968, 1967, 1966, 1965, 1964, 1963, 1962, 1961, 1960, 1959, 1958, 1957, 1956, 1955, 1954, 1953, 1952, 1951, 1950, 1949, 1948, 1947, 1946, 1945, 1944, 1943, 1942, 1941, 1940, 1939, 1938, 1937, 1936, 1935, 1934, 1933, 1932, 1931, 1930, 1929, 1928, 1927, 1926, 1925, 1924, 1923, 1922, 1921, 1920, 1919, 1918, 1917, 1916, 1915, 1914, 1913, 1912, 1911, 1910, 1909, 1908, 1907, 1906, 1905, 1904, 1903, 1902, 1901, 1900, 1899, 1898, 1897, 1896, 1895, 1894, 1893, 1892, 1891, 1890, 1889, 1888, 1887, 1886, 1885, 1884, 1883, 1882, 1881, 1880, 1879, 1878, 1877, 1876, 1875, 1874, 1873, 1872, 1871, 1870, 1869, 1868, 1867, 1866, 1865, 1864, 1863, 1862, 1861, 1860, 1859, 1858, 1857, 1856, 1855, 1854, 1853, 1852, 1851, 1850, 1849, 1848, 1847, 1846, 1845, 1844, 1843, 1842, 1841, 1840, 1839, 1838, 1837, 1836, 1835, 1834, 1833, 1832, 1831, 1830, 1829, 1828, 1827, 1826, 1825, 1824, 1823, 1822, 1821, 1820, 1819, 1818, 1817, 1816, 1815, 1814, 1813, 1812, 1811, 1810, 1809, 1808, 1807, 1806, 1805, 1804, 1803, 1802, 1801, 1800, 1799, 1798, 1797, 1796, 1795, 1794, 1793, 1792, 1791, 1790, 1789, 1788, 1787, 1786, 1785, 1784, 1783, 1782, 1781, 1780, 1779, 1778, 1777, 1776, 1775, 1774, 1773, 1772, 1771, 1770, 1769, 1768, 1767, 1766, 1765, 1764, 1763, 1762, 1761, 1760, 1759, 1758, 1757, 1756, 1755, 1754, 1753, 1752, 1751, 1750, 1749, 1748, 1747, 1746, 1745, 1744, 1743, 1742, 1741, 1740, 1739, 1738, 1737, 1736, 1735, 1734, 1733, 1732, 1731, 1730, 1729, 1728, 1727, 1726, 1725, 1724, 1723, 1722, 1721, 1720, 1719, 1718, 1717, 1716, 1715, 1714, 1713, 1712, 1711, 1710, 1709, 1708, 1707, 1706, 1705, 1704, 1703, 1702, 1701, 1700, 1699, 1698, 1697, 1696, 1695, 1694, 1693, 1692, 1691, 1690, 1689, 1688, 1687, 1686, 1685, 1684, 1683, 1682, 1681, 1680, 1679, 1678, 1677, 1676, 1675, 1674, 1673, 1672, 1671, 1670, 1669, 1668, 1667, 1666, 1665, 1664, 1663, 1662, 1661, 1660, 1659, 1658, 1657, 1656, 1655, 1654, 1653, 1652, 1651, 1650, 1649, 1648, 1647, 1646, 1645, 1644, 1643, 1642, 1641, 1640, 1639, 1638, 1637, 1636, 1635, 1634, 1633, 1632, 1631, 1630, 1629, 1628, 1627, 1626, 1625, 1624, 1623, 1622, 1621, 1620, 1619, 1618, 1617, 1616, 1615, 1614, 1613, 1612, 1611, 1610, 1609, 1608, 1607, 1606, 1605, 1604, 1603, 1602, 1601, 1600, 1599, 1598, 1597, 1596, 1595, 1594, 1593, 1592, 1591, 1590, 1589, 1588, 1587, 1586, 1585, 1584, 1583, 1582, 1581, 1580, 1579, 1578, 1577, 1576, 1575, 1574, 1573, 1572, 1571, 1570, 1569, 1568, 1567, 1566, 1565, 1564, 1563, 1562, 1561, 1560, 1559, 1558, 1557, 1556, 1555, 1554, 1553, 1552, 1551, 1550, 1549, 1548, 1547, 1546, 1545, 1544, 1543, 1542, 1541, 1540, 1539, 1538, 1537, 1536, 1535, 1534, 1533, 1532, 1531, 1530, 1529, 1528, 1527, 1526, 1525, 1524, 1523, 1522, 1521, 1520, 1519, 1518, 1517, 1516, 1515, 1514, 1513, 1512, 1511, 1510, 1509, 1508, 1507, 1506, 1505, 1504, 1503, 1502, 1501, 1500, 1499, 1498, 1497, 1496, 1495, 1494, 1493, 1492, 1491, 1490, 1489, 1488, 1487, 1486, 1485, 1484, 1483, 1482, 1481, 1480, 1479, 1478, 1477, 1476, 1475, 1474, 1473, 1472, 1471, 1470, 1469, 1468, 1467, 1466, 1465, 1464, 1463, 1462, 1461, 1460, 1459, 1458, 1457, 1456, 1455, 1454, 1453, 1452, 1451, 1450, 1449, 1448, 1447, 1446, 1445, 1444, 1443, 1442, 1441, 1440, 1439, 1438, 1437, 1436, 1435, 1434, 1433, 1432, 1431, 1430, 1429, 1428, 1427, 1426, 1425, 1424, 1423, 1422, 1421, 1420, 1419, 1418, 1417, 1416, 1415, 1414, 1413, 1412, 1411, 1410, 1409, 1408, 1407, 1406, 1405, 1404, 1403, 1402, 1401, 1400, 1399, 1398, 1397, 1396, 1395, 1394, 1393, 1392, 1391, 1390, 1389, 1388, 1387, 1386, 1385, 1384, 1383, 1382, 1381, 1380, 1379, 1378, 1377, 1376, 1375, 1374, 1373, 1372, 1371, 1370, 1369, 1368, 1367, 1366, 1365, 1364, 1363, 1362, 1361, 1360, 1359, 1358, 1357, 1356, 1355, 1354, 1353, 1352, 1351, 1350, 1349, 1348, 1347, 1346, 1345, 1344, 1343, 1342, 1341, 1340, 1339, 1338, 1337, 1336, 1335, 1334, 1333, 1332, 1331, 1330, 1329, 1328, 1327, 1326, 1325, 1324, 1323, 1322, 1321, 1320, 1319, 1318, 1317,



## Overall Revised Sidewalk Plan

A subdivision in the City of Tulsa, being a part of the SE/4 of Section 11, Township 18 North, Range 12 East, of the Indian Meridian, Tulsa County, State of Oklahoma



- West 81st Street South -

The Reserve at Stonebrooke

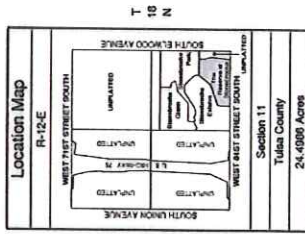
Q 128. (27) David S. Phillips, *University of California, Berkeley*, 411-20008 - 1.50 PM

13.5

Revised Sidewalk - Looking East on West 80th Street South

# The Reserve at Stonebrooke

A subdivision in the City of Tulsa, being a part of the SE/4 of Section 11, Township 18 North, Range 12 East, of the Indian Meridian, Tulsa County, State of Oklahoma



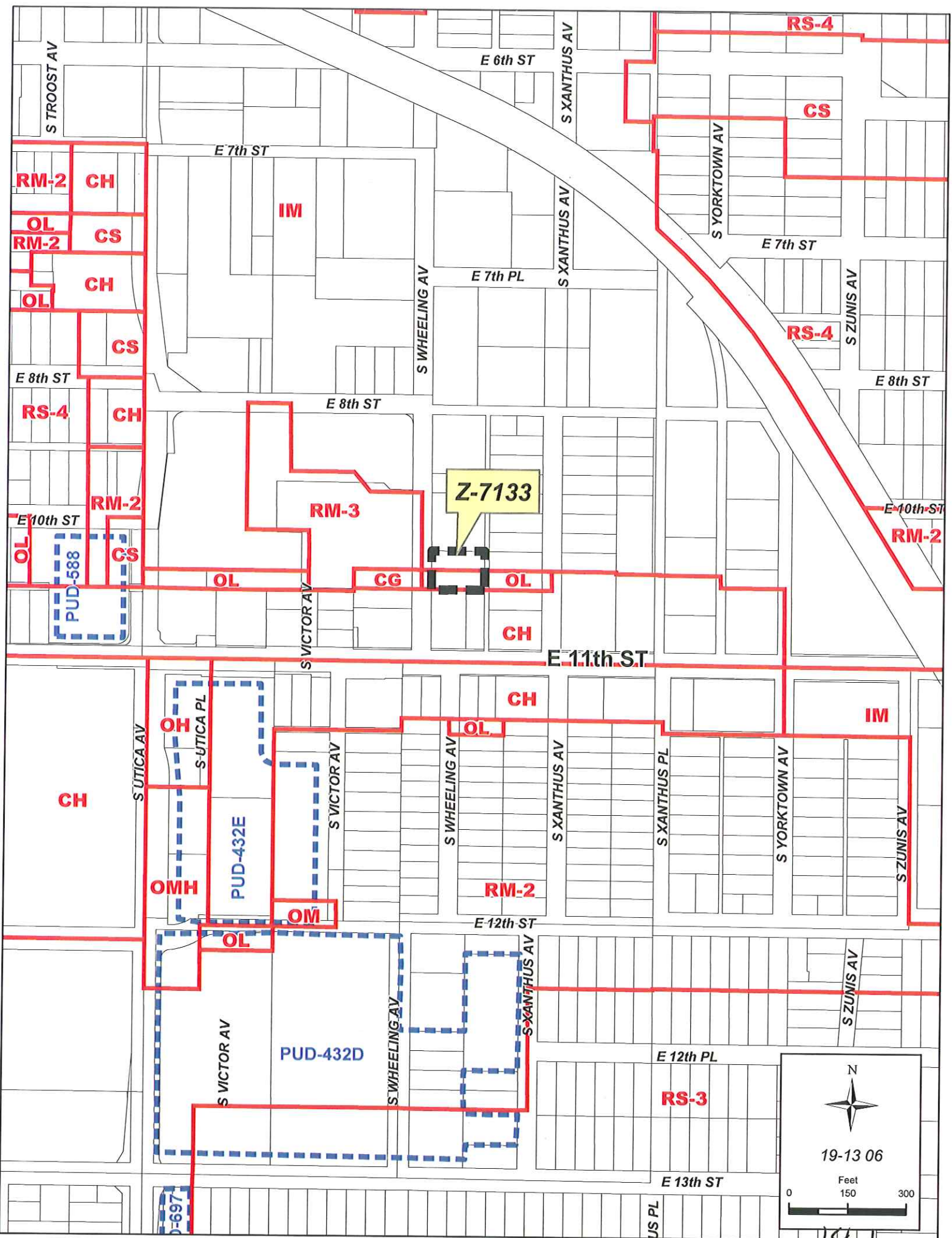
**Not To Scale**

The Reserve at Stonebrooke

Q.106-137-00000. Replaces Exhibits 106-137. Revised Submittal. Photo.org. 4/13/2009. 2.04 PM

13.4





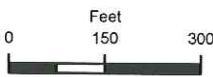




Z-7133



19-13 06



Note: Graphic overlays may not precisely align with physical features on the ground.  
Aerial Photo Date: March 2008

19.2





S WHEELING AV

Z-7133

E 11th ST

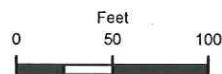
S VICTOR AV

S WHEELING AV

S XANTHUS AV



19-13 06



Note: Graphic overlays may not precisely align with physical features on the ground.  
Aerial Photo Date: March 2008

19.3



**TULSA METROPOLITAN AREA PLANNING COMMISSION  
CASE REPORT**

**APPLICATION: Z-7133**

**TRS 9306**

**Atlas 11**

**CZM 37**

**PD-4 CD-4**

**TMAPC Hearing Date:** May 20, 2009

**Applicant:** Wallace Engineering

**Tract Size:** .313± acres

13,670± square feet

**ADDRESS/GENERAL LOCATION:** North of northeast corner of East 11<sup>th</sup> Street and South Wheeling Avenue

**EXISTING ZONING:** OL/IM

**EXISTING USE:** Industrial

**ZONING ORDINANCE:** Ordinance number 11815 dated June 26, 1970, established zoning for the subject property.

**PROPOSED ZONING:** CH

**PROPOSED USE:** Warehouse

**RELEVANT ZONING HISTORY:**

**BOA-19437 August 27, 2002:** The Board approved a Special Exception to permit the Center for Individuals with Physical Challenges under Use Unit 5, in the IM and RM-3 zoning district; a Special Exception to permit required off-street parking to be located on a lot other than the lots containing the new Center building; a Variance of the building setback required in an IM zoning district from the centerline of S. Utica Ave. from 85' to 55' for approximately 75'; a Variance of the building setback required in an IM zoning district from the centerline of E. 8th St. in two locations from 50' to 30'; a Variance of the building setback required in an RM-3 district from the centerline of 8th St. from 50' to 30'; a Variance of the building setback required in an IM district abutting an R district from 75' to 0'; a Variance of the required off-street parking area setback of the off-street parking area in the IM district within 50' of an R district from 50' to 0'; a Variance of the requirement that 15% of the required street yard on E. 8th St. be established and maintained as a landscaped area; and a Variance to permit the required number of trees within a street yard to be located throughout the Center site, per plan, finding this to be compatible with the neighborhood, with multiple hardships, located on the south side of East 8<sup>th</sup> Street between South Utica Avenue and South Wheeling Avenue and abutting west of subject property across Wheeling Avenue.

**PUD-432-E September 2000:** All concurred in approval of a request for a Major Amendment to PUD-432 to add land to existing PUD; to reallocate floor area from the original PUD to the new area; and to add Use Unit 13, Convenience Goods and Services, and Use Unit 14, Shopping Goods and Services as allowed uses within the new Development Area C area; locate between South Utica Avenue and South Victor Avenue, from East 11<sup>th</sup> Street to East 12<sup>th</sup> Street.

14.4



**PUD-432-D August 1995:** All concurred in approval of a major amendment to expand the existing PUD to the east allowing for additional medical office and hospital buildings. The property is located between Utica and Xanthus Avenues from East 11<sup>th</sup> Street to East 13<sup>th</sup> Street.

**PUD-432 November 1987:** All concurred in approval to develop 4.5 acres located between South Utica Avenue and South Victor Avenue, from East 12<sup>th</sup> Street to East 13<sup>th</sup> Street for hospital and office uses.

**BOA-12082 July 22, 1982:** The Board of Adjustment approved a Variance to permit storage of furniture (warehouse) for an abutting furniture sales company, on property located north of the northeast corner of South Wheeling Avenue and East 11<sup>th</sup> Street and the subject property.

**AREA DESCRIPTION:**

**SITE ANALYSIS:** The subject property is approximately .313± acres in size and is located north of the northeast corner of East 11<sup>th</sup> Street and South Wheeling Avenue. The property appears to be partially vacant and partially in use as storage and is zoned OL/IM.

**STREETS:**

<b>Exist. Access</b>	<b>MSHP Design</b>	<b>MSHP R/W</b>	<b>Exist. # Lanes</b>
South Wheeling Avenue	N/A	N/A	2

**UTILITIES:** The subject tract has municipal water and sewer available.

**SURROUNDING AREA:** The subject tract is abutted on the east by a parking lot for an adjacent garage to the south, zoned OL/IM; on the north by trailer storage and some accessory buildings, zoned IM; on the south by Hardesty Press and a beauty salon, zoned CH; farther east and southeast of the site is a discount store, zoned CH; and on the west by a single-family residential use and Murdock Villa, zoned CG/RM-3. The entire area, overall, is a mixed industrial use, with single-family and institutional uses scattered within it.

**RELATIONSHIP TO THE COMPREHENSIVE PLAN:**

The District 4 Plan, a part of the adopted Comprehensive Plan for the Tulsa Metropolitan Area, designates this area as being within an Industrial Special District. According to the Zoning Matrix, the requested CH zoning **may be found** in accord with the Plan.

**STAFF RECOMMENDATION:**

This is planned to be a warehouse, and may already be in use as such. Based on the Comprehensive Plan, trends in the area and the adjacency to existing CH zoning, staff can support the requested rezoning and recommends **APPROVAL** of CH zoning for Z-7133.

05/20/09

14.5

CITY COUNCIL CONSENSUS 2009-3

A CONSENSUS DIRECTING THE TULSA METROPOLITAN AREA PLANNING COMMISSION TO HOLD PUBLIC HEARINGS, ANALYZE AND RECOMMEND TO THE CITY COUNCIL ORDINANCE AMENDMENTS TO THE ZONING CODE OF THE CITY OF TULSA GOVERNING THE DEVELOPMENT OF PROPERTIES OVER OR AROUND LAND CONTAINING UNDERGROUND PIPELINES.

**WHEREAS**, the public's health, safety, and welfare is the City of Tulsa's highest priority;

**WHEREAS**, the City of Tulsa's history as the Oil Capital of the World has caused a large number of underground pipelines to be buried throughout the area, most of which are still active and carry explosive or hazardous materials;

**WHEREAS**, through the years, as the city of Tulsa has become more urbanized, land which was previously vacant or agricultural has been developed with offices, stores, and homes. These structures are being built in close proximity to the existing buried pipelines;

**WHEREAS**, the higher population density and closer proximity to underground pipelines increases the probability of the loss of life and the severity of damage to property in the event of a pipeline incident;

**WHEREAS**, the federal government has organized a working group consisting of the pipeline industry, land developers, and government officials called "PIPA". PIPA was formed to develop a model code to guide states, counties, and cities in creating their own statutes or ordinances which address the dangers underground pipelines pose to surrounding properties; and

**WHEREAS**, the City of Tulsa has designated the Tulsa Metropolitan Planning Commission (TMAPC) as the body which provides the City recommendation's regarding amendments to the text of the City's Zoning Code.

**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF TULSA:**

Section 1. The City Council requests TMAPC to hold public hearings, analyze, and provide their report and recommendation to the City Council regarding development of property over and around underground pipelines containing explosive, petroleum or other hazardous materials.

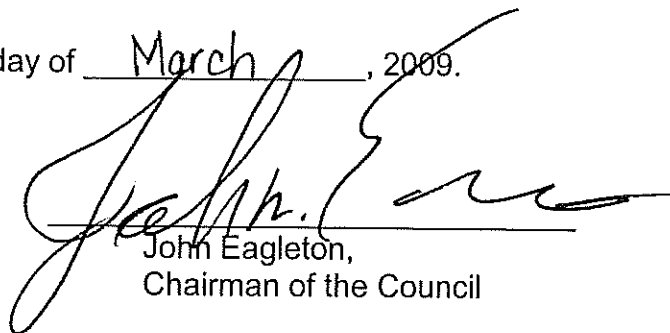


Section 2. The City Council requests TMAPC to review the material and recommendations of the PIPA working group as part of their deliberations when developing their recommendation to the City Council.

Section 3. The City Council requests TMAPC provide a report on their progress in evaluating this issue no later than July 1, 2009.

Section 4. The Council Secretary is hereby directed to send a copy of this consensus to the Board of Adjustment within two (2) business days after it is signed by the Chair.

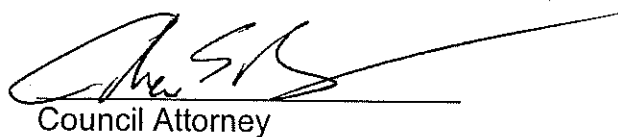
Adopted by the Council this 26<sup>th</sup> day of March, 2009.

  
John Eagleton,  
Chairman of the Council

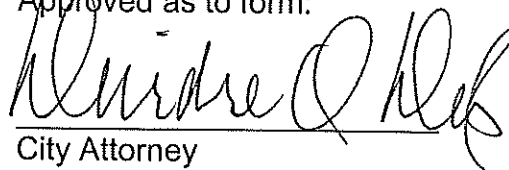
ATTEST:

  
Secretary of the City Council

Approved:

  
Council Attorney

Approved as to form:

  
City Attorney

CITY COUNCIL CONSENSUS 2009-6

A CONSENSUS DIRECTING THE TULSA METROPOLITAN AREA PLANNING COMMISSION TO HOLD PUBLIC HEARINGS, ANALYZE AND RECOMMEND TO THE CITY COUNCIL ORDINANCE AMENDMENTS TO THE ZONING CODE OF THE CITY OF TULSA GOVERNING SCREENING REQUIREMENTS FOR outhouses or temporary latrines in residentially zoned areas for more than six months.

**WHEREAS**, the public's health, safety, and welfare is the City of Tulsa's highest priority;

**WHEREAS**, as the City of Tulsa becomes more densely populated, and continuing growth leaves fewer undeveloped areas for new construction, re-development or "in-fill" development has become more attractive and economically viable as an alternative to new construction;

**WHEREAS**, older and historic housing neighborhoods in the city are experiencing an increasing number of home renovations and these renovations can be very extensive, costly, and time consuming;

**WHEREAS**, a large number of the home renovations are performed by contractors and occur over a span of several months;

**WHEREAS**, contractors often provide temporary latrine facilities for their and their sub-contractors crews by use of "Port-a-Johns", "Port-a-Potties", or other similar facilities;

**WHEREAS**, the temporary latrines are not connected to a permanent sewer system or septic tank system, rather, they are maintained on an as-needed basis;

**WHEREAS**, the temporary latrines located in residential areas for long periods of time become an eyesore to the neighborhood, and provide an often appealing target for teenage vandalism; and

**WHEREAS**, in order to reduce vandalism, and enhance neighborhood aesthetics, it is reasonable to provide for visual screening for a temporary latrine when it is placed in a residentially zoned area for more than six (6) months where such screening can be accomplished in an economically feasible manner.



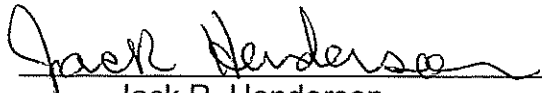
**BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF TULSA:**

Section 1. The City Council requests Tulsa Metropolitan Area Planning Commission to hold public hearings, analyze, and provide their report and recommendation to the City Council regarding implementing screening requirements for outhouses or temporary latrines located in residentially zoned areas for more than six (6) months, including an evaluation of the costs of any recommended screening requirements.

Section 2. The City Council requests Tulsa Metropolitan Area Planning Commission provide a report on their progress in evaluating this issue no later than August 1, 2009, including a timeline for submitting proposed ordinance amendments to the Council.

Section 3. The Council Secretary is hereby directed to send a copy of this consensus to the Tulsa Metropolitan Area Planning Commission within two (2) business days after it is signed by the Chair.

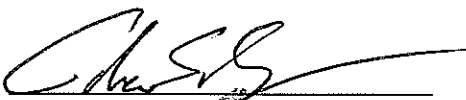
Adopted by the Council this \_\_\_\_\_ day of APR 23 2009, 2009.

  
Jack R. Henderson,  
Chairman of the Council

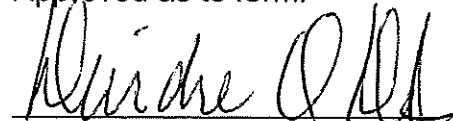
ATTEST:

  
Secretary of the City Council

Approved:

  
Council Attorney

Approved as to form:

  
City Attorney