TULSA METROPOLITAN AREA PLANNING COMMISSION

For Meeting No. 2580

June 16, 2010, 1:30 PM
175 East 2nd Street, 2nd Level, One Technology Center
Tulsa City Council Chamber

CONSIDER, DISCUSS AND/OR TAKE ACTION ON

Call to Order:

REPORTS

Chairman's Report:

Worksession Report:

Comprehensive Plan Report:
Report on the update of the Comprehensive Plan

Director's Report:
Review of TMAPC Receipts for the Month of May 2010

1. Minutes of May 19, 2010, Meeting No. 2578
2. Minutes of June 1, 2010, Meeting No. 2579

CONSENT AGENDA

All matters under "Consent" are considered by the Planning Commission to be routine and will be enacted by one motion. Any Planning Commission member may, however, remove an item by request.

3. **LS-20377** – Steve Younger (9230) (Related to LC-254 and LC-255) (County)

   East of the Northeast corner of South 69th West Avenue and West 41st Place South, 6850 West 41st Place

4. **LC-254**– Steve Younger (9230) (Related to LS-20377) (County)

   East of the Northeast corner of South 69th West Avenue and West 41st Place South, 6831 West 41st Place

5. **LC-255**– Jason Ellen (9230) (Related to LS-20377) (County)

   Northeast corner of South 69th West Avenue and West 41st Place South

6. **LS-20378**–Vaughn Iskanian (8334) (Related to LC-256) (PD26) (CD8)

   Southeast of Southeast corner of East 111th Street and South Yale Avenue, 4964 East 114th Place

7. **LC-256**– Vaughn Iskanian (8334) (Related to LS-20378) (PD26) (CD8)

   Southeast of Southeast corner of East 111th Street and South Yale Avenue, 5303 East 115th Place

8. **LC-258**– Mary Esparza (2331) (PD2) (CD3)

   West of the Southwest corner of North Lewis Avenue and East Newton Street, 2180 East Newton Place

9. **Block 5, Chelsea Pond** – (8328) Final Plat (PD 26) (CD 8)

   South of the southeast corner of East 101st Street South and South Harvard Avenue

10. **Z-7008-SP-1 – Stan DeMille/Whataburger** (PD-8) (CD-2)

North of the northwest corner of West 81st Street South and South Olympia Avenue (Corridor Detail Site Plan for a 3,218 square foot Whataburger restaurant.)

CONSIDERATION OF ITEMS REMOVED FROM THE CONSENT AGENDA

PUBLIC HEARINGS

11. **LS-20376** – Randall Miser (1431) Major Street and Highway Plan Waiver (County)

Northwest corner of East 66th Street North and North 113th Avenue

12. **BOA – 21094 –** (9310) Plat Waiver (PD 5) (CD 4)

1916 South Sheridan Road

13. **CBOA – 2369 –** (7224) Plat Waiver, Holy Apostles church of Tulsa, Inc. (County)

15710 South Peoria Avenue (continued from 5/19/2010 meeting)

14. **Hyde Park at Tulsa Hills** (revised) – (8211) Preliminary Plat (PD 8) (CD 2)

East of South U.S.75, South of West 81st Street (request continuance to 7/6/2010 for further plat review per Technical Advisory Committee recommendation)

OTHER BUSINESS

15. **Commissioners' Comments**

ADJOURN

PD = Planning District/CD = Council District

NOTICE: **If you require special accommodation pursuant to the Americans with Disabilities Act, please notify INCOG (918) 584-7526**

Exhibits, Petitions, Pictures, etc., presented to the Planning Commission may be received and deposited in case files to be maintained at Land Development Services, INCOG.

Ringing/sound on all cell phones and pagers must be turned off during the Planning Commission.

Visit our website @ www.tmapc.org

The Mission of the Tulsa Metropolitan Area Planning Commission (TMAPC) is to provide unbiased advice to the City Council and the County Commissioners on development and zoning matters, to provide a public forum that fosters public participation and transparency in land development and planning, to adopt and maintain a comprehensive plan for the metropolitan area, and to provide other planning, zoning and land division services that promote the harmonious development of the Tulsa Metropolitan Area and enhance and preserve the quality of life for the region's current and future residents.

TMAPC Mission Statement

AGENDA

TULSA METROPOLITAN AREA PLANNING COMMISSION

TRAINING SESSION

INCOG
Two West 2nd Street, Suite 800
Large Conference Room/North

Wednesday, June 16, 2009
11:00 a.m.

CONSIDER, DISCUSS AND/OR TAKE ACTION ON:

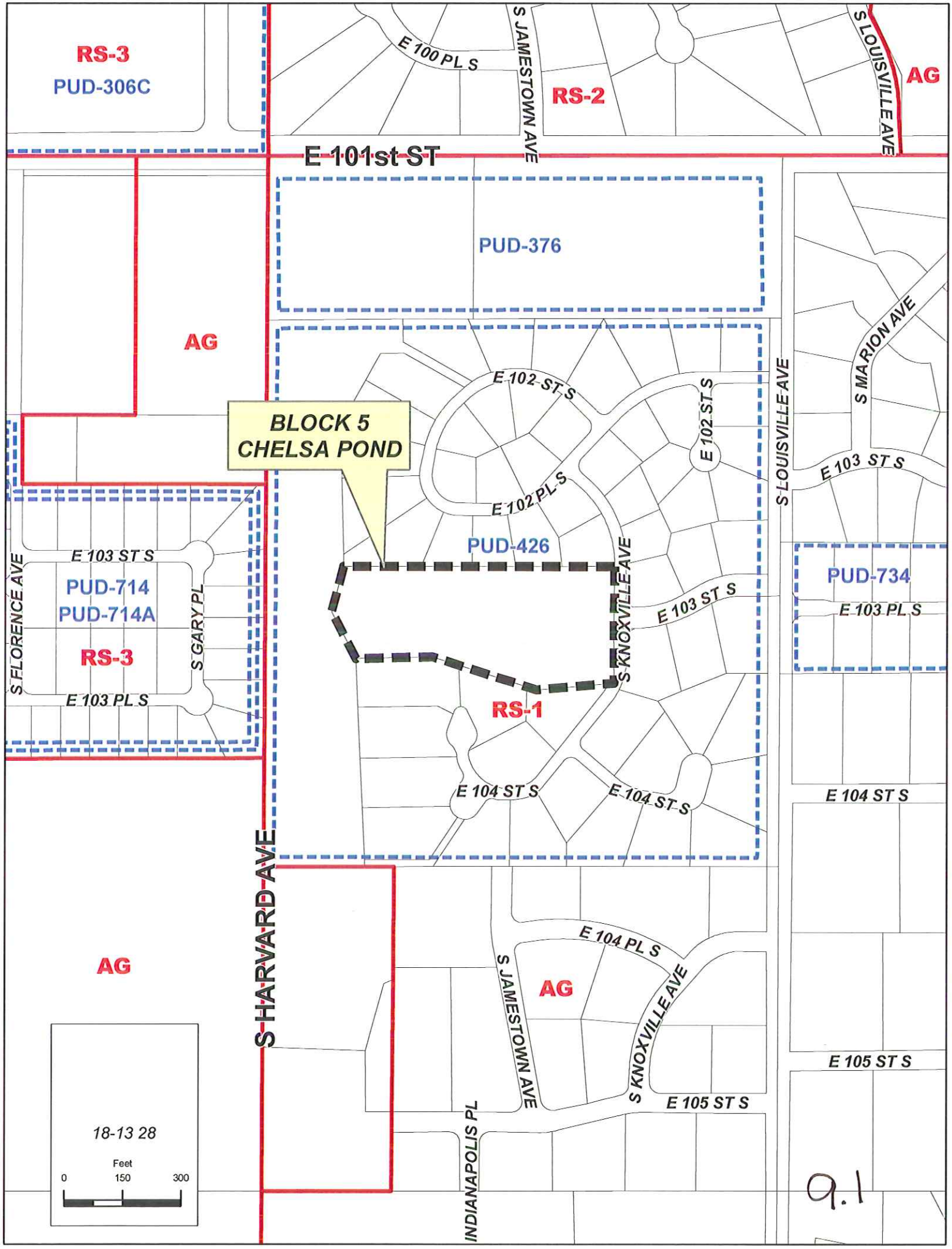
1. Planned Unit Development (PUD) discussion and review.
2. Lot-Split discussion and review.

Adjourn

www.tmapc.org

TMAPC RECEIPTS
Month of May 2010

	Current Period				Year To Date			
	ITEM	CITY	COUNTY	TOTAL RECEIVED	ITEM	CITY	COUNTY	TOTAL RECEIVED
ZONING								
Zoning Letters	8	$40.00	$40.00	$80.00	84	$440.00	$440.00	$880.00
Zoning	2	400.00	400.00	800.00	45	12,456.25	12,456.25	24,912.50
PUDs & Plan Reviews	14	1,102.50	1,102.50	2,205.00	383	30,343.50	30,343.50	60,687.00
Refunds	1	(250.00)	(250.00)	(500.00)	3	(500.00)	(500.00)	(1,000.00)
Fees Waived		0.00	0.00	0.00	1	830.00	830.00	1,660.00
		$1,292.50	$1,292.50	$2,585.00		$42,739.75	$42,739.75	$85,479.50
LAND DIVISION								
Minor Subdivisions		$0.00	$0.00	$0.00	13	$4,550.00	$4,550.00	$9,100.00
Preliminary Plats		0.00	0.00	0.00	10	6,417.50	6,417.50	12,835.00
Final Plats	1	462.50	462.50	925.00	12	5,190.03	5,190.02	10,380.05
Plat Waivers	1	125.00	125.00	250.00	17	2,375.00	2,375.00	4,750.00
Lot Splits	3	183.00	183.00	366.00	51	3,105.50	3,105.50	6,211.00
Lot Combinations	4	200.00	200.00	400.00	62	3,250.00	3,250.00	6,500.00
Access Changes		0.00	0.00	0.00	7	150.00	150.00	300.00
Other		0.00	0.00	0.00	3	150.00	150.00	300.00
Refunds			0.00	0.00	0	0.00	0.00	0.00
Fees Waived		0.00	0.00	0.00	3	150.00	150.00	300.00
		$970.50	$970.50	$1,941.00		$25,188.03	$25,188.02	$50,376.05
BOARDS OF ADJUSTMENT								
Fees		$9,000.00	$1,500.00	$10,500.00	173	$61,960.00	$15,313.00	$77,273.00
Refunds	5	(2,750.00)	0.00	($2,750.00)	10	(3,900.00)	(700.00)	(4,600.00)
NSF Check			0.00	$0.00	1	(600.00)	0.00	(600.00)
Fees Waived		0.00	0.00	$0.00	0	0.00	0.00	0.00
		$6,250.00	$1,500.00	$7,750.00		$57,460.00	$14,613.00	$72,073.00
TOTAL		**$8,513.00**	**$3,763.00**	**$12,276.00**		**$125,387.78**	**$82,540.77**	**$207,928.55**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PUD-306C
E 100 PL S
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RS-2
S LOUISVILLE AVE
AG
E 101st ST
PUD-376
AG
BLOCK 5
CHELSA POND
E 102 ST S
E 102 ST S
E 102 PL S
PUD-426
S LOUISVILLE AVE
S MARION AVE
E 103 ST S
E 103 ST S
S KNOXVILLE AVE
PUD-734
E 103 PL S
E 103 ST S
PUD-714
PUD-714A
RS-3
S FLORENCE AVE
S GARY PL
E 103 PL S
RS-1
E 104 ST S
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S HARVARD AVE
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INDIANAPOLIS PL
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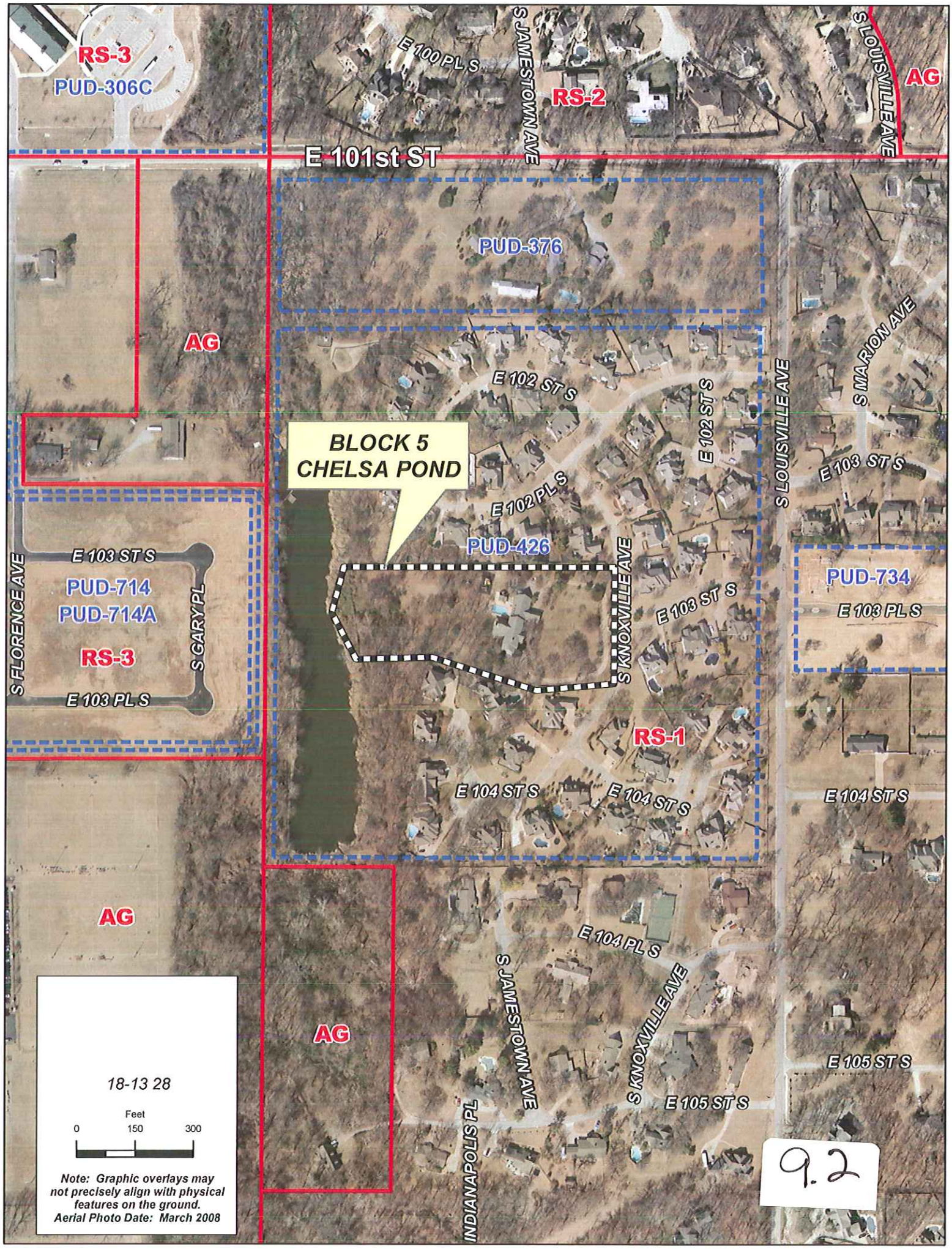
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INDIANAPOLIS PL
18-13 28
Feet
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Note: Graphic overlays may not precisely align with physical features on the ground.
Aerial Photo Date: March 2008
9.2

Final Subdivision Plat

Block 2 Chelsea Pond - (8328) (PD 26) (CD 8)
South of the Southeast corner of East 101st Street South and South Harvard Avenue

This plat consists of 2 Lots, in 1 Block, on 4.4 acres.

Staff recommends **APPROVAL** of the Final Plat. All release letters have been received.

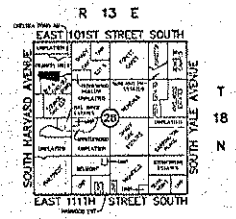
9.3

Draft Final Plat

PUD 426

Block 5 Chelsea Pond

PART OF THE W/2 OF THE NW/4 OF SECTION 28, TOWNSHIP 18 NORTH, RANGE 13 EAST
AN ADDITION IN THE CITY OF TULSA, TULSA COUNTY, OKLAHOMA



Location Map
SCALE: 1"=2000'

SUBDIVISION CONTAINS
TWO(2) LOTS IN ONE(1) BLOCK

GROSS SUBDIVISION AREA: 4.481 ACRES

OWNER:
Susan T. Detwiler Revocable Trust Dated July 14, 2004
6767A South Yale Avenue
Tulsa, Oklahoma 74136
Phone: (918)492-7587

SURVEYOR:
Tanner Consulting, L.L.C.
DAN E. TANNER, P.L.S. NO. 1435
OK CA NO. 2661, EXPIRES 6/30/2011
5323 South Lewis Avenue
Tulsa, Oklahoma 74105
Phone: (918)745-9929
EMAIL: DAN@TANNERDRAFTSHOP.COM

North
0 30 65 99
Scale: 1"=60'

B/L = BUILDING LINE
ESMT = EASEMENT
FND = FOUND
U/E = UTILITY EASEMENT

FINAL PLAT
CERTIFICATE OF APPROVAL

I hereby certify that this plat was approved by the Tulsa Metropolitan Area Planning Commission on _____

_____ (MM/DD/YYYY)

This approval is void if the plat is not filed in the office of the County Clerk on or before

_____

CITY ENGINEER

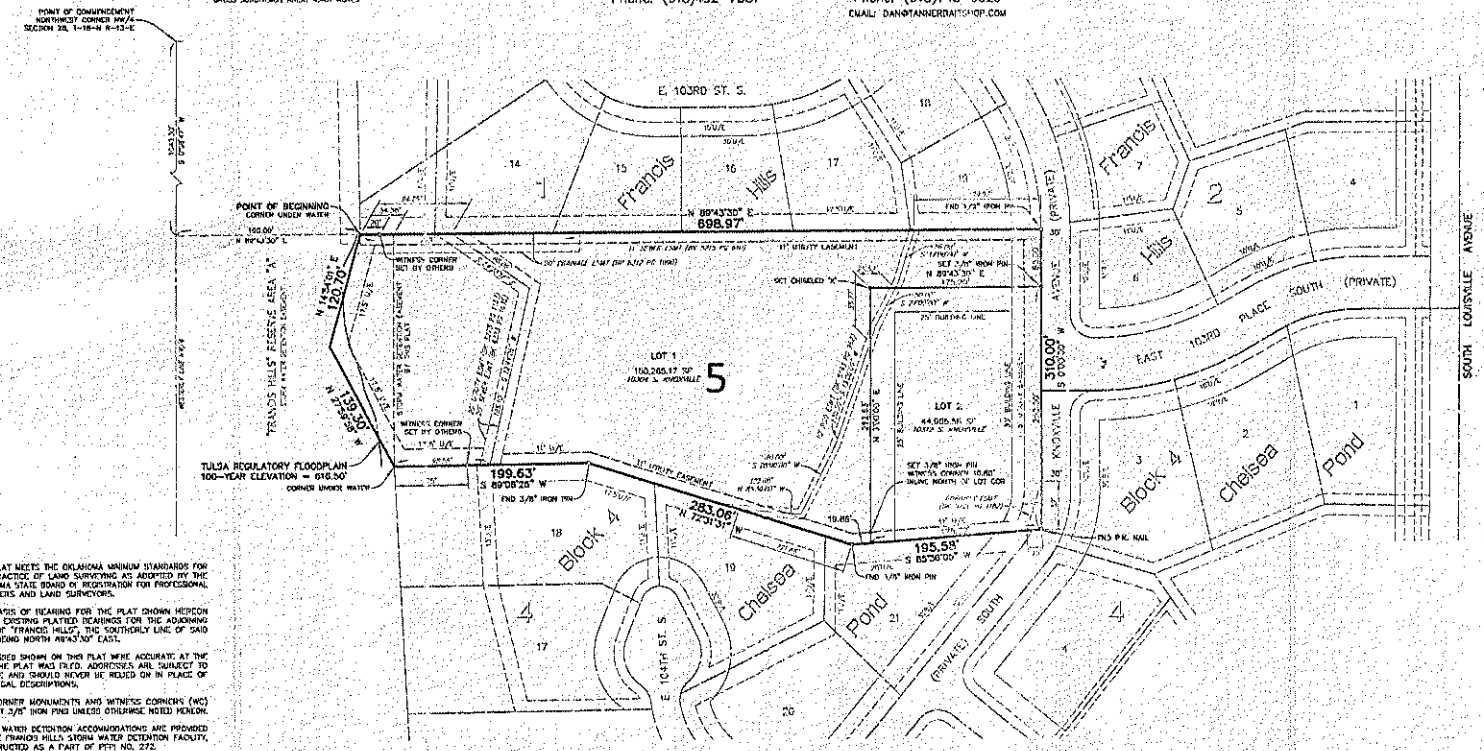
APPROVED _____ by the Council of the City of Tulsa, Oklahoma

Ordinance _____

Mayor _____

Attest: City Clerk _____

Approved: City Attorney _____



Notes

A. THIS PLAT MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

B. THE BASIS OF BEARING FOR THE PLAT SHOWN HEREON IS THE EXISTING PLATTED BEARINGS FOR THE ADJOINING PLAT OF "FRANCIS HILLS", THE SOUTHERLY LINE OF SAID PLAT BEING NORTH 89°43'30" EAST.

C. ADDRESSES SHOWN ON THIS PLAT WERE ACCURATE AT THE TIME THE PLAT WAS FILED. ADDRESSES ARE SUBJECT TO CHANGE AND SHOULD NEVER BE RELIED ON IN PLACE OF THE LEGAL DESCRIPTIONS.

D. ALL CORNER MONUMENTS AND WITNESS CORNERS (WC) ARE SET 3/8" IRON PINS UNLESS OTHERWISE NOTED HEREON.

E. STORM WATER DETENTION ACCOMMODATIONS ARE PROVIDED BY THE FRANCIS HILLS STORM WATER DETENTION FACILITY, CONSTRUCTED AS A PART OF PFP1 NO. 272.

STATE OF OKLAHOMA
COUNTY OF TULSA } SS.

I, Karlene Wilson, Tulsa County Clerk, in and for the County and State aforesaid, do hereby certify that the foregoing is a true and correct copy of a like instrument now on file in my office.

Dated this _____ day of _____, 2010.

KARLENE WILSON, Tulsa County Clerk

_____ Deputy

DRAFT FINAL COPY

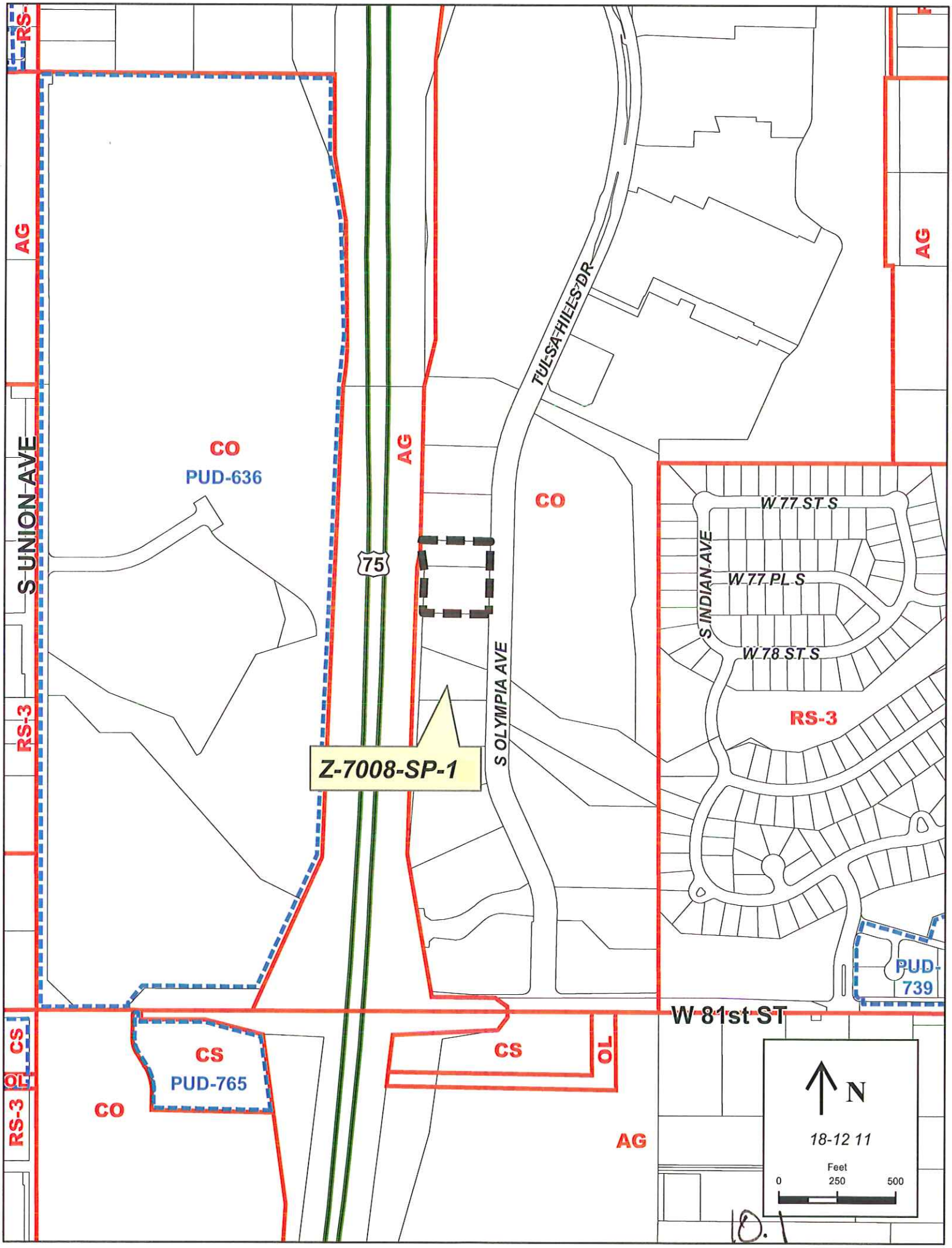
RECEIVED
JUN 01 2010
Tulsa Metropolitan Area Planning Commission

RECEIVED
JUN
Urban Plann

DATE OF PREPARATION: JUNE 1, 2010

Block 5 Chelsea Pond
SHEET 1 OF 2

9.4


Z-7008-SP-1
S UNION AVE
S OLYMPIA AVE
TULSA HILLS DR
W 77 ST S
S INDIAN AVE
W 77 PL S
W 78 ST S
W 81st ST
75
CO
PUD-636
AG
RS-3
CS
OL
PUD-765
PUD-739
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Feet
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250
500

10.1

S UNION AVE
75
TULSA HILLS DR
S OLYMPIA AVE
S INDIAN AVE
W 77 ST S
W 77 PL S
W 78 ST S
Z-7008-SP-1
W 81st ST
N
18-12 11
Feet
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250
500
Note: Graphic overlays may not precisely align with physical features on the ground.
erial Photo Date: March 2008

10.2

June 16, 2010

STAFF RECOMMENDATION

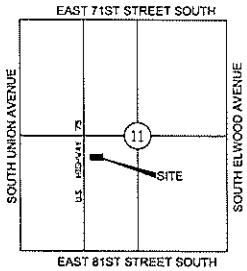
Z-7008-SP-1: Detail Site Plan – North of the northwest corner of West 81st Street South and South Olympia Avenue; Part of Lots 8 and 9, Block 1 – Tulsa Hills; TRS 8211; CZM 51; PD 8; CD 2; CO.

The applicant is requesting approval of a detail site plan for a 3,218 square foot (sf) Whataburger restaurant. The proposed use, Use Unit 12 – Eating Establishments other than Drive-ins is a permitted use within Development Area D of the Tulsa Hills Corridor District Plan.

The submitted site plan meets all applicable building floor area, open space, building height and setback limitations. Parking has been provided per the applicable Use Unit of the Zoning Code. Landscaping is provided per the landscape chapter of the Zoning Code. All sight lighting is limited to 28.5-feet in height and will be directed down and away from adjoining properties. A trash enclosure has been provided as required by the Corridor District Development Plan. Sidewalks have been provided along South Olympia Avenue as required by CO District Development Standards and Subdivision Regulations.

Staff recommends **APPROVAL** of the detail site plan for Whataburger on part of Lots 8 and 9, Block 1 – Tulsa Hills.

Note: Detail site plan approval does not constitute landscape plan or sign plan approval.



VICINITY MAP
N.T.S.

GENERAL NOTES

1. PAVEMENT DIMENSIONS AND RADII ARE TO FACE OF CURB, UNLESS OTHERWISE NOTED.
2. REFER TO BUILDING PLUMBING PLAN FOR UTILITY SERVICES (WATER & SEWER WITHIN 5 FEET OF BUILDING).
3. REFER TO C-1.3 FOR GRADING PLAN.
4. REFER TO L-1 & L-2 FOR LANDSCAPE PLAN.
5. ALL PARKING STRIPES, DRIVE-THRU STRIPING AND ARROWS SHALL BE PAINTED WHITE AND SHALL BE 4" WIDE.
6. FLAGPOLE SHALL BE FROM UNITED FLAG AND BANNER, GARRISON-TYPE POLE, WITH ALUMINUM HARDWARE AND 30' HIGH.
7. SIGNAGE SHOWN ON THIS PLAN IS FOR REFERENCE ONLY. REFER TO SIGNAGE SPECIFICATIONS FOR DETAILED INFORMATION.
8. CONTRACTOR TO VERIFY ALL QUANTITIES SHOWN IN SITE DATA TABLE. THESE SHALL NOT BE RELIED ON FOR BIDDING.

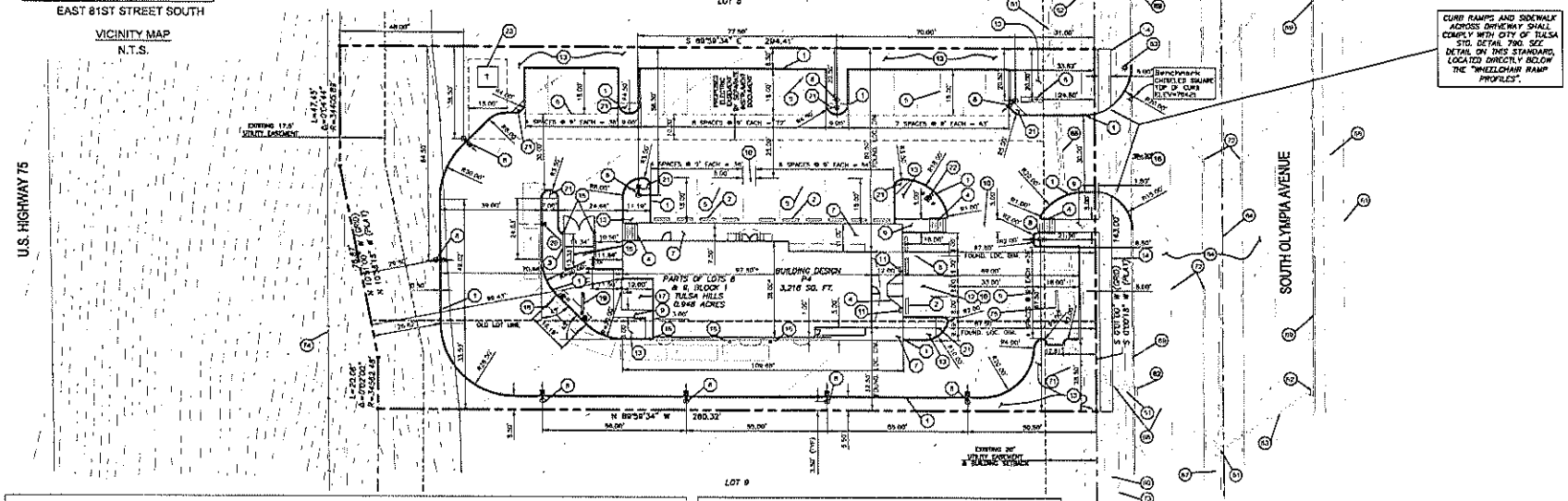
LEGEND

	EXISTING CONTOURS
	EXISTING WATER
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING UNDERGROUND ELECTRIC
	EXISTING GAS
	EXISTING TELEPHONE
	EXISTING CABLE TV
	PROPOSED CURB

* REFER TO ARCHITECTURAL CONSTRUCTION DRAWINGS FOR EXACT DIMENSIONS OF BUILDING FOOTPRINT.

SITE DATA

CURRENT ZONING	= PUD, CORRIDOR DISTRICT	
PROPOSED ZONING	= PUD, CORRIDOR DISTRICT	
PROPOSED USE	= RESTAURANT	
LOT AREA	= 41,292 SF (0.948 AC)	
ONSITE PAVING (PARKING & DRIVES)	= 23,319 SF (0.54 AC)	
ONSITE CONC. WALKWAYS	= 199 SF	
OFFSITE CONC. WALKWAYS	= 558 SF	
BLDG. PERIMETER WALK	= 1,480 SF	
ISLAND PAVING	= 158 SF	
CURB	= 1,356 LF	
DRIVEWAYS	= 1	
	REQUIRED	PROPOSED
MAXIMUM BLDG. FLOOR AREA:	10,323 SF (25%)	3,216 SF (8%)
MAXIMUM BLDG. HEIGHT	30'-0"	22'-0"
BUILDING SETBACKS		
FROM SOUTH OLYMPIA AVENUE ROW	20'	87.50'
FROM U.S. HWY 75	20'	99.43'
FROM INTERNAL LOT LINE (NORTH)	10'	75.80'
FROM INTERNAL LOT LINE (SOUTH)	10'	28.50'
OFF-STREET PARKING (1 SPACE PER 100 SF OF BLDG.)	33	36 (INCL. 2 HC SPACES)
MINIMUM LANDSCAPED OPEN SPACE:	4,129 SF (10%)	13,120 SF (32%)



PROPOSED FEATURES

1. 6" CONCRETE CURB
2. 6" LONG PRECAST CONCRETE CAR BARRIER (WHEEL STOP)
3. DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS)
4. CURB RAMP (MAX SLOPE 12:1)
5. 90° PARKING STALL
6. MONUMENT SIGN (SEE ARCHITECTURAL PLANS)
7. BUILDING PERIMETER SIDEWALK PER SHEET C-1.7
8. AREA LIGHT WITH POLE AND BASE (SEE ARCHITECTURAL PLANS)
9. CONCRETE WALKWAY
10. 4" PAINTED WHITE STRIPING @ 2'O.C. @ 45°
11. HC PARKING SIGNS
12. HC ACCESSIBLE PARKING STALL STRIPING FOR UNLOADING AND ACCESS
13. LANDSCAPED AREA PER SHEET L-1
14. CONCRETE SIDEWALK PER CITY STANDARDS
15. GUARD POSTS (SEE ARCHITECTURAL PLANS)
16. DRIVEWAY PER CITY STANDARDS (WIDTH PER PLAN)
17. FREEZER/COOLER (SEE MEP PLANS)
18. MENU BOARD CANOPY (SEE ARCHITECT PLANS)
19. EXTERIOR MENU BOARD (SEE ARCHITECT PLANS)
20. HEADACHE BAR (SEE ARCHITECT PLANS)
21. CONCRETE ISLAND NOSE
22. FLAG POLE WITH GROUND MOUNTED LIGHTS (SEE ARCHITECT PLANS)
23. PAD MOUNTED TRANSFORMER

24 - 49 NOT USED

EXISTING FEATURES

50. 6" SANITARY SEWER LINE
51. STORM DRAIN MANHOLE
52. PAD MOUNTED TRANSFORMER
53. LIGHT POLE
54. ASPHALT PAVEMENT
55. FIRE HYDRANT
56. WATER VALVE
57. 6" WATER LINE
58. 12" WATER LINE
59. UNDERGROUND ELECTRIC
60. CABLE TV
61. GAS LINE
62. CURB INLET
63. 18" STORM LINE
64. 18" STORM LINE
65. 24" STORM LINE
66. 30" STORM LINE
67. 33" STORM LINE
68. SANITARY SEWER MANHOLE
69. CONCRETE CURB AND GUTTER
70. AT&T PEDESTAL
71. "Y" INLET
72. STRIPING
73. TELEPHONE LINE
74. 6' HIGH FENCE
75. SIGN (TO BE REMOVED)

Preliminary Legal Description

A TRACT OF LAND THAT IS A PART OF LOTS EIGHT (8) AND NINE (9), BLOCK ONE (1), TULSA HILLS, AN ADDITION TO THE CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF. SAID TRACT OF LAND BEING DESCRIBED AS FOLLOWS:

COMMENCING AT A POINT THAT IS THE SOUTHEAST CORNER OF SAID LOT 9; THENCE NORTH 0°00'18" EAST ALONG THE EASTERLY LINE OF SAID LOT 9 FOR 164.71 FEET TO THE POINT OF BEGINNING OF SAID TRACT OF LAND; THENCE SOUTH 89°59'08" WEST FOR 280.30 FEET TO A POINT ON THE WESTERLY LINE OF SAID LOT 9; THENCE NORTH 0°00'25" EAST FOR 6.00 FEET TO A POINT OF CURVE; THENCE ALONG THE WESTERLY LINE OF SAID LOT 9 AND ALONG A CURVE TO THE LEFT WITH A RADIUS OF 245.62 FEET, A CENTRAL ANGLE OF 0°02'00", A CHORD BEARING OF NORTH 0°01'20" EAST, AND A CHORD DISTANCE OF 2.00 FOR AN ARC LENGTH OF 2.00 FEET; THENCE NORTH 89°59'18" WEST ALONG SAID WESTERLY LINE OF LOTS 9 & 8 FOR 74.87 FEET; THENCE NORTH 0°19'06" EAST FOR 0.69 FEET TO A POINT OF CURVE; THENCE ALONG THE WESTERLY LINE OF SAID LOT 8 AND ALONG A CURVE TO THE LEFT WITH A RADIUS OF 245.47 FEET; A CENTRAL ANGLE OF 0°34'43", A CHORD BEARING OF NORTH 0°16'45" EAST, AND A CHORD DISTANCE OF 47.45 FEET FOR AN ARC LENGTH OF 47.45 FEET; THENCE NORTH 89°39'08" EAST FOR 294.41 FEET TO A POINT ON THE EASTERLY LINE OF SAID LOT 8; THENCE SOUTH 0°00'18" WEST ALONG SAID EASTERLY LINE OF LOTS 8 & 9 FOR 143.00 FEET TO THE POINT OF BEGINNING OF SAID TRACT OF LAND.

N
W E
S
GRAPHIC SCALE 1"=20'

NO.	DESCRIPTION	DATE
1	ORIGINAL ISSUE	04/14/10

UNIT12-118
BUILDING TYPE P4
TULSA HILLS
TULSA, OKLAHOMA

SEAL

Kimley-Horn and Associates, Inc.

WHATABURGER
300 CONCORD PLAZA DRIVE
SAN ANTONIO, TEXAS
210-479-4000 ZIP 78216

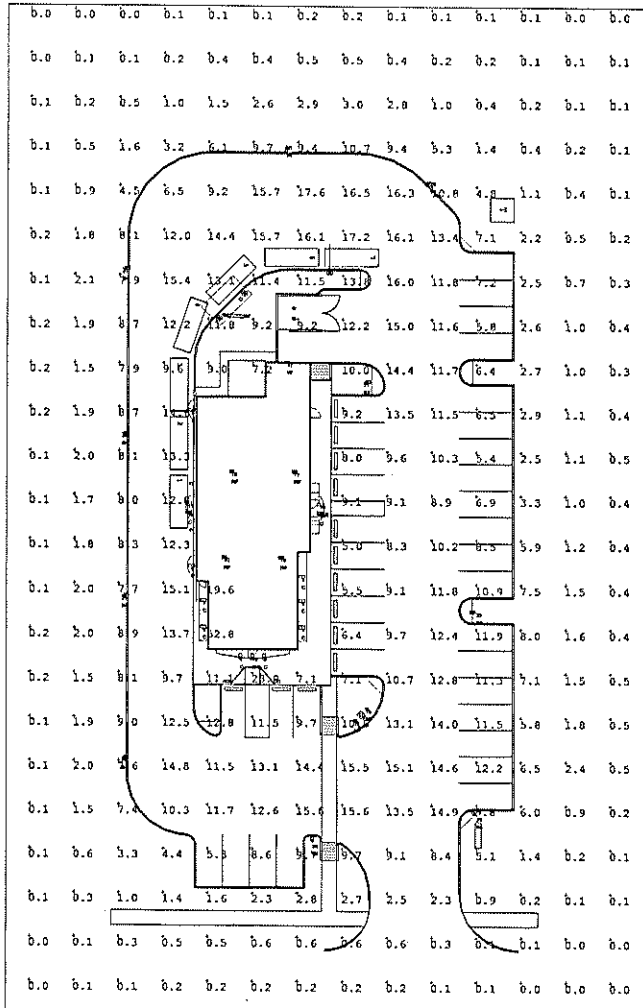
SHEET TITLE:
SITE PLAN

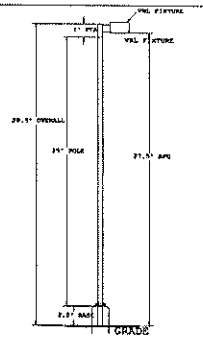
UNIT NO.: 12-118
DATE: 04/14/10
SCALE: 1"=20'
DRAWN BY: KCB
APPROVED BY: LRO

SHEET NO:
C-1.2

WHATABURGER

10.4





POLE DETAIL
(NOT TO SCALE)

Notes:
1. Calculation 3' AFG.
2. 25' poles and 2.5' AFG bases.
3. Flood tilts from nadir.
4. Pole/luminaire setup color is white with blue stripe.

Luminaire Location Summary

Label	Lumens	Z	Tilt
C	1	9	0
C	2	9	0
C	3	9	0
C	4	9	0
C	5	9	0
C	6	9	0
C	7	9	0
C	8	9	0
C	9	9	0
C	10	9	0
C	11	9	0
C	12	9	0
C-B	13	9	0
C-B	14	9	0
FP	15	1	180
FP	16	1	180
RF	17	15	180
RF	18	15	180
RF	19	15	180
RF	20	15	180
B3	21	27.5	0
B3	22	27.5	0
B4	24	27.5	0
B4	25	27.5	0
B4	26	27.5	0
B4	27	27.5	0
B4	28	27.5	0
B4	30	27.5	0
W	31	9	0
B4	29	27.5	0
B4	23	27.5	0

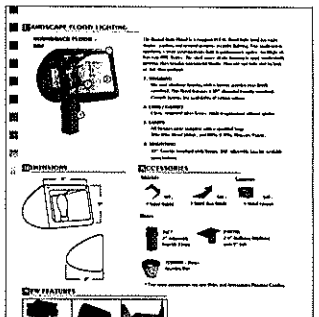
Luminaire Schedule

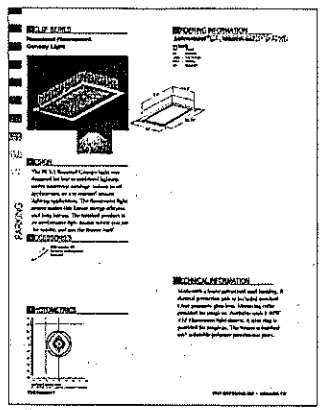
Symbol	Qty	Label	Arrangement	Lumens	LLF	Description
	12	C	SINGLE	3900	0.810	RCL26P1A-DUAL LAMP FLUORESCENT RECESSED CANOPY FIXT
	2	C-B	SINGLE	3900	0.810	RCL26P1A-B-DUAL LAMP FLUOR RECESSED CANOPY W/BATT BACKUP
	2	FP	SINGLE	11700	0.720	RNF7Ae-1-175W MH FLOOD FIXT
	4	RF	SINGLE	40000	0.810	LRF28A-P8-400W PSMH FLOOD FIXT
	2	B3	SINGLE	110000	0.720	VALALT6_2-SMS-1000W MH TYPE 3 VERT BURN W/SSS BACK SHIELD
	6	B4	SINGLE	110000	0.720	VALALT6_2-SMS-1000W MH TYPE 4 VERT BURN W/SSS BACK SHIELD
	1	W	SINGLE	11700	0.720	MWTR3_CO-175W MH CUTOFF WALL PACK

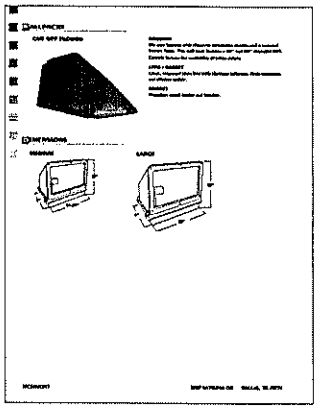
Calculation Summary

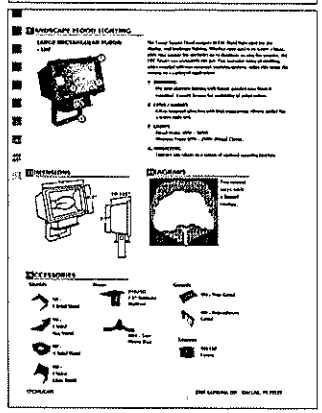
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	FC	4.30	57.9	0.0	N.A.	N.A.

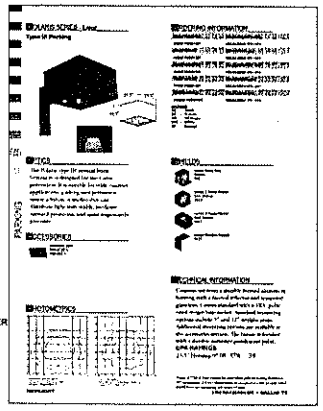
- DUE TO CHANGING LIGHTING ORDINANCES IT IS THE CONTRACTORS RESPONSIBILITY TO SUBMIT THE SITE PHOTOMETRICS AND LUMINAIRE SPECS TO THE LOCAL INSPECTOR BEFORE ORDERING TO ENSURE THIS PLAN COMPLIES WITH LOCAL LIGHTING ORDINACES.
- THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS. CHANGES IN ELECTRICAL SUPPLY, AREA GEOMETRY AND OBJECTS WITHIN THE LIGHTED AREA MAY PRODUCE ILLUMINATION VALUES DIFFERENT FROM THE PREDICTED RESULTS SHOWN ON THIS LAYOUT.
- THIS LAYOUT IS BASED ON .ICS FILES THAT WERE LAB TESTED OR COMPUTER GENERATED. ACTUAL RESULTS MAY VARY.

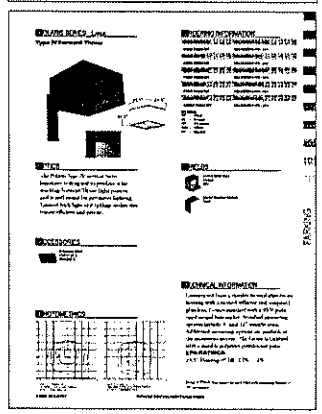












TECHLIGHT
2707 SATSUMA
DALLAS, TX
75229

Project:
WHATABURGER
12-118
TULSA HILLS,
OK

Notes:

FILE: **PH1.0**
wb-12-118-3.agi

Date:
06-01-10

SCALE
0 10 20 30 40

105

Plant List

MA	4	October Glory Maple	Acer rubrum 'October Glory'	65 gal. 3 1/2" cal. 8' Ht. 5' Spread
BC	1	Bald Cypress	Taxodium distichum	65 gal. 3 1/2" cal. 8' Ht. 5' Spread
EO	3	English Oak	Quercus robur	65 gal. 3" cal. 9' Ht. 4' Spread
CR	4	Tuskarora Crapemyrtle	Lagerstroemia indica 'Tuskarora'	30 gal. 8' Ht. multi-trunk 1 1/2" cal min.
CC	2	Chokecherry	Prunus virginiana	30 gal. 8' Ht. multi-trunk 1 1/2" cal. min.
RB	2	Oklahoma Redbud	Cercis reniformis 'Oklahoma'	30 gal. 8' Ht. 1 1/2" cal min.
DL	6	Stella De Oro Daylily	Hemerocallis 'Stella De Oro'	5 gal. 36" oc
CS	3	Red Autumn Sage	Salvia greggii	5 gal. 36" oc
DA	13	Dwarf Abelia	Abelia grandiflora 'Edward Goucher'	5 gal. 36" oc
SW	7	Sweetspire	Itea virginica 'Little Henry's'	5 gal. 36" oc
PO	5	Potentilla	Potentilla fruticosa 'Dakota Goldrush'	5 gal. 36" oc
CO	7	Moonbeam Coreopsis	Coreopsis verticillata 'Moonbeam'	1 gal. 18" oc
SP	2	Spirea	Spirea bumalda 'Anthony Waterer'	5 gal. 36" oc
KR	5	Double Knockout Rose	Rosa 'Double Knockout'	5 gal. 36" oc
HD	19	Harbor Dwarf Nandina	Nandina domestica 'Harbor Dwarf'	1 gal. 18" oc
MS	8	Miscanthus	Miscanthus sinensis 'Adagio'	5 gal. 36" oc
DY	8	Dwarf Youpon	Ilex vomitoria 'nana'	5 gal. 36" oc
BS	6	Blackeyed Susan	Rudbeckia hirta	1 gal. 24" oc
DIH	28	Dwarf Indian Hawthorne	Rhaphiolepis indica 'Clara'	5 gal. 30" oc
LIR	336	Liriope	Liriope muscari 'Big Blue'	4" pots 12" oc
SJ	9	Sea Green Juniper	Juniperus chinensis 'Sea Green'	5 gal. 36" oc
PWC	85	Purple Winter Creeper	Euonymus fortunei 'Coloratus'	1 gal. 12" oc

City of Tulsa, OK

LANDSCAPE CALCULATIONS

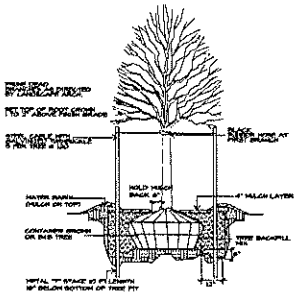
Site Area 41,292 SF

Streetyard Area	Required	Provided
12,509 SF	15% land. space 6,194 sf	29% 12,175 sf

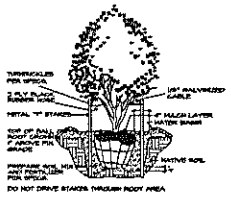
5 Foot Wide Landscape Buffer
1 canopy tree per 30 LF + continuous shrub bed

Streetyard Trees	Required	Provided
1 per 1500 SF	9 trees	9 trees

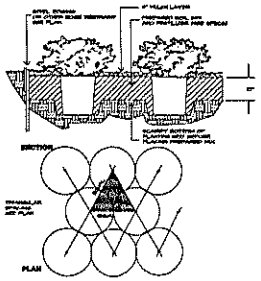
Parking Lot Landscape		Required	Provided
1 tree per 12 parking spaces	37 spaces	3 trees	4 trees



1 CANOPY TREE PLANTING
SCALE: NONE



2 MULTI-TRUNK PLANTING
SCALE: NONE



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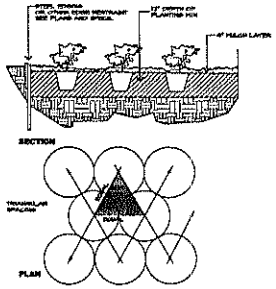


4 GROUNDCOVER PLANTING
SCALE: NONE

site integration studio
John F. Murphy, ASLA

REVISIONS		DESCRIPTION
SYM	DATE	ORIGINAL ISSUE DATE

UNIT 12-118
BUILDING TYPE P4
TULSA HILLS
TULSA, OKLAHOMA

SEAL:

Kimley-Horn and Associates, Inc.

WHATABURGER
305 CONCORD PLAZA DRIVE
SAN ANTONIO, TEXAS
210-476-5000 ZIP 78216

SHEET TITLE:
LANDSCAPE DETAILS

UNIT NO.: 12-118
DATE: 04/10/19
SCALE: as shown
DRAWN BY: JFM, JSF
APPROVED BY: JFM

SHEET NO:
L-2

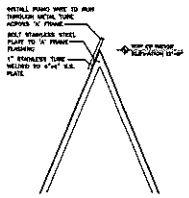
WHATABURGER

10.9

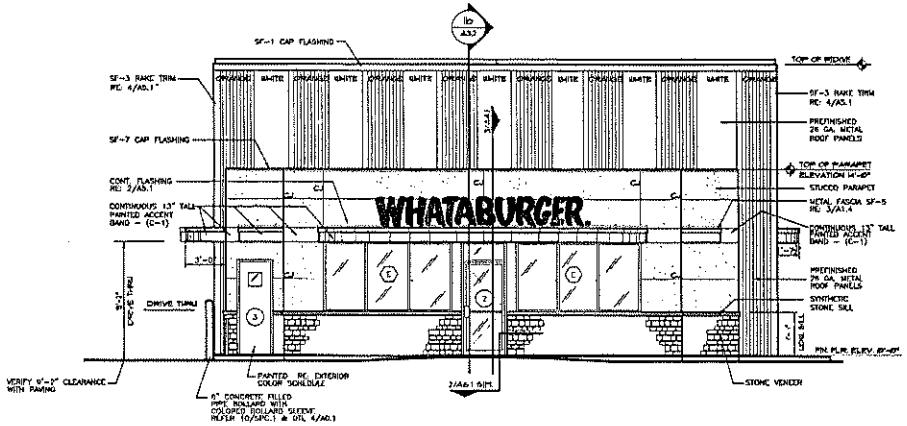
Exterior Color Schedule

SF-1 CAP FLASHING	C-1
SF-3 RAKE TRIM	C-1
SF-4 DOWNSPOUT, CONDUCTOR HEADS	C-6
SF-5 METAL FASCIA	C-1
SF-7 PARAPET CAP	C-1
STUCCO (WALLS & SOFFIT)	C-4
SYN. STONE VENEER & SILL	C-5
MORTAR (STONE VENEER)	C-5 (STD.)
PTD. ACCENT BAND	C-1
PIPE BOLLARDS (DRIVE-THRU)	C-1
PIPE BOLLARDS (DUMPSTER)	C-6
HAND RAIL (EXPEDITE DOOR)	C-6
EXP. DOOR/FRAME (EXT.)	C-6
EXP. DOOR/FRAME (INT.)	C-7
BACK DOOR/FRAME (EXT.)	C-6
BACK DOOR/FRAME (INT.)	C-7
DUMPSTER ENCLOSURE (EXT.)	C-4
DUMPSTER ENCLOSURE (INT.)	BLACK
DUMPSTER GATES (ALL SURFACES)	C-6
DRIVE-THRU SPEAKER PEDESTAL	C-2
HEADACHE BAR AND ACCESSORIES	C-2
PVC PIPE @ HEADACHE BAR	C-1
CLEARANCE LETTERING	C-1
DRIVE-THRU CANOPY ASSEMBLY	C-2
DRIVE-THRU CANOPY DOWNSPOUT	C-1
DRIVE-THRU CANOPY TRIM	C-1

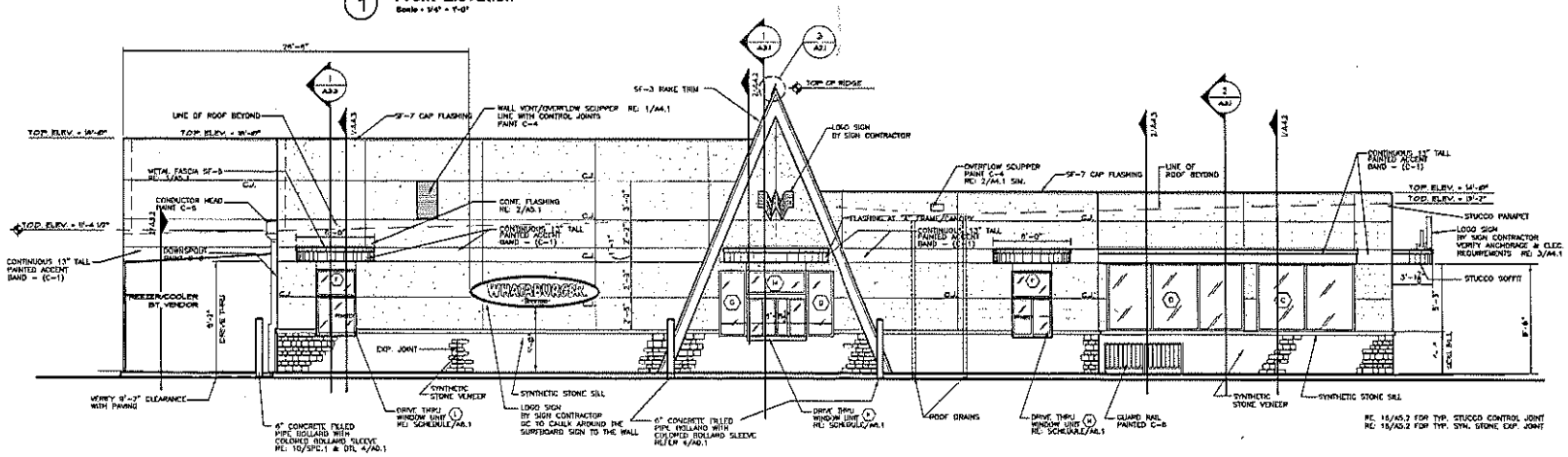
C-1 ORANGE
C-2 WHITE
C-3 NOT USED
C-4 STO #10009 "FRENCH VANILLA"
C-5 LONESTAR - "MARBLE FALLS" - "CHALK"
C-6 I03 - A490 "ENGLISH COTTAGE"
C-7 MONARCH #8760M STONEWALL H35



3 Bird Wire Side Detail
Scale : N.T.S.



1 Front Elevation
Scale : 1/4" = 1'-0"



2 Drive Thru Elevation
Scale : 1/4" = 1'-0"

GHA
Architecture / Development
Parkway Plaza I
14175 Dallas Parkway
Suite 800
Dallas Texas 75254
Ph (972) 702-0000
Fax (972) 702-0064

STATE OF OKLAHOMA No. 8471201 REGISTERED ARCHITECT
APR 13 2010

WB REAL ESTATE #12-715
TULSA HILLS
HIGHWAY 75 & W. 71ST ST.
TULSA, OK

BUILDING TYPE F4

WHATABURGER

DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS-NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION

WHATABURGER
300 CONCORD PLAZA DRIVE
SAN ANTONIO, TX 78216
210-476-5000

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NO | REVISION

PROJECT NUMBER
100102

SHEET NUMBER
A2.1
EXTERIOR ELEVATIONS

ORIGINAL ISSUE DATE - 04.14.10

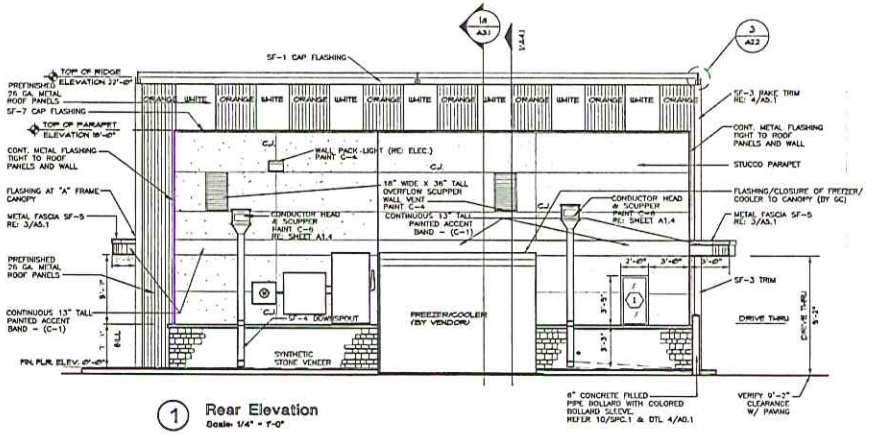
PRINTED BY: [illegible]
PRINTED DATE: [illegible]
UPDATE: [illegible]
AT: [illegible]

L.01

Exterior Color Schedule

SF-1 CAP FLASHING	C-1
SF-3 RAKE TRIM	C-1
SF-4 DOWNSPOUT, CONDUCTOR HEADS	C-6
SF-5 METAL FASCIA	C-1
SF-7 PARAPET CAP	C-1
STUCCO (WALLS & SOFFIT)	C-4
SYN. STONE VENEER & SILL	C-5
MORTAR (STONE VENEER)	C-5 (STD.)
PTD. ACCENT BAND	C-1
PIPE BOLLARDS (DRIVE-THRU)	C-1
PIPE BOLLARDS (DUMPSTER)	C-6
HAND RAIL (EXPEDITE DOOR)	C-6
EXP. DOOR/FRAME (EXT.)	C-6
EXP. DOOR/FRAME (INT.)	C-7
BACK DOOR/FRAME (EXT.)	C-6
BACK DOOR/FRAME (INT.)	C-7
DUMPSTER ENCLOSURE (EXT.)	C-4
DUMPSTER ENCLOSURE (INT.)	BLACK
DUMPSTER GATES (ALL SURFACES)	C-6
DRIVE-THRU SPEAKER PEDESTAL	C-2
HEADACHE BAR AND ACCESSORIES	C-2
PVC PIPE @ HEADACHE BAR	C-1
CLEARANCE LETTERING	C-1
DRIVE-THRU CANOPY ASSEMBLY	C-2
DRIVE-THRU CANOPY DOWNSPOUT	C-1
DRIVE-THRU CANOPY TRIM	C-1

C-1 ORANGE
C-2 WHITE
C-3 NOT USED
C-4 STO #10609 "FRENCH VANILLA"
C-5 LONESTAR - "MARBLE FALLS" - "CHALK"
C-6 ICI - #469 "ENGLISH COTTAGE"
C-7 MONARCH #8783M STONEWALL H35



1 Rear Elevation
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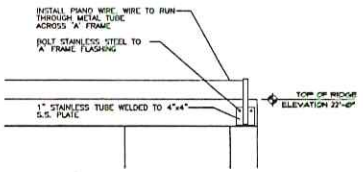
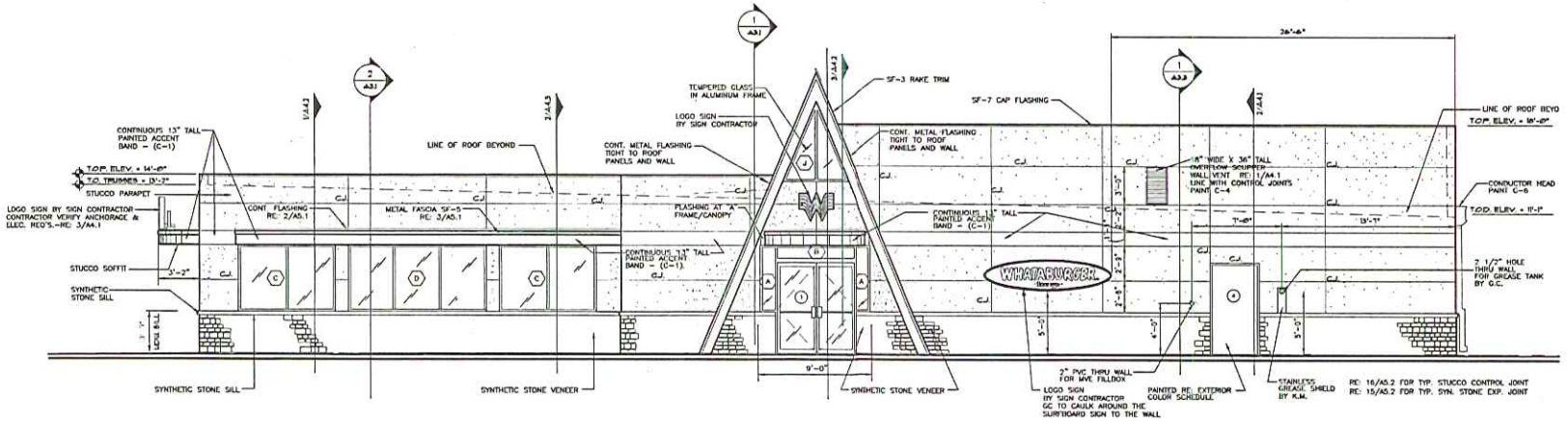


3 Bird Wire Front Detail
Scale: 1" = 1'-0"



2 Entrance Elevation
Scale: 1/4" = 1'-0"

GHA
Architecture / Development
Parkway Plaza I
14110 Dallas Parkway
Suite 300
Dallas Texas 75254
Ph (972) 980-6084
Fax (972) 980-6084

STATE OF OKLAHOMA
STEVEN MERRIFIELD
NO. 21170
REGISTERED ARCHITECT
APR 13 2010

WS REAL ESTATE #2-219
TULSA MALL
HIGHWAY 75 & W. 71ST ST.
TULSA, OK

BUILDING TYPE F4

WHATABURGER.

DO NOT SCALE DRAWINGS
CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS-NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION

WHATABURGER.
300 CONCORD PLAZA DRIVE
SAN ANTONIO, TX 78216
210-476-6000

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NO.	REVISION

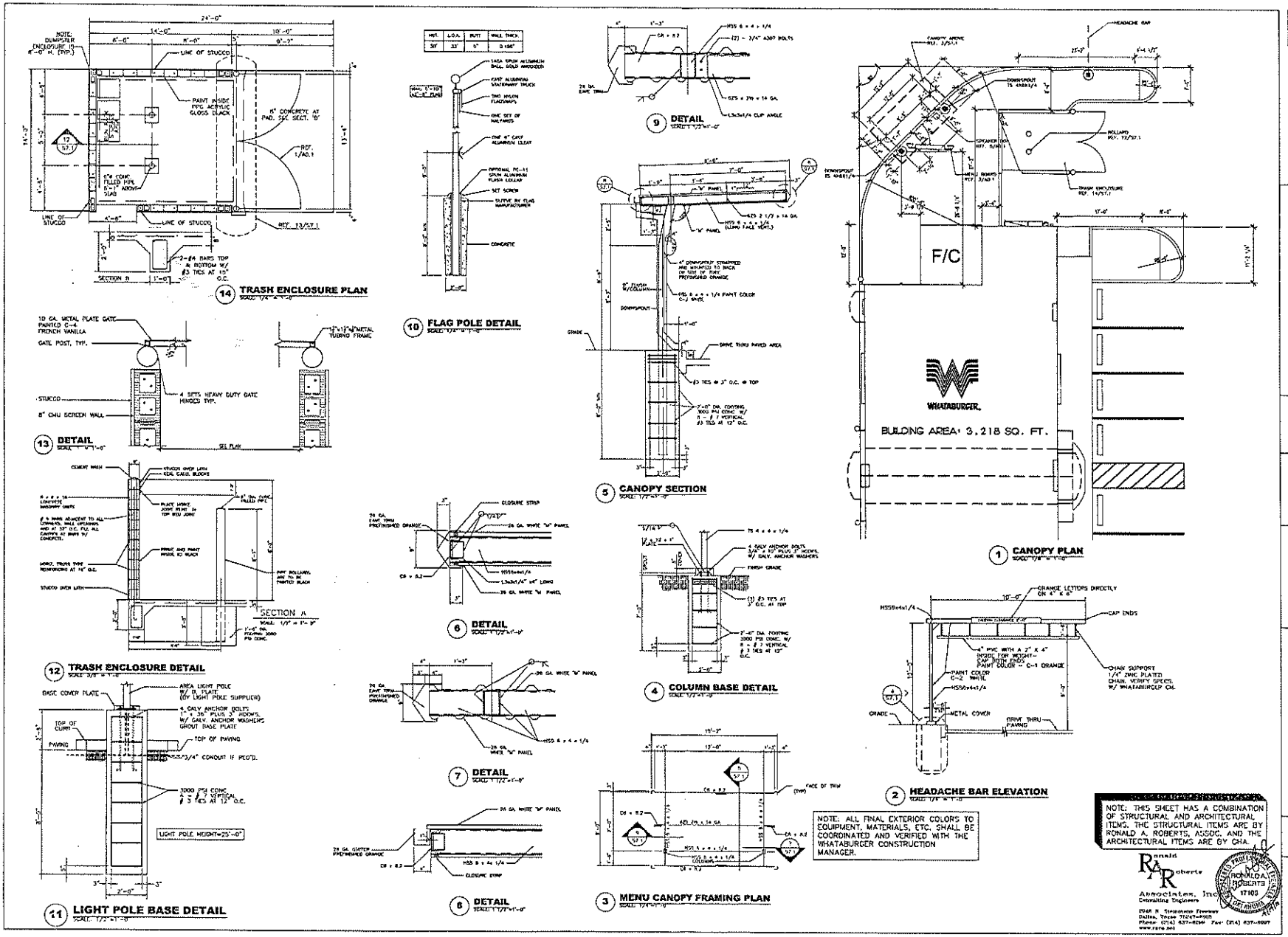
PROJECT NUMBER
100102

SHEET NUMBER
A2.2
EXTERIOR ELEVATIONS

ORIGINAL ISSUE DATE - 04.14.10

PLOTTED BY: GHA
DRAWING NAME: 22-A2.2.DWG
LAYOUT: A2.2
PLOTTED: 4/13/2010 - 1:15pm

8.10



GHA
Architecture / Development
Parkway Plaza I
5410 Dallas Parkway
Suite 100
Dallas Texas 75254
Ph: (972) 239-6464
Fax (972) 239-6044

WB REAL ESTATE #12-118
TULSA HILLS
HIGHWAY 75 & W. 71ST ST.
TULSA, OK

BUILDING TYPE P4

WHATABURGER

DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS—NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION

WHATABURGER
300 CONCORD PLAZA DRIVE
SAN ANTONIO, TX 78216
210-476-6000

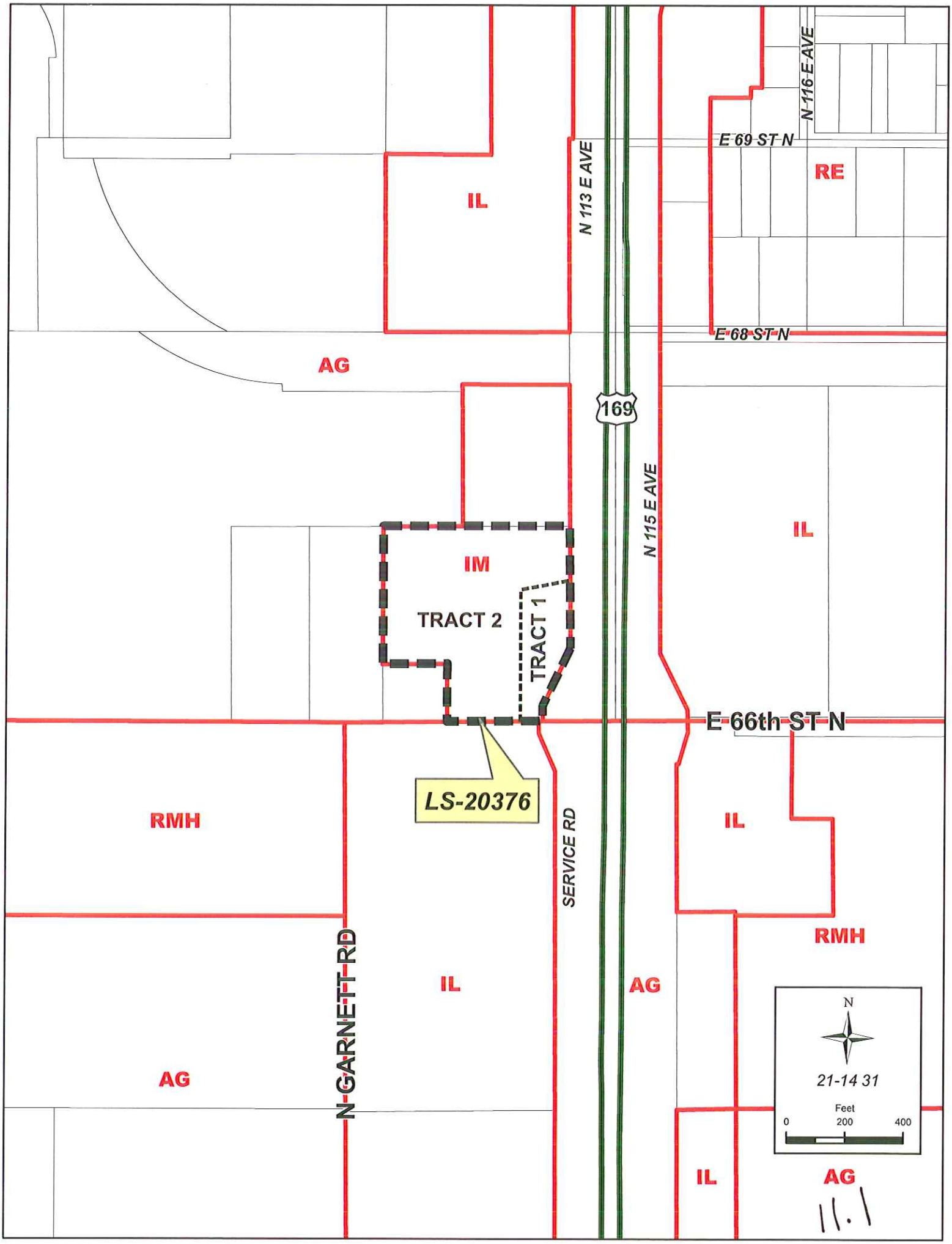
NO. REVISION

PROJECT NUMBER
100102

SHEET NUMBER
S7.1
SITE DETAILS
ORIGINAL ISSUE DATE - 04.14.15

Ronald A. Roberts Associates, Inc.
Consulting Engineers
8140 N. Stemmons Freeway
Dallas, Texas 75247-4410
Phone (214) 637-8240 Fax (214) 637-8097
www.rara.net

10.9


N 116 E AVE
E 69 ST N
RE
IL
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AG
169
N 115 E AVE
IL
IM
TRACT 2
TRACT 1
E 66th ST N
LS-20376
RMH
SERVICE RD
IL
RMH
N GARNETT RD
IL
AG
AG
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21-14 31
Feet
0
200
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AG
11.1

N 116 E AVE
E 69 ST N
N 113 E AVE
E 68 ST N
169
N 115 E AVE
TRACT 2
TRACT 1
E 66th ST N
LS-20376
SERVICE RD
N GARNETT RD
N
21-14 31
Feet
0
200
400
Note: Graphic overlays may
precisely align with physical
features on the ground.
ial Photo Date: March 2008

11.2

LOT-SPLIT FOR WAIVER OF MAJOR STREET AND HIGHWAY PLAN

June 16, 2010

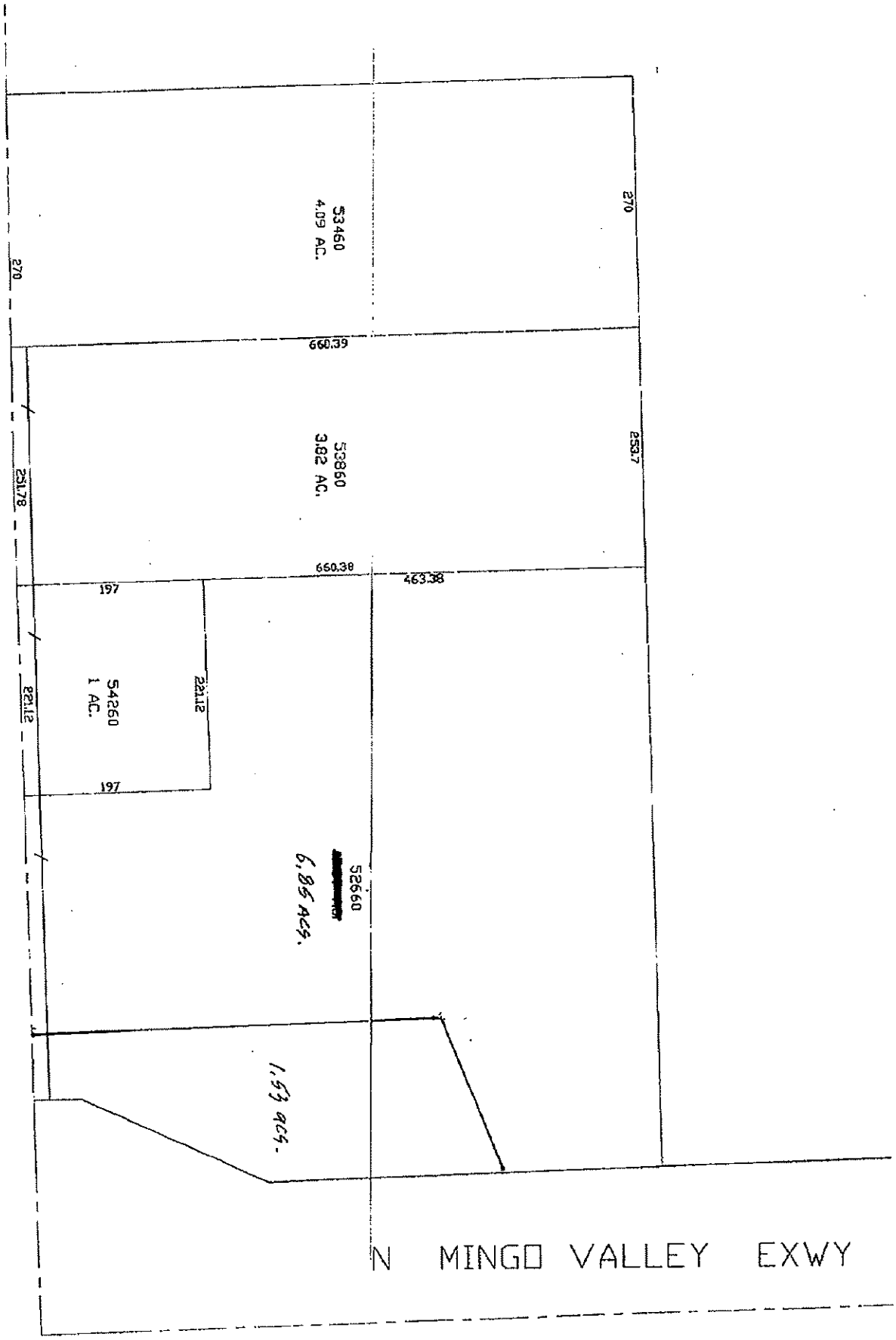
LS-20376 Randall Miser (1431) (IM) (County)
Northwest corner of East 66th Street North and North 113th Avenue

The lot-split proposal is to split 1.53 acres +/- from an existing 8.38 acre +/- tract creating a 6.85 acre +/- remainder tract. The proposed tracts meet the IM (Industrial Medium) bulk and area requirements of the Tulsa County Zoning Code.

According to the Major Street and Highway Plan, East 66th Street North is deemed a secondary arterial requiring 50 feet of right-of-way from the center line. The applicant is asking to waive the requirement of 50 feet to 30 feet of right-of-way instead. The County Engineer agrees with the waiver as well as INCOG's Transportation Manager. There is a recommendation for County to review this portion of East 66th Street North and its designation on the Major Street and Highway Plan.

Staff believes this lot-split would not have an adverse affect on the surrounding properties and recommends **APPROVAL** of the waiver of the *Major Street and Highway Plan* and of the lot-split.

11.3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270
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197
221.12
54260
1 AC.
221.12
197
52660
[redacted]
6.85 ACS.
1.53 ACS.
N MINGO VALLEY EXWY

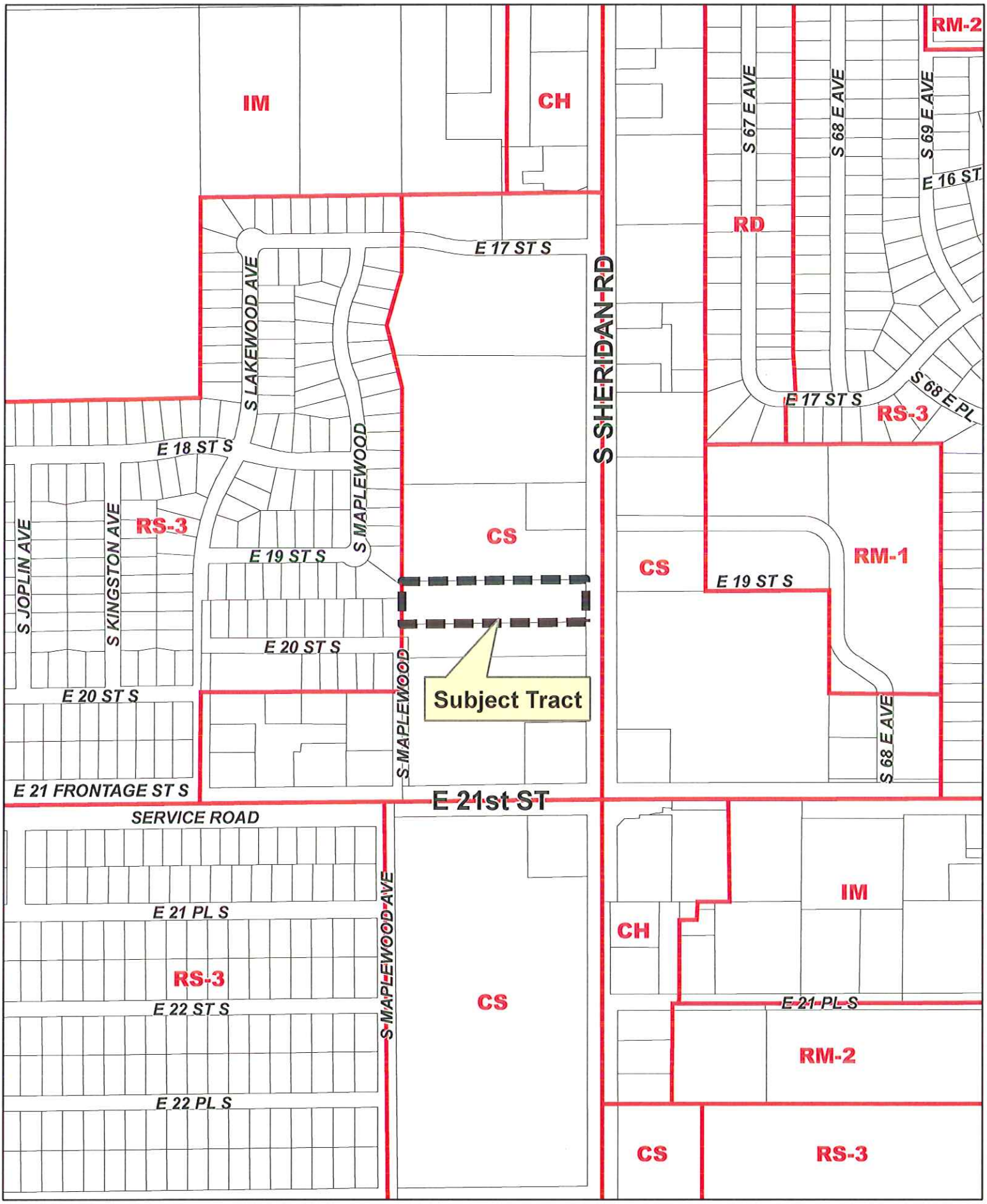
11.4

Bates, Brad

From: Armer, Tim
Sent: Friday, May 21, 2010 4:03 PM
To: Fernandez, Diane; Bates, Brad
Subject: Major Street and Highway Plan and 66th Street North

Diane and Brad –
In reviewing the Major Street and Highway Plan, the regional transportation plan – *Destination 2030,* and aerial photos of the area it is my conclusion that it is unreasonable to expect 66th Street North west of US-169 to develop as a Secondary Arterial per the MSHP and recommend that it be reclassified as a Collector.
The MSHP classification was designated in 1967. Between 2002 and 2004 the ODOT removed the access to US-169 at 66th Street North. The regional transportation plan – *Destination 2030* adopted in 2005 does not include any roadway between Mingo Road and US-169 at the 66th Street North alignment, therefore according to our travel demand forecast there is not enough projected traffic by 2030 to warrant even a 2-lane road.
As it relates to the case in question I would support whatever action is necessary to address right-of-way requirements for this segment of 66th Street North according to a Collector classification and would encourage Tulsa County to initiate a request to amend the MSHP to reclassify this segment of 66th Street North as a Collector.
Let me know if you have any questions.
Thanks,
Tim

11.5



Feet
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BOA-21094

19-13 10

12.1

N

Feet
0 200 400

BOA-21094

Aerial Photo Date: March 2008

19-13 10

Note: Graphic overlays may not precisely align with physical features on the ground.

12.2

N

PLAT WAIVER

March 17, 2010

BOA – 21094 – 1916 South Sheridan Road (9310) (PD 5) (CD 4)

The platting requirement is being triggered by Board of Adjustment case 21087 to allow a crematory in an existing funeral home in a CS zone.

Staff provides the following information from TAC at their June 3, 2010 meeting:

ZONING:

- TMAPC Staff: The property has been previously platted.

STREETS:

- Mutual access easement determined for access per applicant.

SEWER:

- No comment.

WATER:

- No comment.

STORM DRAIN:

- No comment.

FIRE:

- The fire department has no objection to the plat waiver. However the new construction is required to meet the hydrant spacing of the International Fire Code Section 508.5.1. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Exceptions: 1. For group R-3 and Group U occupancies, the distance requirement shall be 600 feet. 2 For buildings equipped throughout with an approved automatic sprinkler system the distance requirement shall be 600 feet.

UTILITIES:

- No comment.

Staff recommends APPROVAL of the plat waiver on the previously platted property.

A YES answer to the following 3 questions would generally be FAVORABLE to a plat waiver:

		Yes	*NO*
1.	Has Property previously been platted?	X	
2.	Are there restrictive covenants contained in a previously filed plat?	X	
3.	Is property adequately described by surrounding platted properties or street right-of-way?	X	

A YES answer to the remaining questions would generally NOT be favorable to a plat waiver:

		YES	NO
4.	Is right-of-way dedication required to comply with Major Street and Highway Plan?		X
5.	Would restrictive covenants be required to be filed by separate instrument if the plat were waived?		X
6.	Infrastructure requirements:		
	a) Water		
	i. Is a main line water extension required?		X
	ii. Is an internal system or fire line required?		X
	iii. Are additional easements required?		X
	b) Sanitary Sewer		
	i. Is a main line extension required?		X
	ii. Is an internal system required?		X
	iii Are additional easements required?		X
	c) Storm Sewer		
	i. Is a P.F.P.I. required?		X
	ii. Is an Overland Drainage Easement required?		X
	iii. Is on site detention required?		X
	iv. Are additional easements required?		X
7.	Floodplain		
	a) Does the property contain a City of Tulsa (Regulatory) Floodplain?		X
	b) Does the property contain a F.E.M.A. (Federal) Floodplain?		X
8.	Change of Access		
	a) Are revisions to existing access locations necessary?		X
9.	Is the property in a P.U.D.?		X
	a) If yes, was plat recorded for the original P.U.D.		
10.	Is this a Major Amendment to a P.U.D.?		X
	a) If yes, does the amendment make changes to the proposed physical development of the P.U.D.?		
11.	Are mutual access easements needed to assure adequate access to the site?		X
12.	Are there existing or planned medians near the site which would necessitate additional right-of-way dedication or other special considerations?		X

12.4

FINAL PLAT

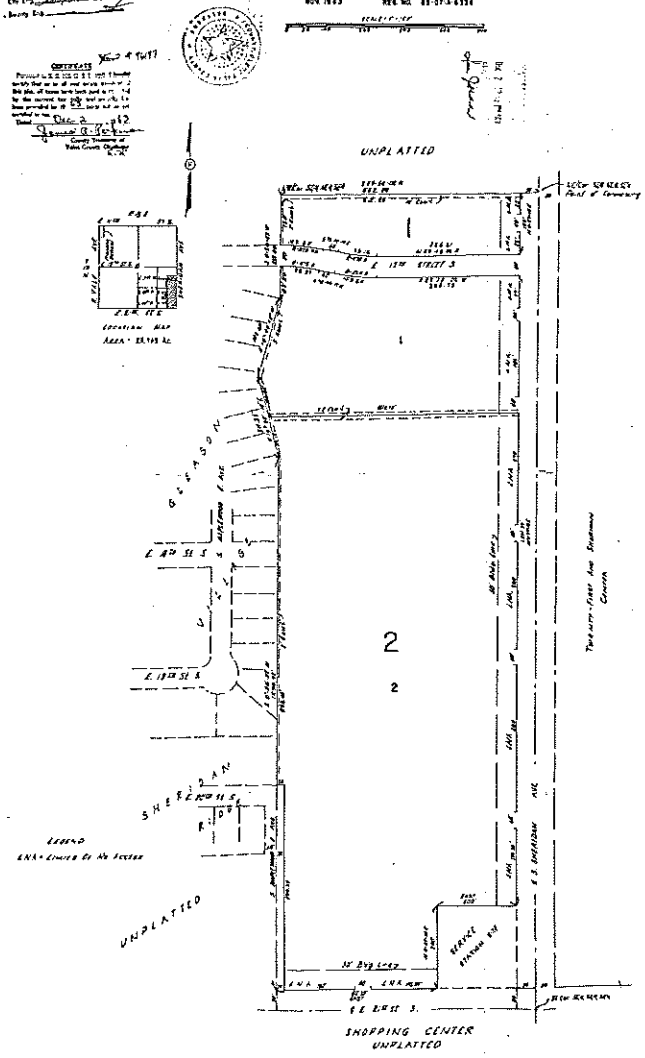
LYNN ADDITION

Plat # 2497

178719

DAVIS BROS. — DEVELOPERS

MANSUR STEELE & ASSOCIATES
CONSULTING ENGINEERS
1640 S BOSTON TULSA, OKLAHOMA
REG. NO. 88-0714-6336



PLAT NO. 2497

PAGE 1 of 1

12.5

12.6

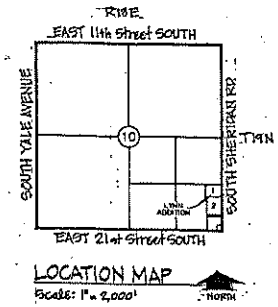
ADDITION TO

REYNOLDS FUNERAL SERVICE

1916 SO. SHERIDAN
TULSA, OK 74112

OWNER: NICK REYNOLDS
918.938.1332
MANAGER: MATT REYNOLDS
918.838.1332

ARCHITECT ED EVERETT
5821 SO. BIRMINGHAM AVENUE
TULSA, OK 74105



LOCATION MAP
Scale: 1" = 2,000'

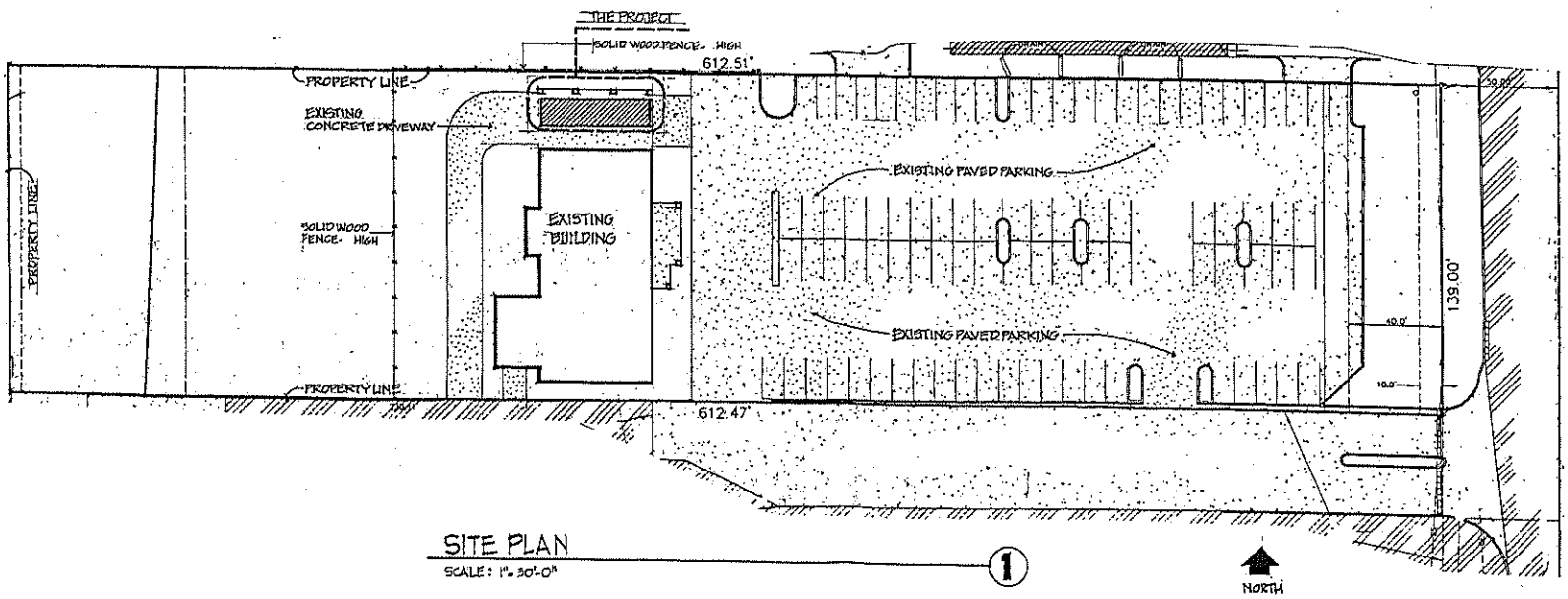
Structural Engineering Analysis of Existing Floor Slab and Specifications of New Wall Framing

THE INSPECTION AND ANALYSIS OF EXISTING AND NEW STRUCTURE IS FULLY DESCRIBED ON PAGE ONE OF THE ATTACHED MANUAL WHICH IS A PART OF THESE CONSTRUCTION DOCUMENTS

Legal Description

A TRACT OF LAND LOCATED IN PART OF LOT TWO (2), BLOCK TWO (2), LYNN ADDITION, AN ADDITION TO THE CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF, MORE PARTICULARLY DESCRIBED AS FOLLOWS. TO-WIT:

COMMENCING AT THE NORTHEAST CORNER OF LOT 2, BLOCK 2, LYNN ADDITION, THENCE SOUTH 00 027 15 WEST ALONG THE EAST LINE OF SAID LOT 2 A DISTANCE OF 735.78 FEET TO THE POINT OF BEGINNING, THENCE NORTH 89 34 58 WEST A DISTANCE OF 612.51 FEET TO A POINT ON THE WEST LINE OF SAID LOT 2; THENCE SOUTH 00 26 22 WEST ALONG SAID WEST LINE A DISTANCE OF 139 00 FEET, THENCE SOUTH 89 34 58 EAST A DISTANCE OF 612.47 FEET TO A POINT ON THE EAST LINE OF SAID LOT 2; THENCE NORTH 00 27 15 EAST ALONG SAID EAST LINE A DISTANCE OF 130 00 FEET TO THE POINT OF BEGINNING.

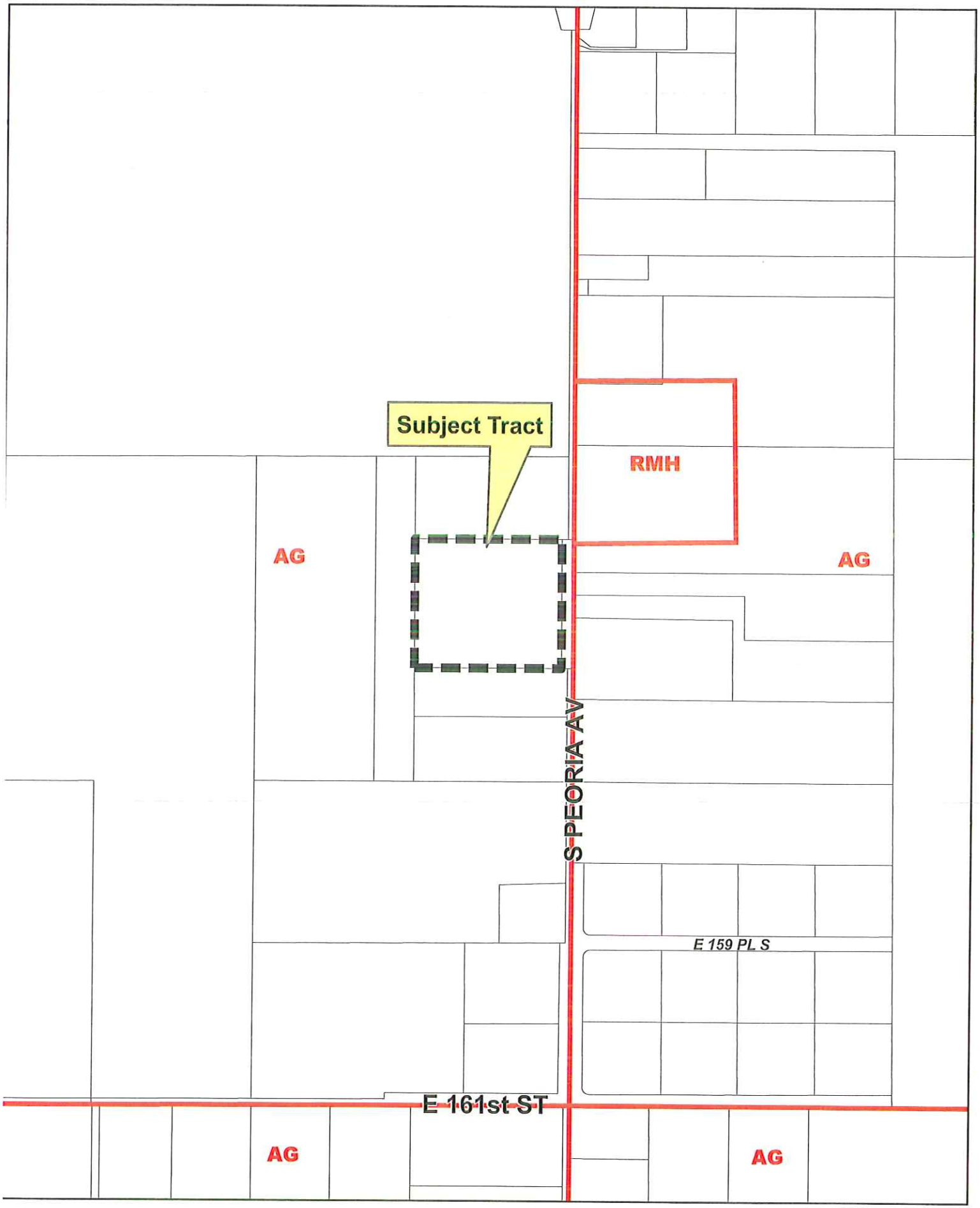


SITE PLAN
SCALE: 1" = 30'-0"
1

ADDITION TO
REYNOLDS FUNERAL SERVICE
1916 SO. SHERIDAN
TULSA, OK 74112

ARCHITECT ED EVERETT
5821 SO. BIRMINGHAM AVENUE
TULSA, OK 74105

SHEET NO.
A1
OF



Feet
0 250 500

CBOA-2369

17-12 24

13.1

N

Feet
0 250 500

CBOA-2369

Aerial Photo Date: March 2008

17-12 24

13.2

Note: Graphic overlays may not precisely align with physical features on the ground.

N

PLAT WAIVER

June 16, 2010 (continued from 5/19/10)

CBOA 2369 - (7224) (County)
15710 South Peoria Avenue

The platting requirement is being triggered by a County Board of Adjustment case requesting an additional cemetery use for an existing church use (Holy Apostles church).

Staff provides the following information from TAC at their May 6, 2010 meeting:

ZONING:

- TMAPC Staff: This case involves an addition of a cemetery to a platted church use.

STREETS:

- Sidewalks required per subdivision regulations. Access is limited to 36 feet in width each.

SEWER:

- Out of Tulsa service area. No comment.

WATER:

- Site located in the service area of Creek RWD # 2.

STORM DRAIN:

- No comment.

FIRE:

- Applicant shall get with responding fire department for comments pertaining to this plat waiver.

.

UTILITIES:

- No comment.

County Engineer:

- No concerns.

Staff can recommend **APPROVAL** of the plat waiver conditioned upon Board of Adjustment approval of the requested use. The Board will review the case the day before this planning commission agenda date.

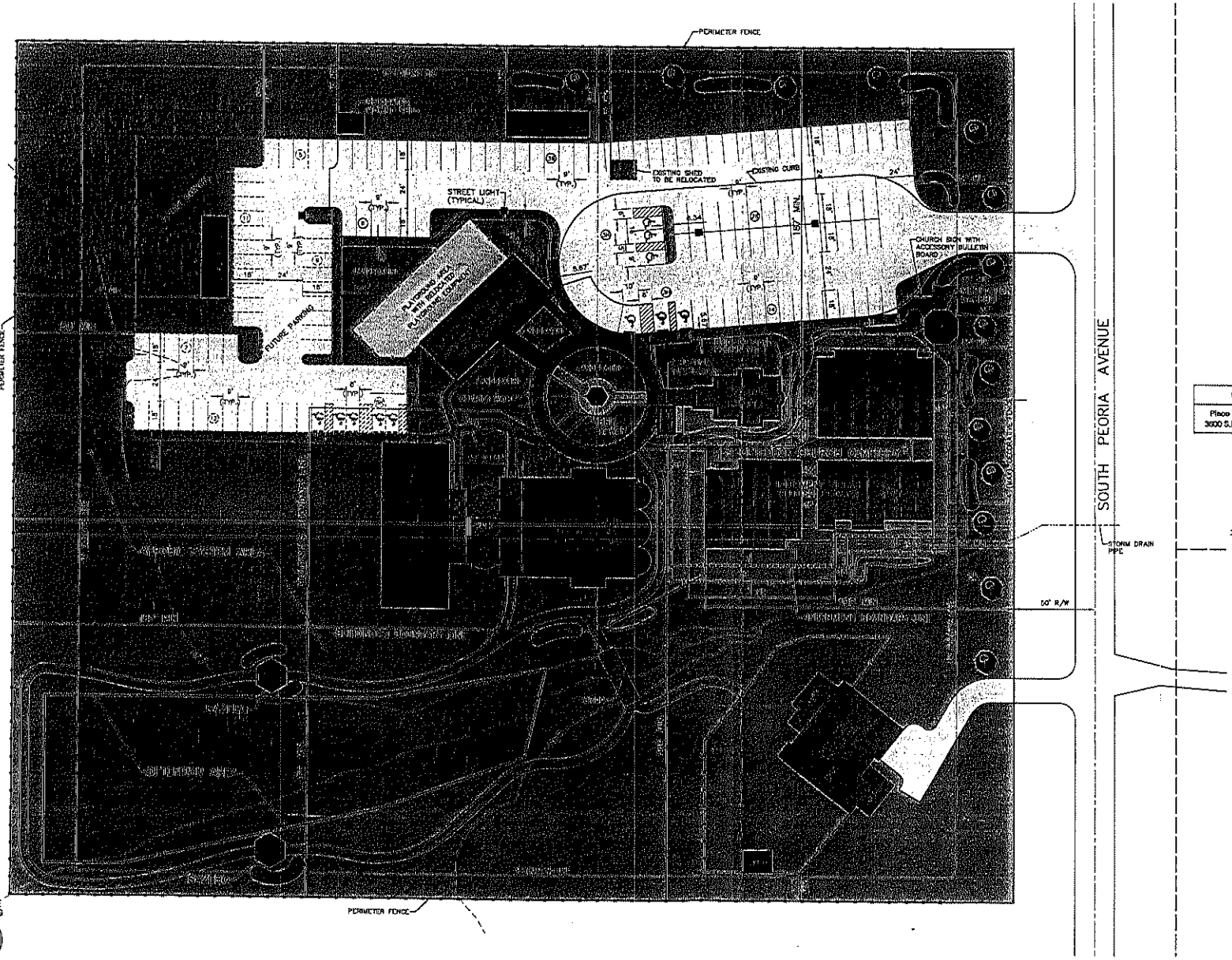
A YES answer to the following 3 questions would generally be FAVORABLE to a plat waiver:

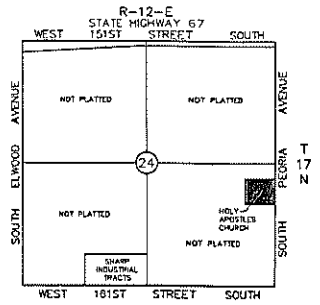
		Yes	*NO*
1.	Has Property previously been platted?	X	
2.	Are there restrictive covenants contained in a previously filed plat?	X	
3.	Is property adequately described by surrounding platted properties or street right-of-way?	X	

A YES answer to the remaining questions would generally NOT be favorable to a plat waiver:

		YES	NO
4.	Is right-of-way dedication required to comply with Major Street and Highway Plan?		X
5.	Would restrictive covenants be required to be filed by separate instrument if the plat were waived?		X
6.	Infrastructure requirements:		
	a) Water		
	i. Is a main line water extension required?		X
	ii. Is an internal system or fire line required?		X
	iii. Are additional easements required?		X
	b) Sanitary Sewer		
	i. Is a main line extension required?		X
	ii. Is an internal system required?		X
	iii Are additional easements required?		X
	c) Storm Sewer		
	i. Is a P.F.P.I. required?		X
	ii. Is an Overland Drainage Easement required?		X
	iii. Is on site detention required?		X
	iv. Are additional easements required?		X
7.	Floodplain		
	a) Does the property contain a City of Tulsa (Regulatory) Floodplain?		X
	b) Does the property contain a F.E.M.A. (Federal) Floodplain?		X
8.	Change of Access		
	a) Are revisions to existing access locations necessary?		X
9.	Is the property in a P.U.D.?		X
	a) If yes, was plat recorded for the original P.U.D.		
10.	Is this a Major Amendment to a P.U.D.?		X
	a) If yes, does the amendment make changes to the proposed physical development of the P.U.D.?		
11.	Are mutual access easements needed to assure adequate access to the site?		X
12.	Are there existing or planned medians near the site which would necessitate additional right-of-way dedication or other special considerations?		X

13.4





Location Map

Parking Requirements

Use	Ratio (SEC. 1205.4)	Required Parking	Proposed Parking
Place of Worship 3600 S.F. Sanctuary	1 to 40 S.F.	90 Spaces	93 Spaces

Legend

LANDSCAPE PLANTING (TYP.)

*NOTE:
PRIOR TO ANY USE OF THE CEMETERY, TEN (10) TREES WILL BE INSTALLED WITHIN THE NON-RESIDENTIAL STREET YARD ALONG SOUTH PEORIA AVENUE.

EXHIBIT
FOR
COUNTY BOARD OF ADJUSTMENT
MASTER DEVELOPMENT PLAN
FOR
LOT 1 IN BLOCK 1
OF
'HOLY APOSTLES CHURCH'
SECTION 24, T-17-N, R-12-E
TULSA COUNTY, OKLAHOMA

0 60 120
SCALE IN FEET

SACK AND ASSOCIATES, INC.

BEFORE YOU DIG
CALL OKIE
(918) 622-6543

13.5

Tulsa County Clerk - CARLENE WILSON
Doc # 2006015398 Pages 1
Receipt # 844570 03/09/06 08:39:17
Fee 18.00

5954

FINAL PLAT

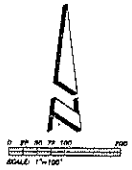
HOLY APOSTLES CHURCH

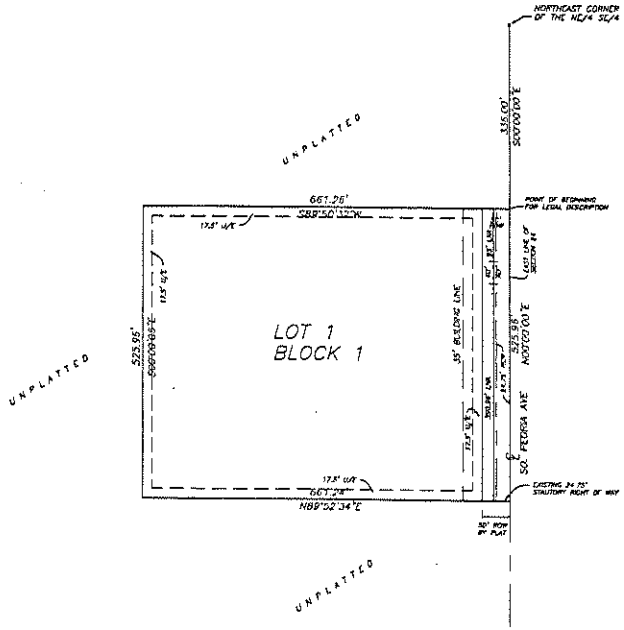
AN ADDITION IN TULSA COUNTY, OKLAHOMA
A SUBDIVISION IN THE NE 1/4 OF THE SE 1/4,
OF SECTION 24, T-17-N, R-12-E OF THE I.B.&M.

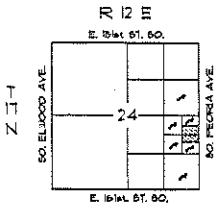
ENGINEER/SURVEYOR:
HOWARD CONSULTING
[illegible] W. 12th ST. SO.
OKTAHA, OKLAHOMA 74450
918-688-0564
C.A. NO.: 3545
EXP. DATE: 6/30/07

OWNER:
HOLY APOSTLES ORTHODOX CHRISTIAN
CHURCH OF TULSA, OKLAHOMA, INC.
P.O. BOX 4484
TULSA, OK. 74159-0484
918-829-7633
CONTACT: JOHN BAMEO

FINAL PLAT
CERTIFICATE OF APPROVAL
I hereby certify that this plat was approved by the Tulsa Metropolitan Area Planning Commission on DEC 2 7 2005
AL-PC/AICOG
This approval is void if this plat is not filed in the Office of the County Clerk on or before DEC 2 7 2006
Airport Director/Area Engineer







LOCATION MAP

SUBDIVISION CONTAINS
1 LOT
1.58 ACRES
October 12, 2005
C:\HOLYAPCIDWG

STATE OF OKLAHOMA }
COUNTY OF TULSA } SS

I, Carlene Wilson, Tulsa County Clerk, in and for the County and State of Oklahoma above named, do hereby certify that the foregoing is a true and correct copy of a like instrument now on file in my office.

Dated the _____ day of _____
Carlene Wilson, Tulsa County Clerk

_____
Deputy

LEGEND

B.L.	BUILDING LINE
C.L.	CENTER LINE
U/E	UTILITY EASEMENT
A.O.	ACCESS OPENING
L.N.A.	LIMITS OF NO ACCESS
R.O.W.	DEDICATED ROAD RIGHT-OF-WAY

ADDRESS: 15710 SO. PEORIA AVE.
BIXBY, OK. 74008

THIS PLAT MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS.

THE BASIS OF BEARINGS FOR THE SURVEY SHOWN THEREON IS THE EAST LINE OF SAID SECTION 24, ASSUMED N00°00'00"E.

CERTIFICATE

I hereby certify that all real estate taxes involved in this plat have been paid as reflected by the current tax rolls. Security as required has been provided in the amount of $_____ per trust receipt no. _____ to be applied to 20__/__ taxes. This certificate is NOT to be construed as payment of 20__/__ taxes in full but is given in order that this plat may be filed on record. 20__/__ taxes must exceed the amount of the security deposit.

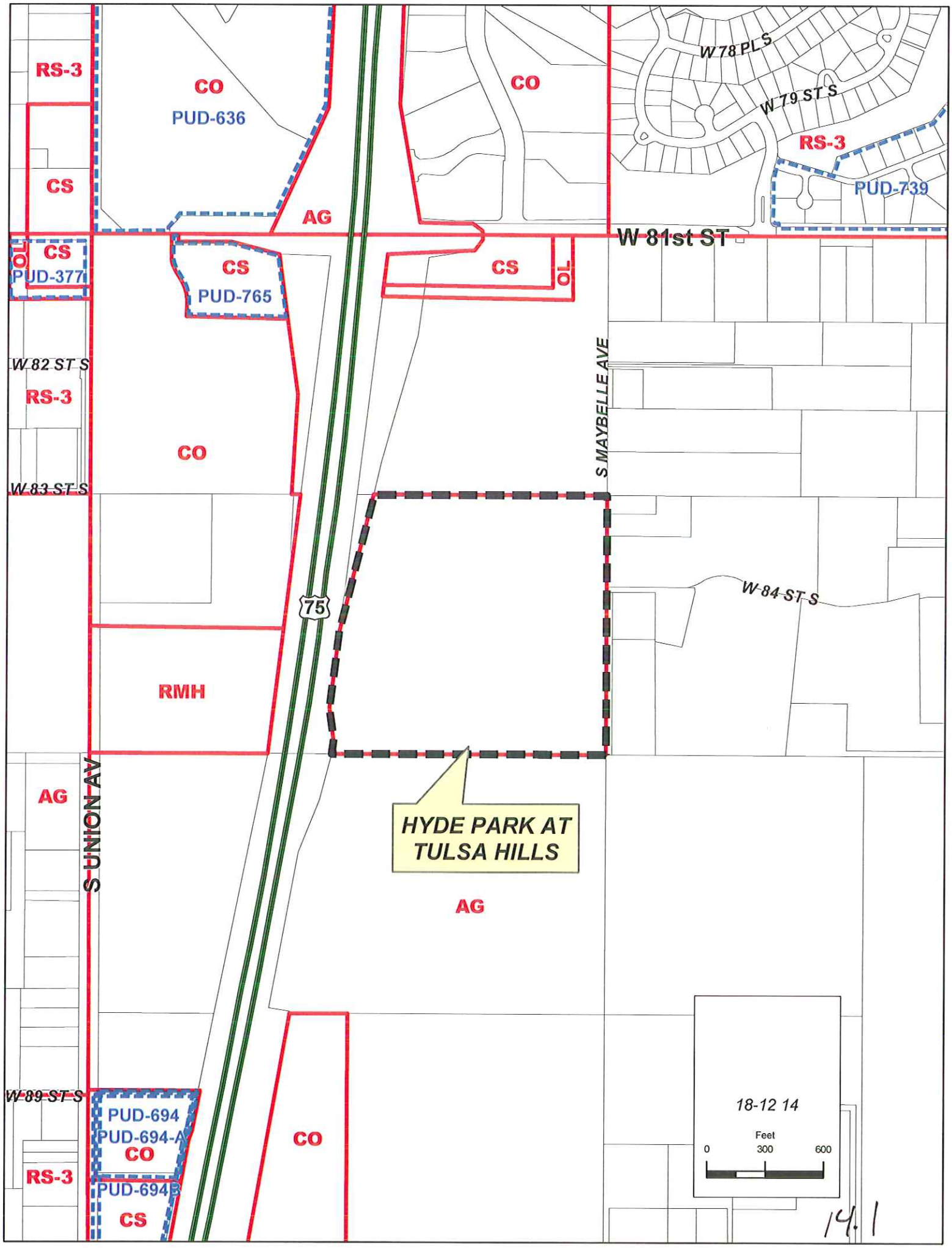
Dated 03-Feb-06
Dennis Semler
Tulsa County Treasurer
By: _____ N.L.
Deputy

RECEIVED
DEC 22 2005
Tulsa Metro. Area Planning Comm.

HOLY APOSTLES CHURCH
OCTOBER 12, 2005
SHEET 1 OF 2

PLAT NO.	PAGE
5954	1 of 2

13.6


RS-3
CO
PUD-636
CS
AG
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W 78 PL S
W 79 ST S
RS-3
PUD-739
W 81st ST
OL
CS
PUD-377
CS
PUD-765
CS
OL
W 82 ST S
RS-3
CO
S MAYBELLE AVE
W 83 ST S
W 84 ST S
75
RMH
AG
S UNION AV
HYDE PARK AT
TULSA HILLS
AG
W 89 ST S
PUD-694
PUD-694-A
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PUD-694-B
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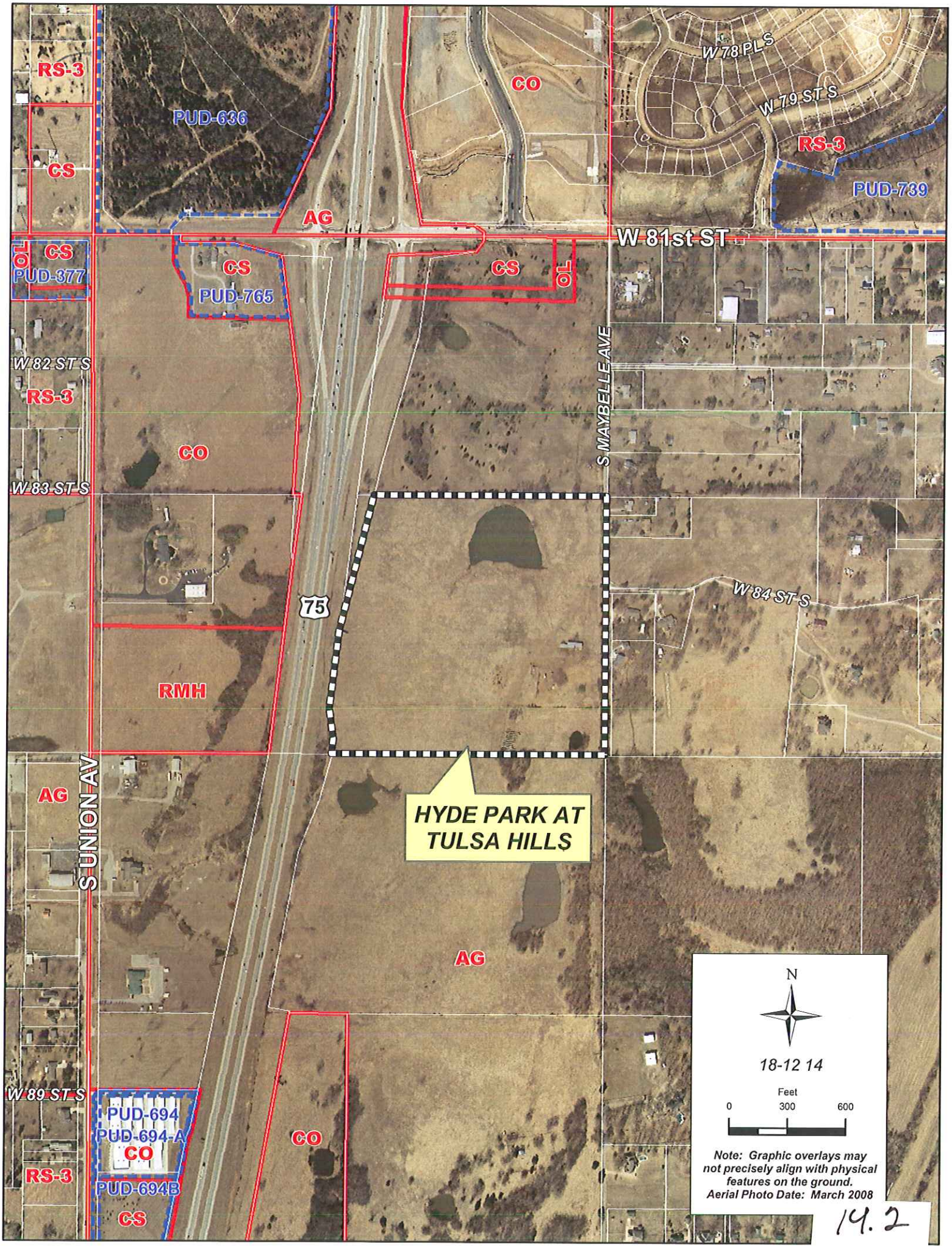
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HYDE PARK AT
TULSA HILLS
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PUD-694
PUD-694-A
CO
RS-3
PUD-694B
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CO
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18-12 14
Feet
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Note: Graphic overlays may not precisely align with physical features on the ground.
Aerial Photo Date: March 2008

14.2