

TULSA METROPOLITAN AREA PLANNING COMMISSION

For Meeting No. 2586

September 15, 2010, 1:30 PM

175 East 2nd Street, 2nd Level, One Technology Center

Tulsa City Council Chamber

CONSIDER, DISCUSS AND/OR TAKE ACTION ON

Call to Order:

REPORTS

Chairman's Report:

Worksession Report:

Director's Report:

CONSENT AGENDA

All matters under "Consent" are considered by the Planning Commission to be routine and will be enacted by one motion. Any Planning Commission member may, however, remove an item by request.

1. **LC-280**– William & Claudia Abernathy (8305) Lot-Combination (CD-2)
Northwest of the Northeast Corner of East 71st Street South and South Harvard Avenue, 6751 South Evanston Avenue
2. **LC-281**– Matthew L. Christensen (9202) Lot-Combination (CD-4)
Northeast corner of North Denver Avenue and West Easton Street
3. **PUD-636 – Russell McDaris/Tuscany Hills at Nickel Creek** CO/PUD
North of the northeast corner of West 81st Street South and South Union Avenue (CD-2)
(Detail Site Plan for a 312 unit apartment complex and accessory amenities.)
4. **PUD-197-A – Darin Ackerman/OK Methodist Manor** RM-2/RS-3/OL/PUD
West of the southwest corner of 31st Street South and South Yale Avenue (Detail Site Plan for the addition of a 204,391 SF four-story residential care/independent living facility and a 49,077 SF wellness/community center and associated accessory structures to the existing Oklahoma Methodist Manor Campus.) (CD-9)

CONSIDERATION OF ITEMS REMOVED FROM THE CONSENT AGENDA

PUBLIC HEARINGS

5. **BOA-21134 – (9408) Plat Waiver** RS-2
11932 East 14th Street, South of East 14th Street South, West of South 121st East Avenue (CD 6)
6. **101 Yale Village Office Park – (8327) Minor Subdivision Plat** OL/CS/RS-4/PUD-516
East of the Southeast corner of East 101st Street South and South Yale Avenue (CD 8)
7. **Wingate Addition – (9332) Preliminary Plat** RM-2/OMH/RM-1/PUD-513
West of Southwest corner of East 51st Street and South Harvard Avenue (CD 9)

8. **PUD-773-1 – Lou Reynolds/NPG Business Park** **RS-3/CS/OL/PUD**
North of the northwest corner of 101st Street South and South Memorial Drive (Minor Amendment to reduce the required parking on Lot 5 of the NPG Business Complex from 53 to 43 spaces.) (CD-8)
9. **PUD-559-A-7 – Andrew A. Shank/South Crest Hospital** **CO/PUD**
Northwest corner of East 91st Street South and US 169/interchange with Creek Turnpike (Minor Amendment to digitize the existing South Crest Hospital business sign located on 91st Street South and US 169.) (CD-8)

OTHER BUSINESS

10. **Commissioners' Comments**

ADJOURN

CD = Council District

NOTICE: If you require special accommodation pursuant to the Americans with Disabilities Act, please notify INCOG (918) 584-7526

Exhibits, Petitions, Pictures, etc., presented to the Planning Commission may be received and deposited in case files to be maintained at Land Development Services, INCOG.

Ringling/sound on all cell phones and paggers must be turned off during the Planning Commission.

Visit our website @ www.tmapc.org

The Mission of the Tulsa Metropolitan Area Planning Commission (TMAPC) is to provide unbiased advice to the City Council and the County Commissioners on development and zoning matters, to provide a public forum that fosters public participation and transparency in land development and planning, to adopt and maintain a comprehensive plan for the metropolitan area, and to provide other planning, zoning and land division services that promote the harmonious development of the Tulsa Metropolitan Area and enhance and preserve the quality of life for the region's current and future residents.

TMAPC Mission Statement

A G E N D A

Tulsa Metropolitan Area Planning Commission

WORK SESSION

**175 East 2nd Street, 2nd Level, One Technology Center
Tulsa City Council Chamber**

Wednesday, September 15, 2010 – 1:45 p.m.*

(*Or immediately following adjournment of the TMAPC Meeting)

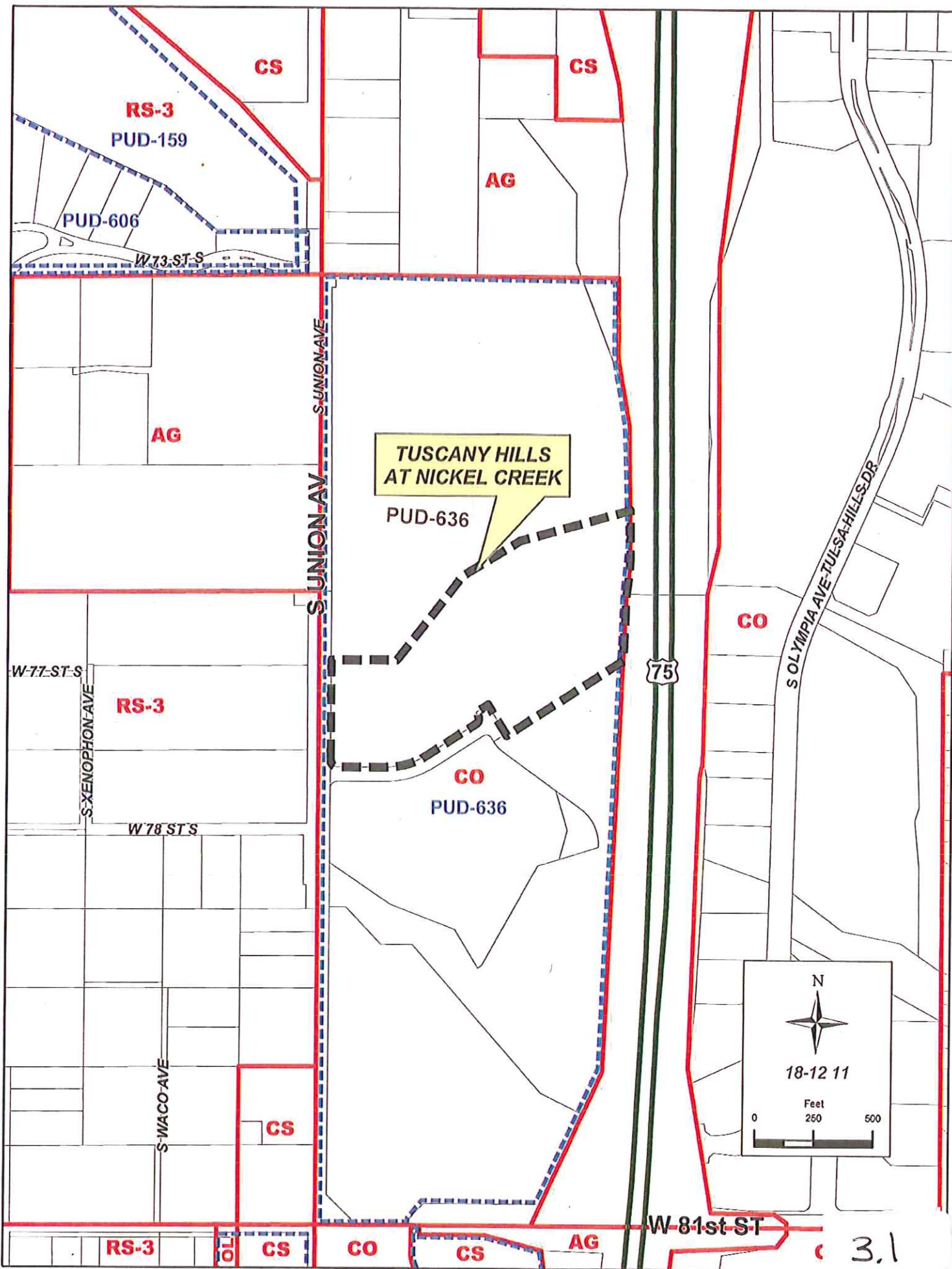
CONSIDER, DISCUSS AND/OR TAKE ACTION ON:

1. Tulsa Preservation Commission's Zoning Code amendments/DeCort
Draft Form Base Codes for the Pearl District/Cuthbertson
TMAPC Discussion on implementation of the new comprehensive plan.

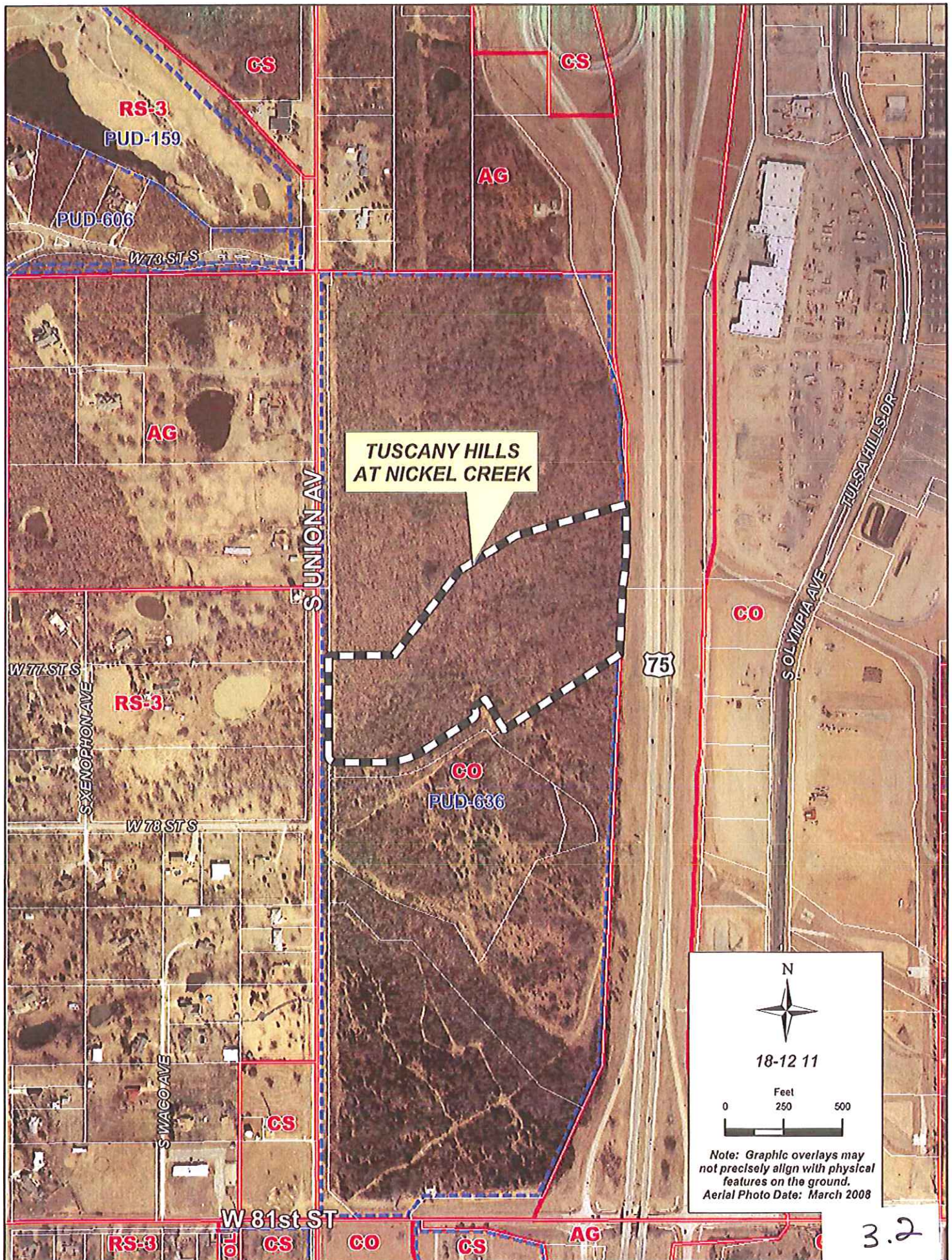
Adjourn.

Visit our website at www.tmapc.org

If you require special accommodation pursuant to the Americans with Disabilities Act, please notify INCOG (918) 584-7526



3.1



September 15, 2010

STAFF RECOMMENDATION

PUD-636: Detail Site Plan – North of the northeast corner of West 81st Street South and South Union Avenue; TRS 18-12-11; CZM 51; CD 2; CO/PUD.

The applicant is requesting approval of a detail site plan for a 312 unit apartment complex and accessory amenities. The proposed use, Use Unit 8 – Multi-family and Similar Uses is a permitted use in PUD-636.

The submitted site plan meets all applicable density limits, open space, building height and setback limitations. Access to the site will be provided from 78th Street South as required by the PUD. Parking is provided per the applicable Use Unit of the Zoning Code. Parking area dimensioning meets the applicable requirements of Chapter 13 of the Code. All sight lighting including building mounted will be limited to 18' in height. Lighting will be directed down and away from adjoining residential properties in a manner that the light producing element and/or reflector are not visible to a person standing at ground level within any residential district or surrounding residentially used property. Trash enclosures will be provided as required by the PUD. Sidewalks will be provided along 78th Street South as required by Subdivision Regulations and internal pedestrian circulation is provided through parking lots and between buildings. A club house and pool is also provided.

Staff recommends **APPROVAL** of the detail site plan for the proposed Tuscan Hills apartments at Nickel Creek in Development Area B and C of PUD-636.

(Note: Detail site plan approval does not constitute landscape and sign plan approval.)

[illegible]

DWELLING UNITS PER DEVELOPMENT AREA**			
DEVELOPMENT AREA	APRIL 1977	APRIL 1978	APRIL 1979
Area 1	7,251	16,020	154
Area 2	2,942	2,210	217
Area 3	3,416	3,416	318

DETAIL SIGN PLAN:

[illegible]

LAND COVERAGE CALCULATIONS PER AREA:

AREA B: 42,000 SF / 328,000 SF = 12.5% COVERAGE

AREA C: 70,000 SF / 423,074 SF = 16.3% COVERAGE

AREA C LIABILITY SPACE

AREA C: 423,074 SF

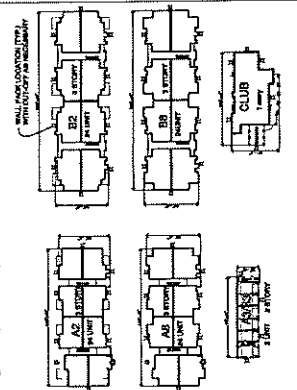
70,000 S.F. BUILD FOOT PRINT

353,000 S.F. OPEN SPACE

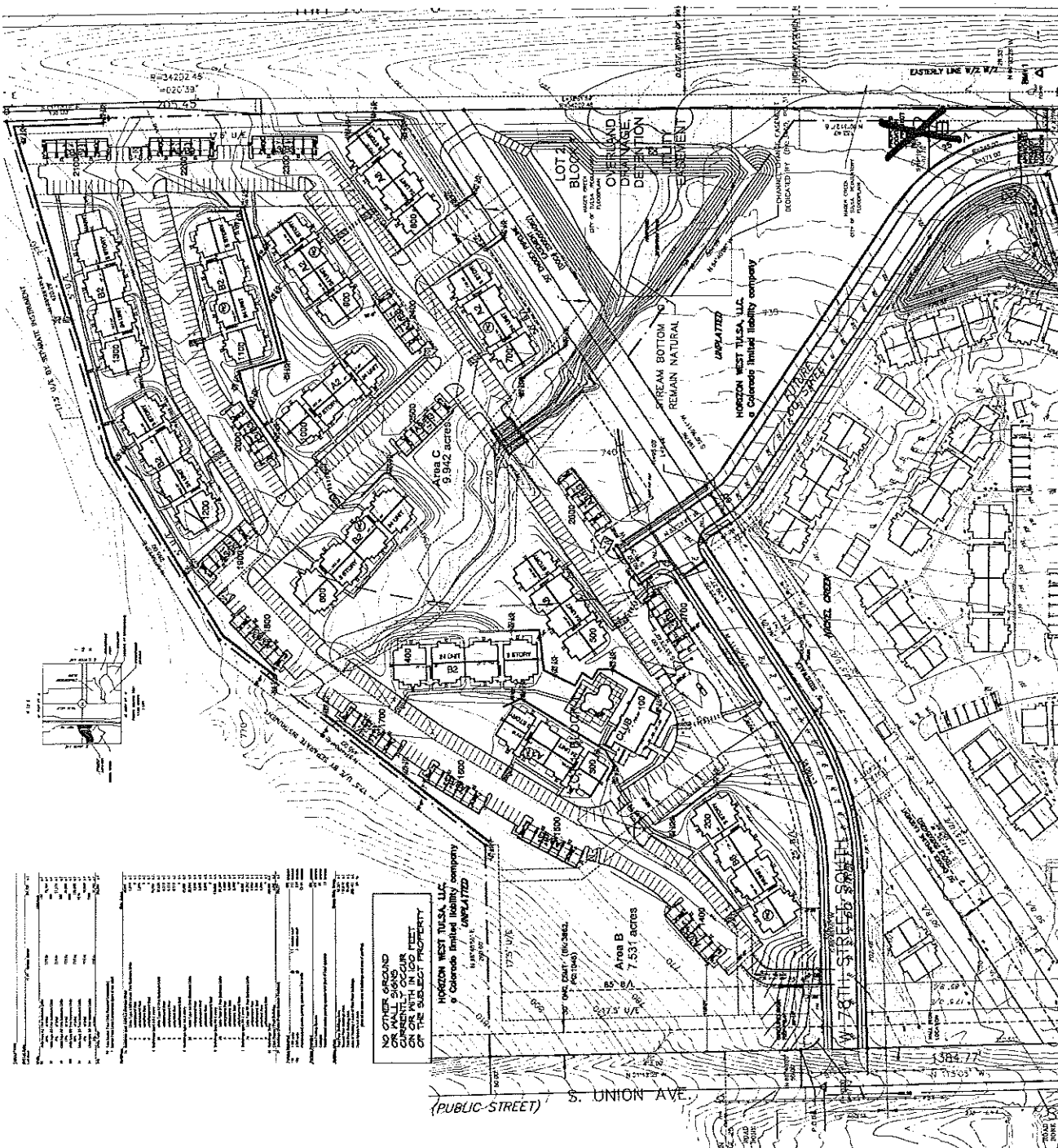
+ 212 UNITS

1770,300 S.F. DWELLING UNIT OPEN SPACE

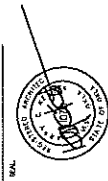
BUILDING FOOTPRINTS:



A. SITE PLAN



TUSCANY HILLS
at NICKEL CREEK
TUSCANY, OKLAHOMA
PROJECT
LOCATION
DESIGN



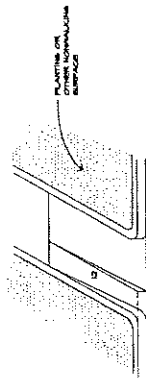
Architects Collective
CONSULTANTS
DATE: 10/01/07
PROJECT: NICKEL CREEK
SHEET: 10000



Architects Collective
CONSULTANTS
DATE: 10/01/07
PROJECT: NICKEL CREEK
SHEET: 10000

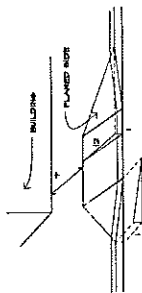
H.C. SITE DTL.
DATE: 10/01/07
PROJECT: NICKEL CREEK
SHEET: 10000

P4



D RETURNED CURB RAMP

NTS



C FLARED SIDED RAMPS

NTS NOTE: IF A 4% SLOPE MUST BE 1:3



SLOPE	MAXIMUM RISE		MAXIMUM HORIZONTAL PROTECTION	
	IN	FE	IN	FE
0.5:1 TO 1:1	NO	NO	NO	NO
1:1 TO 1.5:1	NO	NO	NO	NO
1.5:1 TO 2:1	NO	NO	NO	NO
2:1 TO 2.5:1	NO	NO	NO	NO
2.5:1 TO 3:1	NO	NO	NO	NO
3:1 TO 4:1	NO	NO	NO	NO
4:1 TO 5:1	NO	NO	NO	NO
5:1 TO 6:1	NO	NO	NO	NO
6:1 TO 8:1	NO	NO	NO	NO
8:1 TO 10:1	NO	NO	NO	NO
10:1 TO 12:1	NO	NO	NO	NO
12:1 TO 15:1	NO	NO	NO	NO
15:1 TO 20:1	NO	NO	NO	NO
20:1 TO 25:1	NO	NO	NO	NO
25:1 TO 30:1	NO	NO	NO	NO
30:1 TO 40:1	NO	NO	NO	NO
40:1 TO 50:1	NO	NO	NO	NO
50:1 TO 60:1	NO	NO	NO	NO
60:1 TO 80:1	NO	NO	NO	NO
80:1 TO 100:1	NO	NO	NO	NO
100:1 TO 120:1	NO	NO	NO	NO
120:1 TO 150:1	NO	NO	NO	NO
150:1 TO 200:1	NO	NO	NO	NO
200:1 TO 250:1	NO	NO	NO	NO
250:1 TO 300:1	NO	NO	NO	NO
300:1 TO 400:1	NO	NO	NO	NO
400:1 TO 500:1	NO	NO	NO	NO
500:1 TO 600:1	NO	NO	NO	NO
600:1 TO 800:1	NO	NO	NO	NO
800:1 TO 1000:1	NO	NO	NO	NO
1000:1 TO 1200:1	NO	NO	NO	NO
1200:1 TO 1500:1	NO	NO	NO	NO
1500:1 TO 2000:1	NO	NO	NO	NO
2000:1 TO 2500:1	NO	NO	NO	NO
2500:1 TO 3000:1	NO	NO	NO	NO
3000:1 TO 4000:1	NO	NO	NO	NO
4000:1 TO 5000:1	NO	NO	NO	NO
5000:1 TO 6000:1	NO	NO	NO	NO
6000:1 TO 8000:1	NO	NO	NO	NO
8000:1 TO 10000:1	NO	NO	NO	NO
10000:1 TO 12000:1	NO	NO	NO	NO
12000:1 TO 15000:1	NO	NO	NO	NO
15000:1 TO 20000:1	NO	NO	NO	NO
20000:1 TO 25000:1	NO	NO	NO	NO
25000:1 TO 30000:1	NO	NO	NO	NO
30000:1 TO 40000:1	NO	NO	NO	NO
40000:1 TO 50000:1	NO	NO	NO	NO
50000:1 TO 60000:1	NO	NO	NO	NO
60000:1 TO 80000:1	NO	NO	NO	NO
80000:1 TO 100000:1	NO	NO	NO	NO
100000:1 TO 120000:1	NO	NO	NO	NO
120000:1 TO 150000:1	NO	NO	NO	NO
150000:1 TO 200000:1	NO	NO	NO	NO
200000:1 TO 250000:1	NO	NO	NO	NO
250000:1 TO 300000:1	NO	NO	NO	NO
300000:1 TO 400000:1	NO	NO	NO	NO
400000:1 TO 500000:1	NO	NO	NO	NO
500000:1 TO 600000:1	NO	NO	NO	NO
600000:1 TO 800000:1	NO	NO	NO	NO
800000:1 TO 1000000:1	NO	NO	NO	NO
1000000:1 TO 1200000:1	NO	NO	NO	NO
1200000:1 TO 1500000:1	NO	NO	NO	NO
1500000:1 TO 2000000:1	NO	NO	NO	NO
2000000:1 TO 2500000:1	NO	NO	NO	NO
2500000:1 TO 3000000:1	NO	NO	NO	NO
3000000:1 TO 4000000:1	NO	NO	NO	NO
4000000:1 TO 5000000:1	NO	NO	NO	NO
5000000:1 TO 6000000:1	NO	NO	NO	NO
6000000:1 TO 8000000:1	NO	NO	NO	NO
8000000:1 TO 10000000:1	NO	NO	NO	NO
10000000:1 TO 12000000:1	NO	NO	NO	NO
12000000:1 TO 15000000:1	NO	NO	NO	NO
15000000:1 TO 20000000:1	NO	NO	NO	NO
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100000000:1 TO 120000000:1	NO	NO	NO	NO
120000000:1 TO 150000000:1	NO	NO	NO	NO
150000000:1 TO 200000000:1	NO	NO	NO	NO
200000000:1 TO 250000000:1	NO	NO	NO	NO
250000000:1 TO 300000000:1	NO	NO	NO	NO
300000000:1 TO 400000000:1	NO	NO	NO	NO
400000000:1 TO 500000000:1	NO	NO	NO	NO
500000000:1 TO 600000000:1	NO	NO	NO	NO
600000000:1 TO 800000000:1	NO	NO	NO	NO
800000000:1 TO 1000000000:1	NO	NO	NO	NO
1000000000:1 TO 1200000000:1	NO	NO	NO	NO
1200000000:1 TO 1500000000:1	NO	NO	NO	NO
1500000000:1 TO 2000000000:1	NO	NO	NO	NO
2000000000:1 TO 2500000000:1	NO	NO	NO	NO
2500000000:1 TO 3000000000:1	NO	NO	NO	NO
3000000000:1 TO 4000000000:1	NO	NO	NO	NO
4000000000:1 TO 5000000000:1	NO	NO	NO	NO
5000000000:1 TO 6000000000:1	NO	NO	NO	NO
6000000000:1 TO 8000000000:1	NO	NO	NO	NO
8000000000:1 TO 10000000000:1	NO	NO	NO	NO
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12000000000:1 TO 15000000000:1	NO	NO	NO	NO
15000000000:1 TO 20000000000:1	NO	NO	NO	NO
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2500000000000:1 TO 3000000000000:1	NO	NO	NO	NO
3000000000000:1 TO 4000000000000:1	NO	NO	NO	NO
4000000000000:1 TO 5000000000000:1	NO	NO	NO	NO
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6000000000000:1 TO 8000000000000:1	NO	NO	NO	NO
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15000000000000:1 TO 20000000000000:1	NO	NO	NO	NO
20000000000000:1 TO 25000000000000:1	NO	NO	NO	NO
25000000000000:1 TO 30000000000000:1	NO	NO	NO	NO
30000000000000:1 TO 40000000000000:1	NO	NO	NO	NO
40000000000000:1 TO 50000000000000:1	NO	NO	NO	NO
50000000000000:1 TO 60000000000000:1	NO	NO	NO	NO
60000000000000:1 TO 80000000000000:1	NO	NO	NO	NO
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150000000000000:1 TO 200000000000000:1	NO	NO	NO	NO
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250000000000000:1 TO 300000000000000:1	NO	NO	NO	NO
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400000000000000:1 TO 500000000000000:1	NO	NO	NO	NO
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1500000000000000:1 TO 2000000000000000:1	NO	NO	NO	NO
2000000000000000:1 TO 2500000000000000:1	NO	NO	NO	NO
2500000000000000:1 TO 3000000000000000:1	NO	NO	NO	NO
3000000000000000:1 TO 4000000000000000:1	NO	NO	NO	NO
4000000000000000:1 TO 5000000000000000:1	NO	NO	NO	NO
5000000000000000:1 TO 6000000000000000:1	NO	NO	NO	NO
6000000000000000:1 TO 8000000000000000:1	NO	NO	NO	NO
8000000000000000:1 TO 10000000000000000:1	NO	NO	NO	NO
10000000000000000:1 TO 12000000000000000:1	NO	NO	NO	NO
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15000000000000000:1 TO 20000000000000000:1	NO	NO	NO	NO
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25000000000000000:1 TO 30000000000000000:1	NO	NO	NO	NO
30000000000000000:1 TO 40000000000000000:1	NO	NO	NO	NO
40000000000000000:1 TO 50000000000000000:1	NO	NO	NO	NO
50000000000000000:1 TO 60000000000000000:1	NO	NO	NO	NO
60000000000000000:1 TO 80000000000000000:1	NO	NO	NO	NO
80000000000000000:1 TO 100000000000000000:1	NO	NO	NO	NO
100000000000000000:1 TO 120000000000000000:1	NO	NO	NO	NO
120000000000000000:1 TO 150000000000000000:1	NO	NO	NO	NO
150000000000000000:1 TO 200000000000000000:1	NO	NO	NO	NO
200000000000000000:1 TO 250000000000000000:1	NO	NO	NO	NO
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8000000000000000000:1 TO 10000000000000000000:1	NO	NO	NO	NO
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12000000000000000000:1 TO 15000000000000000000:1	NO	NO	NO	NO
15000000000000000000:1 TO 20000000000000000000:1	NO	NO	NO	NO
20000000000000000000:1 TO 25000000000000000000:1	NO	NO	NO	NO
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60000000000000000000:1 TO 80000000000000000000:1	NO	NO	NO	NO
80000000000000000000:1 TO 100000000000000000000:1	NO	NO	NO	NO
100000000000000000000:1 TO 120000000000000000000:1	NO	NO	NO	NO
120000000000000000000:1 TO 150000000000000000000:1	NO	NO	NO	NO
150000000000000000000:1 TO 200000000000000000000:1	NO	NO	NO	NO
200000000000000000000:1 TO 25000000000				

TUSCANY HILLS at NICKEL CREEK

TUSCANY HILLS at Nickel Creek, L.P.

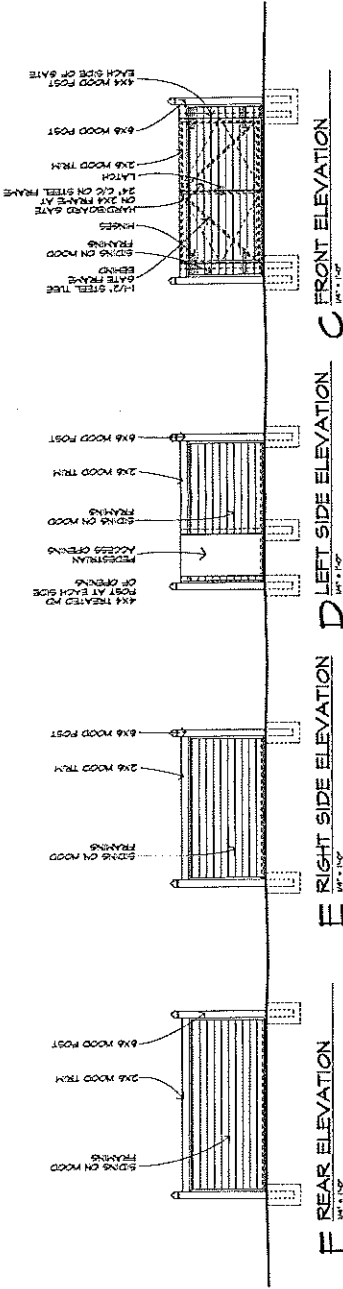


ARCHITECTS
Collective

PROJECT NAME
SHEET TITLE
TRASH ENCLOSURE

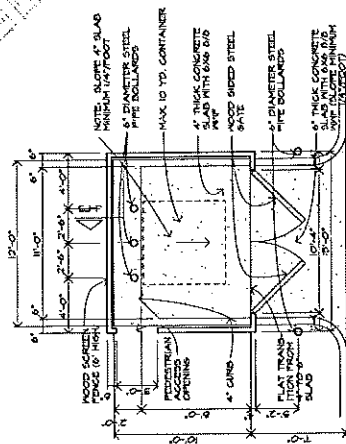
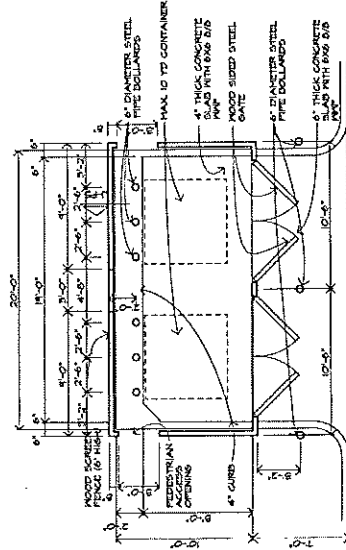
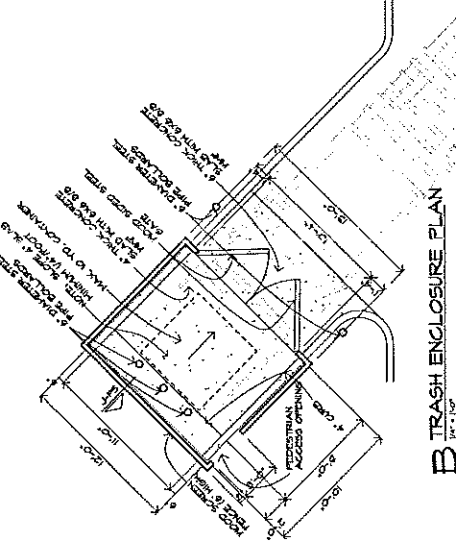
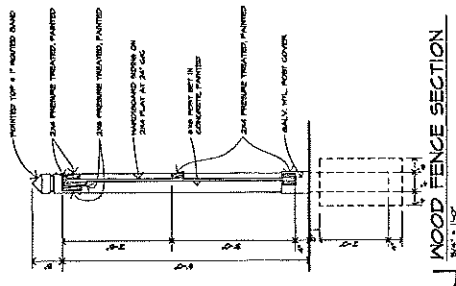
PROJECT NAME
SHEET TITLE
TRASH ENCLOSURE

P5



CONTAINERS (BASED UPON BFI)

CONTAINER DESCRIPTION	LENGTH	WIDTH	HEIGHT
TWO YARD	6'-0"	3'-0"	3'-11 1/2"
THREE YARD	6'-0"	3'-6"	4'-0 1/2"
FOUR YARD (MINIMUM)	6'-0"	4'-0"	4'-0 1/2"
FIVE YARD (MINIMUM)	6'-0"	4'-6"	4'-0"
SIX YARD (MINIMUM)	6'-0"	4'-6"	4'-0"
SIX YARD HIGH TOPPED LOADING	6'-0"	4'-6"	4'-0"
EIGHT YARD HIGH TOPPED LOADING	6'-0"	4'-6"	4'-0"
TEN YARD HIGH TOPPED LOADING	6'-0"	4'-6"	4'-0"



A TRASH ENCLOSURE PLAN

B TRASH ENCLOSURE PLAN

3.7

3.8

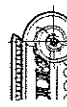
NOTES:
1. ALL MATERIALS TO BE APPROVED BY THE ARCHITECT.
2. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES.
3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MECHANICAL, ELECTRICAL AND PLUMBING CODES.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FIRE AND SAFETY CODES.
5. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ENVIRONMENTAL AND SUSTAINABILITY CODES.
6. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ACCESSIBILITY CODES.
7. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE HISTORIC PRESERVATION CODES.
8. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE LANDSCAPE ARCHITECTURE CODES.
9. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERIOR DESIGN CODES.
10. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ARTS AND CRAFTS CODES.
11. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MUSIC AND THEATRE CODES.
12. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FILM AND TELEVISION CODES.
13. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE DIGITAL MEDIA CODES.
14. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE VIDEO GAMES CODES.
15. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SOCIAL MEDIA CODES.
16. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MOBILE APPLICATIONS CODES.
17. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE WEBSITE DEVELOPMENT CODES.
18. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SOFTWARE DEVELOPMENT CODES.
19. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE HARDWARE DEVELOPMENT CODES.
20. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NETWORKING CODES.
21. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SECURITY CODES.
22. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE COMPLIANCE CODES.
23. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE REGULATION CODES.
24. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARDS CODES.
25. ALL WORK TO BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BEST PRACTICES CODES.

TUSCANY HILLS
at NICKEL CREEK

TUSCANY HILLS at Nickel Creek, L.P.



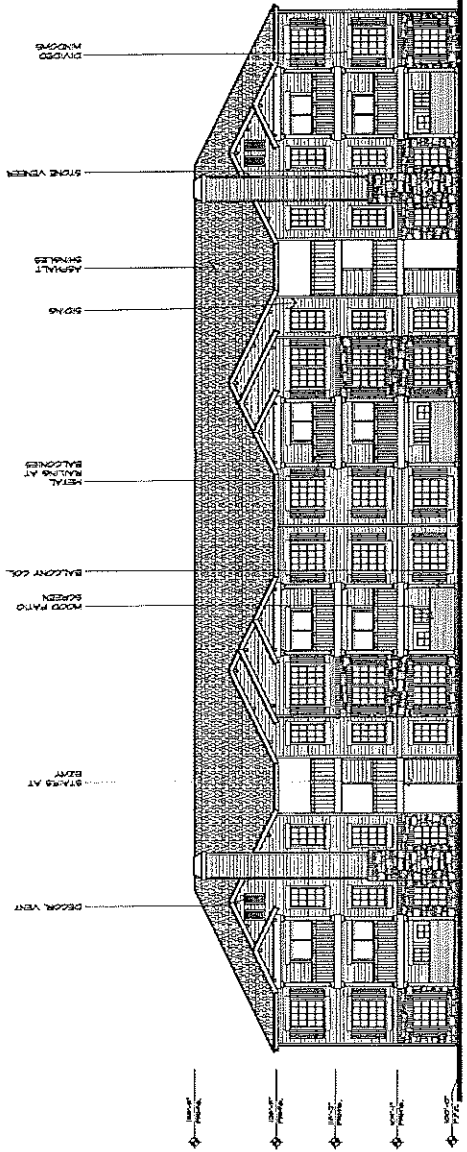
Architects
Collective



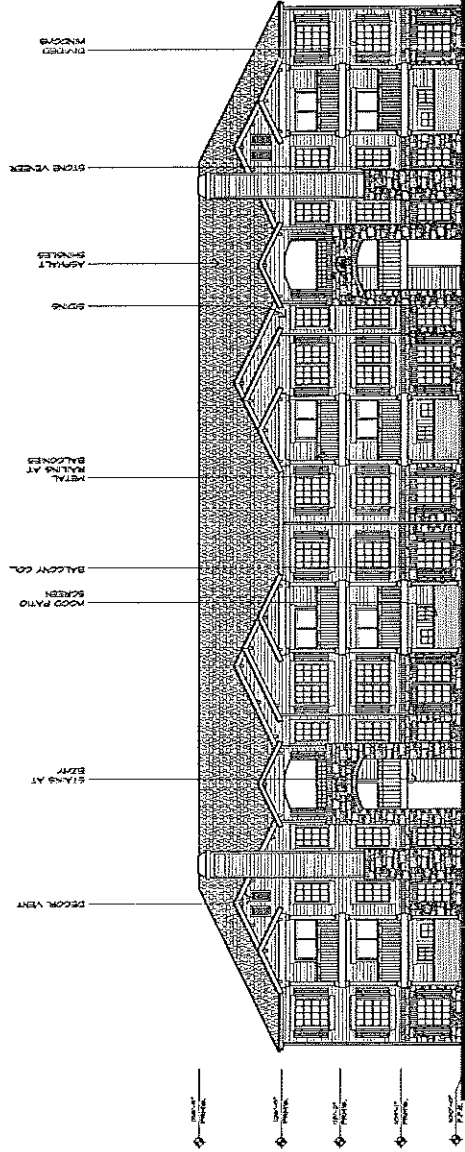
Architects
Collective

PROJECT NAME
DATE
SHEET NO.
ELEVATIONS
BLDG. A2
SHEET NUMBER

A/E



B REAR ELEVATION - BLDG TYPE A2
1/8" = 1'-0"



A FRONT ELEVATION - BLDG TYPE A2
1/8" = 1'-0"

TUSCANY HILLS at NICKEL CREEK

TUSCANY HILLS at Nickel Creek, L.P.

CLIENT

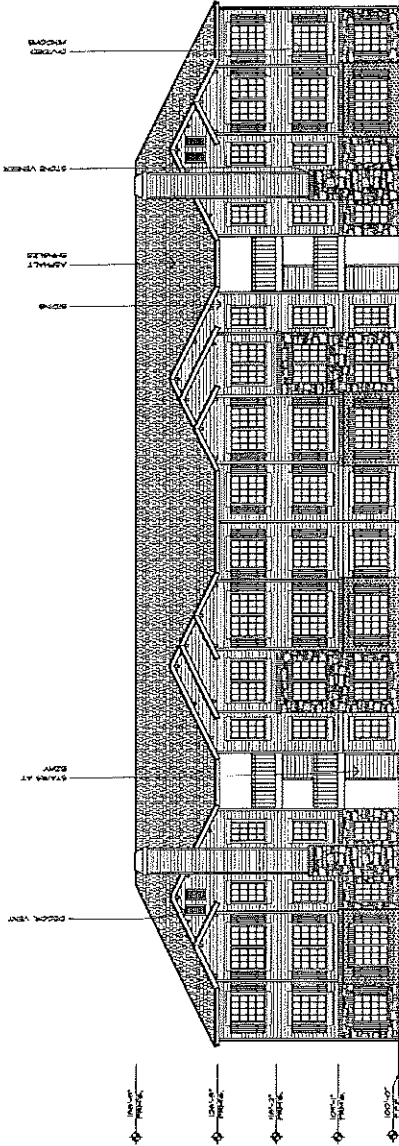


Architects
Collective

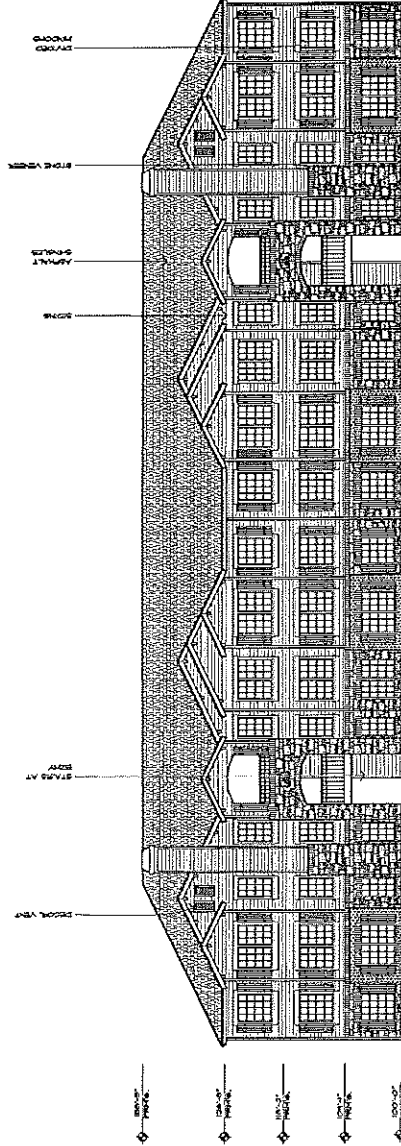


PROJECT NAME
DATE
SHEET TITLE
ELEVATIONS
BLDG. A8
SHEET NUMBER
A3E

NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC).
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
3. ALL FOUNDATIONS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOUNDATION DESIGN AND CONSTRUCTION HANDBOOK.
4. ALL ROOFS SHALL BE DESIGNED TO RESIST A MINIMUM WIND SPEED OF 140 MPH.
5. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH A MINIMUM OF 8" CMU OR EQUIVALENT.
6. ALL EXTERIOR WALLS SHALL BE FINISHED WITH A MINIMUM OF 1/2" GYPSUM BOARD.
7. ALL EXTERIOR WALLS SHALL BE PAINTED WITH A MINIMUM OF TWO COATS OF EXTERIOR GRADE PAINT.
8. ALL EXTERIOR WALLS SHALL BE MAINTAINED IN GOOD CONDITION AT ALL TIMES.
9. ALL EXTERIOR WALLS SHALL BE REPAIRED OR REPLACED AS NEEDED.
10. ALL EXTERIOR WALLS SHALL BE INSULATED WITH A MINIMUM OF R-15.
11. ALL EXTERIOR WALLS SHALL BE VENTILATED WITH A MINIMUM OF 1/4" AIR SPACE.
12. ALL EXTERIOR WALLS SHALL BE PROTECTED FROM MOISTURE AND WATER INTRUSION.
13. ALL EXTERIOR WALLS SHALL BE PROTECTED FROM UV RADIATION.
14. ALL EXTERIOR WALLS SHALL BE PROTECTED FROM AIR POLLUTION.
15. ALL EXTERIOR WALLS SHALL BE PROTECTED FROM NOISE.
16. ALL EXTERIOR WALLS SHALL BE PROTECTED FROM VIBRATION.
17. ALL EXTERIOR WALLS SHALL BE PROTECTED FROM COLLISION.
18. ALL EXTERIOR WALLS SHALL BE PROTECTED FROM THEFT.
19. ALL EXTERIOR WALLS SHALL BE PROTECTED FROM FIRE.
20. ALL EXTERIOR WALLS SHALL BE PROTECTED FROM TERRORISM.
21. ALL EXTERIOR WALLS SHALL BE PROTECTED FROM ALL OTHER HAZARDS.
22. ALL EXTERIOR WALLS SHALL BE MAINTAINED IN GOOD CONDITION AT ALL TIMES.
23. ALL EXTERIOR WALLS SHALL BE REPAIRED OR REPLACED AS NEEDED.
24. ALL EXTERIOR WALLS SHALL BE INSULATED WITH A MINIMUM OF R-15.
25. ALL EXTERIOR WALLS SHALL BE VENTILATED WITH A MINIMUM OF 1/4" AIR SPACE.
26. ALL EXTERIOR WALLS SHALL BE PROTECTED FROM MOISTURE AND WATER INTRUSION.
27. ALL EXTERIOR WALLS SHALL BE PROTECTED FROM UV RADIATION.
28. ALL EXTERIOR WALLS SHALL BE PROTECTED FROM AIR POLLUTION.
29. ALL EXTERIOR WALLS SHALL BE PROTECTED FROM NOISE.
30. ALL EXTERIOR WALLS SHALL BE PROTECTED FROM VIBRATION.
31. ALL EXTERIOR WALLS SHALL BE PROTECTED FROM COLLISION.
32. ALL EXTERIOR WALLS SHALL BE PROTECTED FROM THEFT.
33. ALL EXTERIOR WALLS SHALL BE PROTECTED FROM FIRE.
34. ALL EXTERIOR WALLS SHALL BE PROTECTED FROM TERRORISM.
35. ALL EXTERIOR WALLS SHALL BE PROTECTED FROM ALL OTHER HAZARDS.

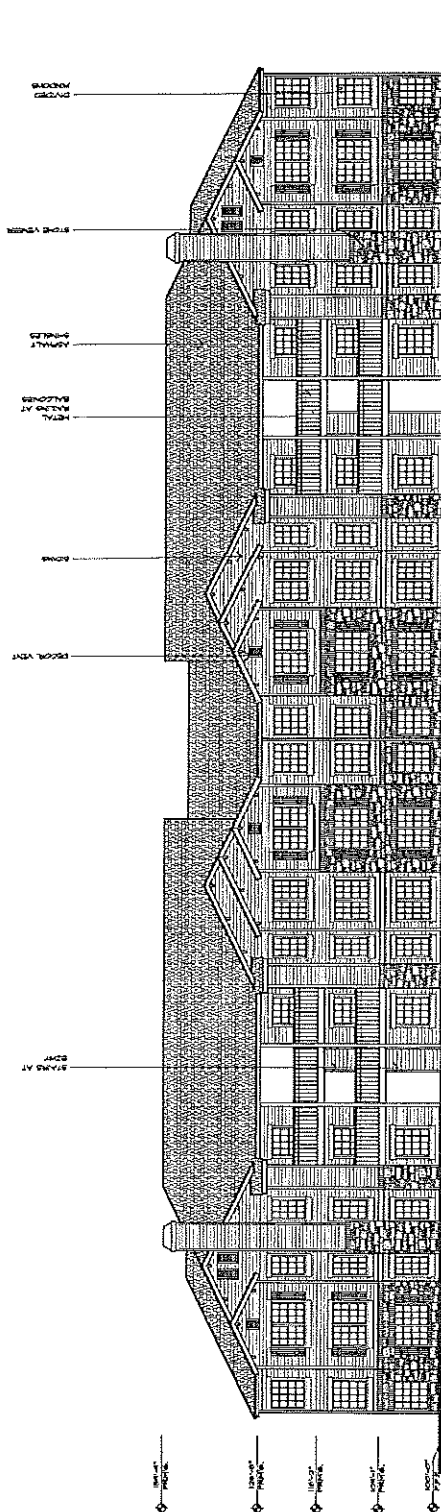


B REAR ELEVATION - BLDG TYPE A8

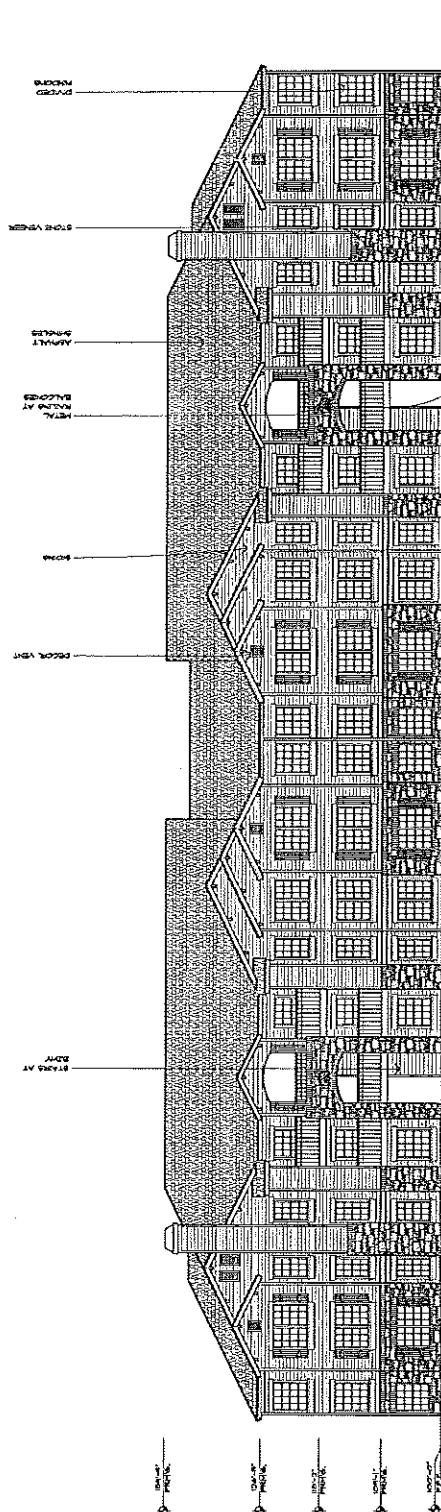


A FRONT ELEVATION - BLDG TYPE A8

STARTED NOTES



B BLDG. REAR ELEVATION - BLDG B8



BLDG. FRONT ELEVATION - BLDG B8

+

3.11

TUSCANY HILLS at NICKEL CREEK

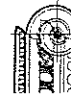
TUSCANY HILLS at Nickel Creek, L.P.

LOCATION

PROJECT



ALL ROOF JACKS & PENETRATIONS
SHALL BE PAINTED TO MATCH ADJACENT
ROOF COLOR



Architects
Collective

1000 EAST 10TH AVENUE, SUITE 100
DENVER, COLORADO 80202
TEL: 303.733.1111
WWW.ARCHITECTSCOLLECTIVE.COM

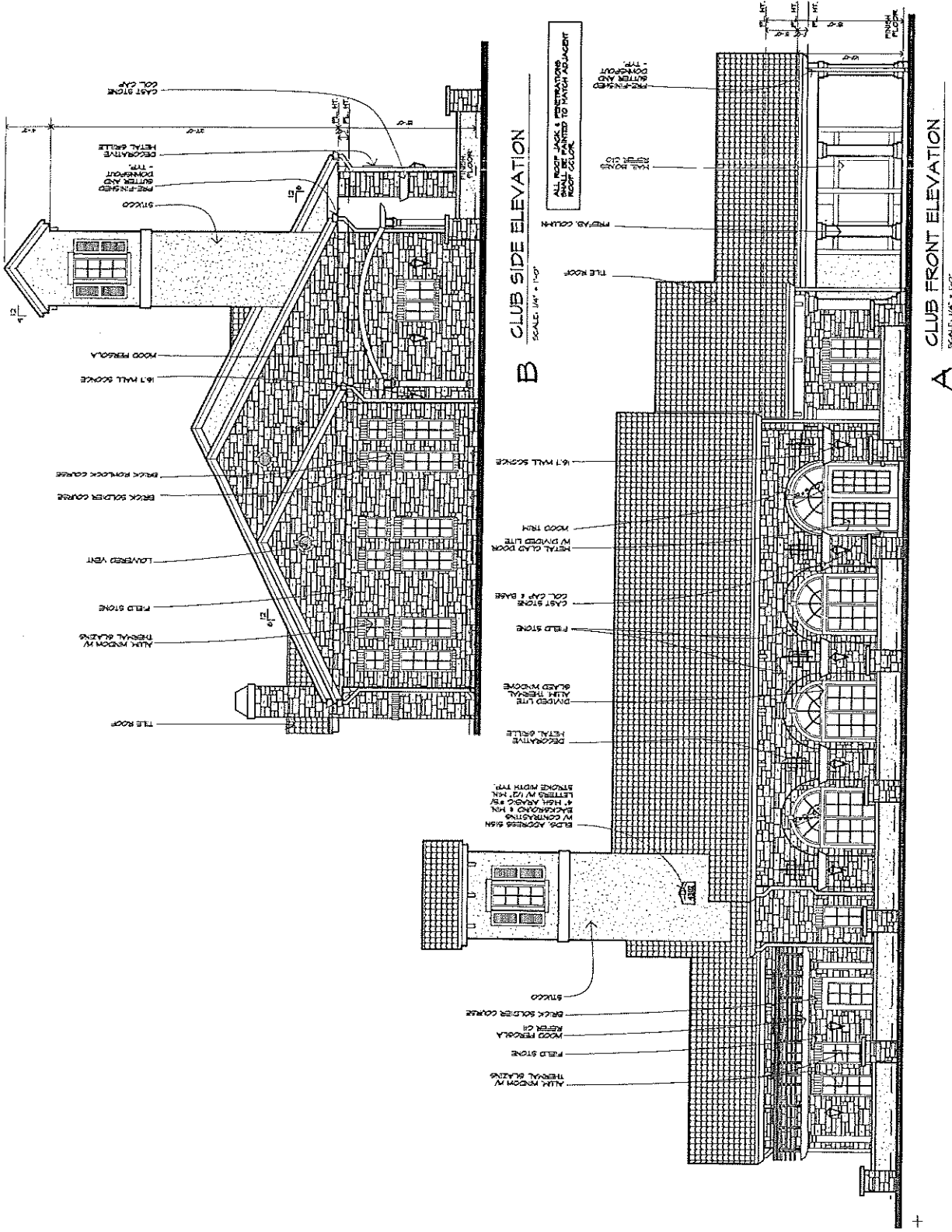
PROJECT NAME

SHEET TITLE

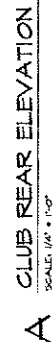
CLUBHOUSE
ELEVATIONS

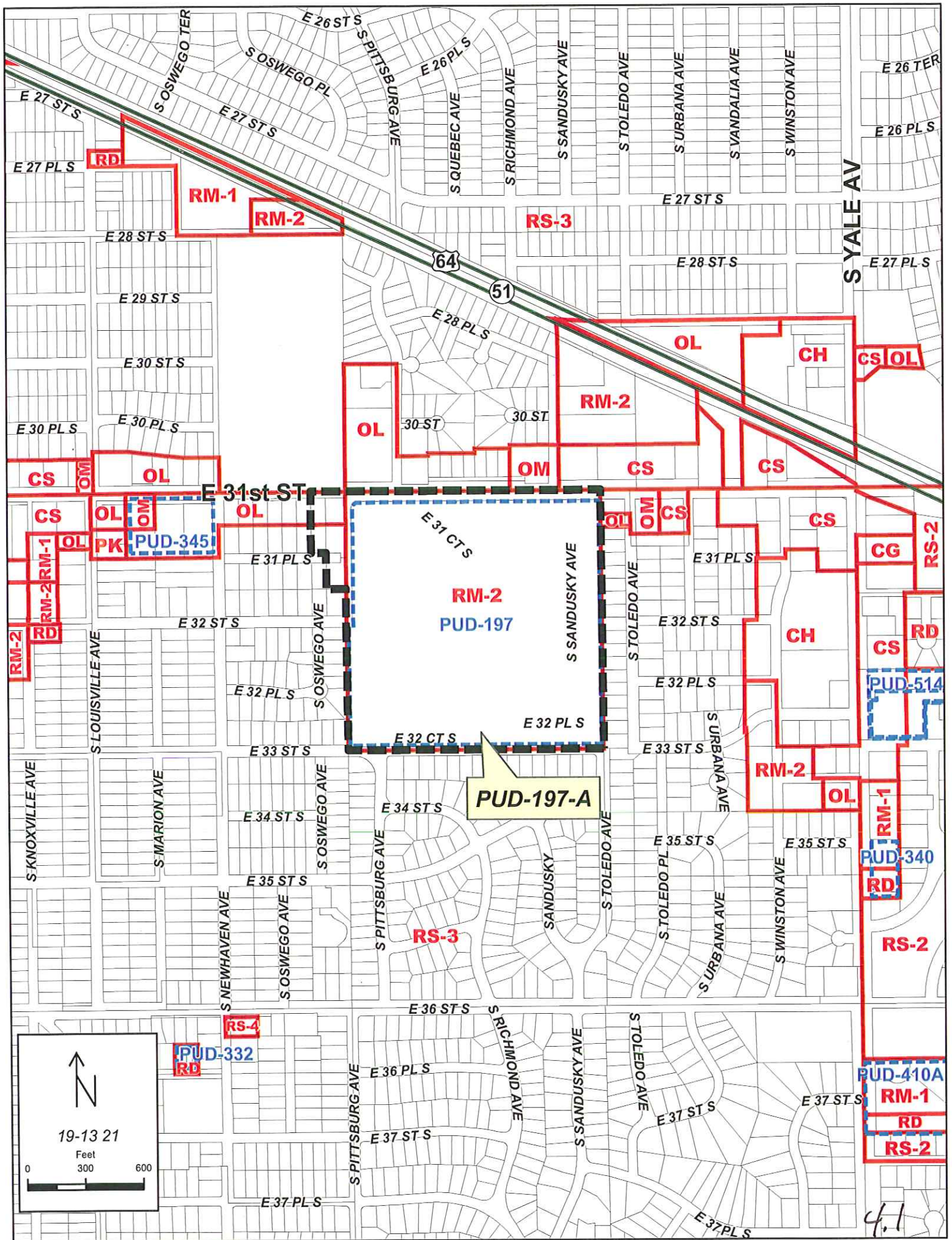
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C4



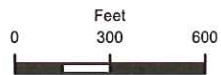
3.14







19-13 21



Note: Graphic overlays may not precisely align with physical features on the ground.
Aerial Photo Date: March 2008

4.2

September 15, 2010

STAFF RECOMMENDATION

PUD-197-A: Detail Site Plan – West of the southwest corner of 31st Street South and South Yale Avenue; TRS 19-13-21; CZM 62; Atlas 133; CD 9;; RM-2/RS-3/OL/PUD.

The applicant is requesting approval of a detail site plan for the addition of a 204,391 square foot (sf), four (4) story residential care/independent living facility and a 49,077 sf wellness center/community center and associated accessory structures to the existing Oklahoma Methodist Manor Campus. The proposed uses, Use Unit 5 – Community Services and Similar Uses and Use Unit 8 – Multi-family & Similar Uses are permitted uses in PUD-197-A.

The submitted site plan meets all applicable building floor area, open space, building height and setback limitations. Access to the site will be provided from 31st Street South and a limited gated entry off 31st Place South provided for staff and residents only. Parking is provided per the applicable Use Units of the Zoning Code. Parking area dimensioning meets the applicable requirements of Chapter 13 of the Code. All sight lighting including building mounted will be limited to 30' in height. New site lighting located within 100' of any existing off-site residential area is limited to 16' in height. Lighting will be directed down and away from adjacent residential areas in a manner that the light producing element and/or reflector are not visible to a person standing at ground level within said adjacent residential area. A 6' masonry screening wall is provided along the entire west boundary as required. A trash enclosure will be provided as required by the PUD. Sidewalks are provided along 31st Street South and interior pedestrian circulation is provided as required by PUD Development Standards and Subdivision Regulations.

Staff recommends **APPROVAL** of the detail site plan for PUD-197-A.

(Note: Detail site plan approval does not constitute landscape and sign plan approval.)



EXTERIOR UNIT - EXTERIOR
PROJECT
4134 East 31st Street
Tulsa, OK 74135-1599



CRESTWOOD
OKLAHOMA METHODIST
MANOR
4134 East 31st Street
Tulsa, OK 74135-1599

ISSUANCE AND REVISIONS
PERMIT SET

REVISIONS
1. 11/15/10
2. 11/15/10

SECTION

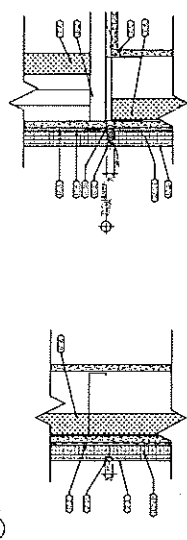
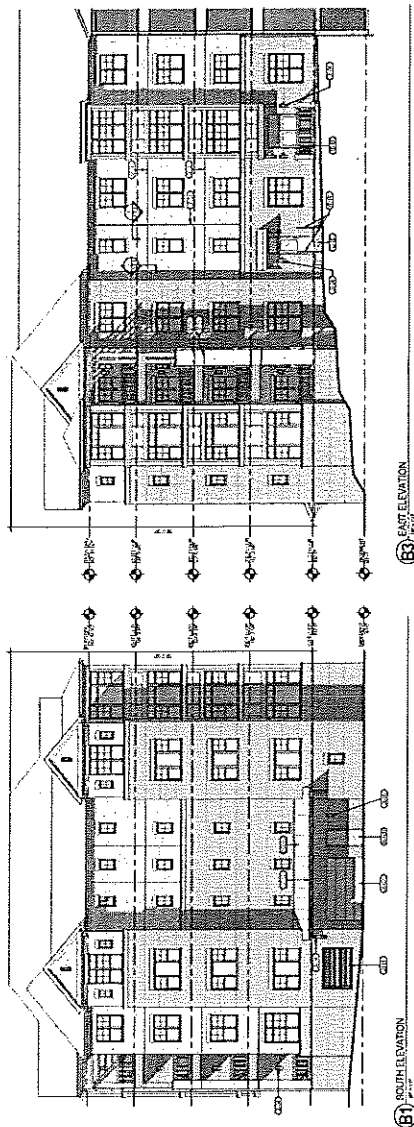
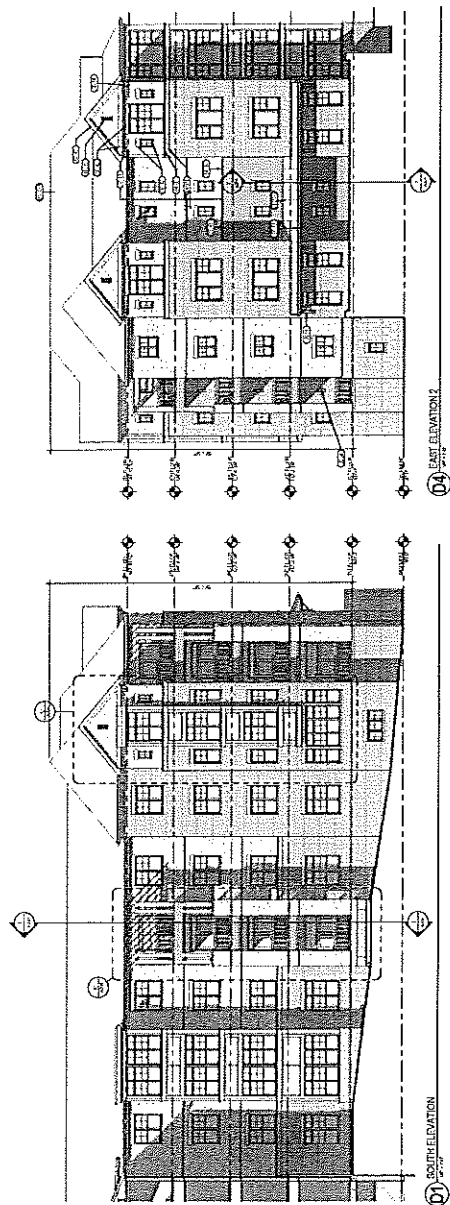
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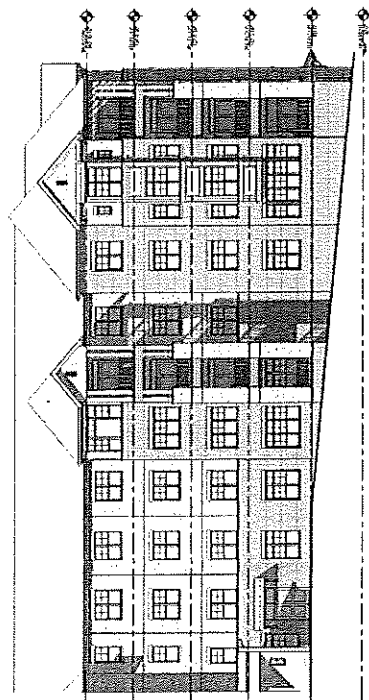
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PROJECT NUMBER	100000
DAT	04/15/10

EXTERIOR
ELEVATIONS -
CRESTWOOD

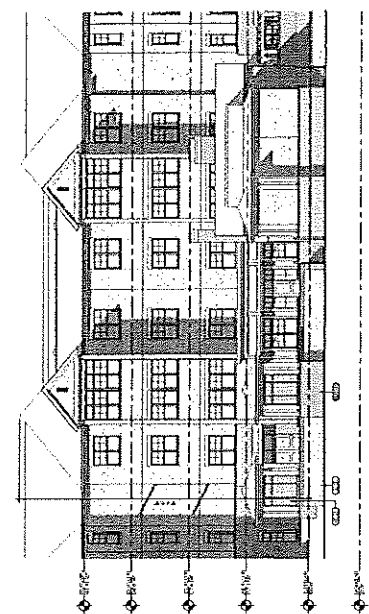
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REVISIONS
1. 11/15/10
2. 11/15/10



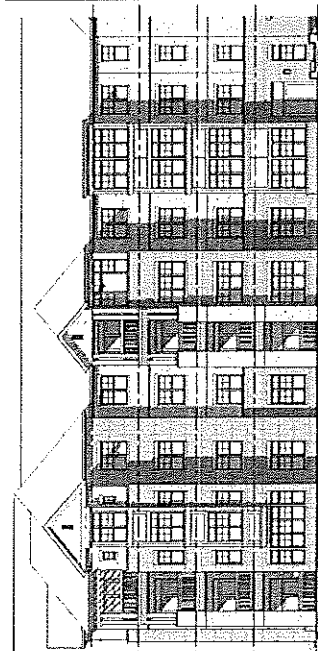


D4 WEST ELEVATION

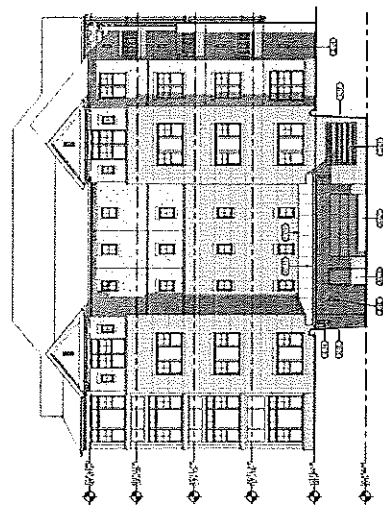


D1 REAR ENTRY ELEVATION

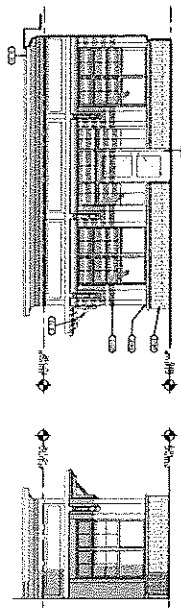
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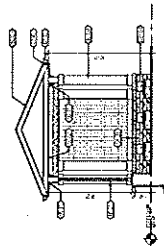
B3 SOUTH CANTON



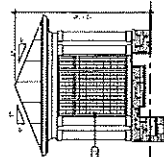
B1 WEST ELEVATION
1/2" = 1'-0"



A4 ENLARGED SUIROOM ELEV - WEST



A2 TERRACE PAVILLION SECTION



A1 TERRACE PAVILLION ELEVATION
1/8" = 1'-0"



A5-ENLARGED SUNROOM ELEV - SOUTH

4.8





epstein urban architects
1111 East 31st Street, Suite 200
Tulsa, Oklahoma 74106
405.433.1100
www.eua.com



CRESTWOOD at
Manor
4134 East 31st Street
Tulsa, OK 74135-1999

PROJECT INFORMATION
CRESTWOOD at
Manor
4134 East 31st Street
Tulsa, OK 74135-1999

ISSUANCE AND REVISIONS
PERMIT SET

REVISIONS
1 1/11/11 10/13/10

KEY PLAN

SHEET INFORMATION

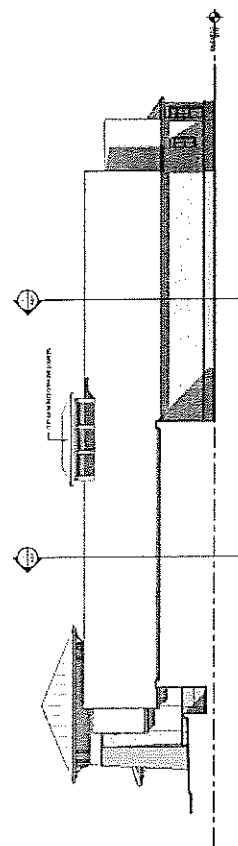
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DATE 08-27-10

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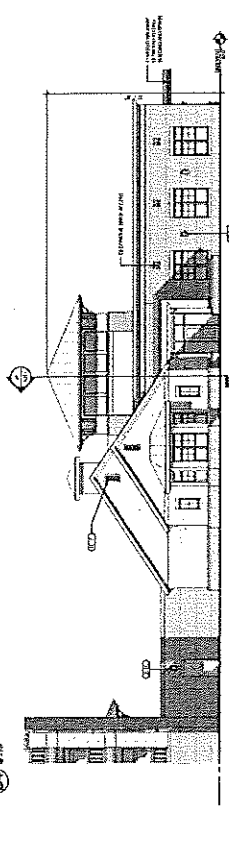
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Sheet of 10 Sheets

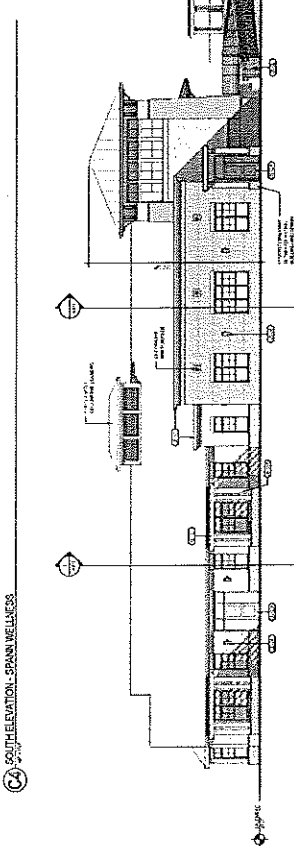
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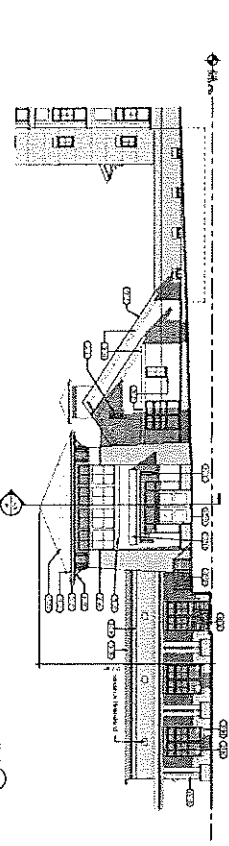
WEST ELEVATION - SPANN WELLNESS



SOUTH ELEVATION - SPANN WELLNESS



EAST ELEVATION - SPANN WELLNESS



NORTH ELEVATION - SPANN WELLNESS

4.10



epstein urban + architects
1111 E. 1st Street, Suite 100
Tulsa, Oklahoma 74103
Phone: (918) 581-1111
Fax: (918) 581-1112
www.evaurban.com

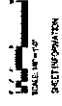


PROJECT INFORMATION
OMM - HEALTHCARE
CENTER
RENOVATION
4134 E. 31st ST
TULSA, OK 74137

REVISIONS AND REVISIONS
PERMIT SET

REVISIONS
1. DATE
2. DATE
3. DATE

NOT PLAN



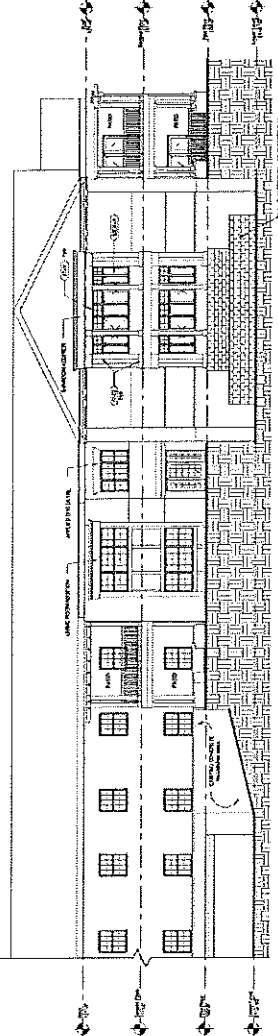
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DATE: 08/10/10

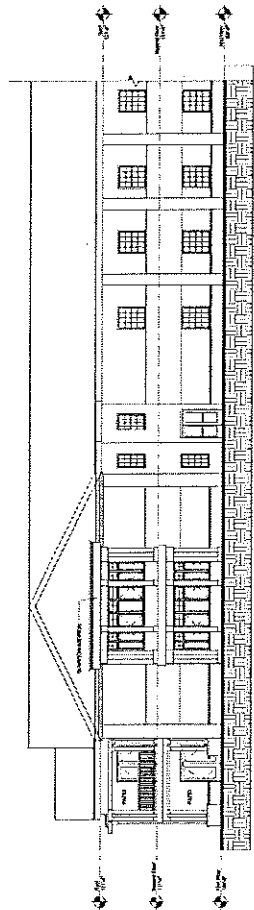
EXTERIOR
ELEVATIONS

A200-HC

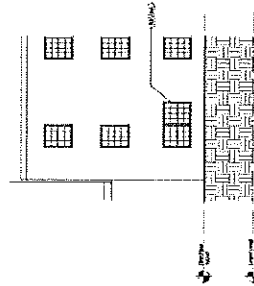
REVISIONS AND REVISIONS
PERMIT SET



D2 EAST ELEVATION

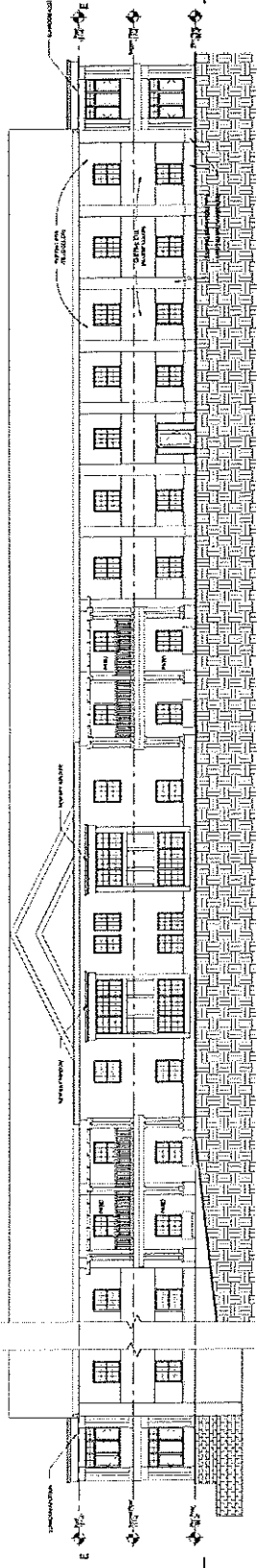


C2 WEST ELEVATION

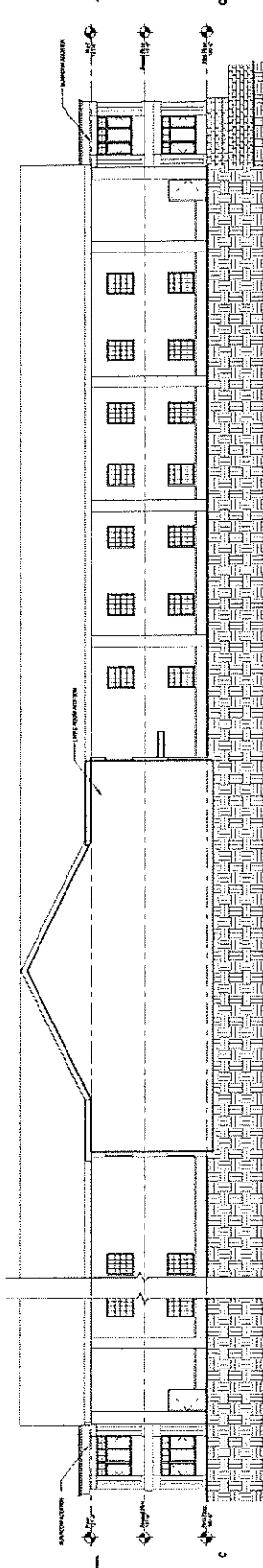


A1 PARTIAL SOUTH ELEVATION - EEL THOUSE

4.11

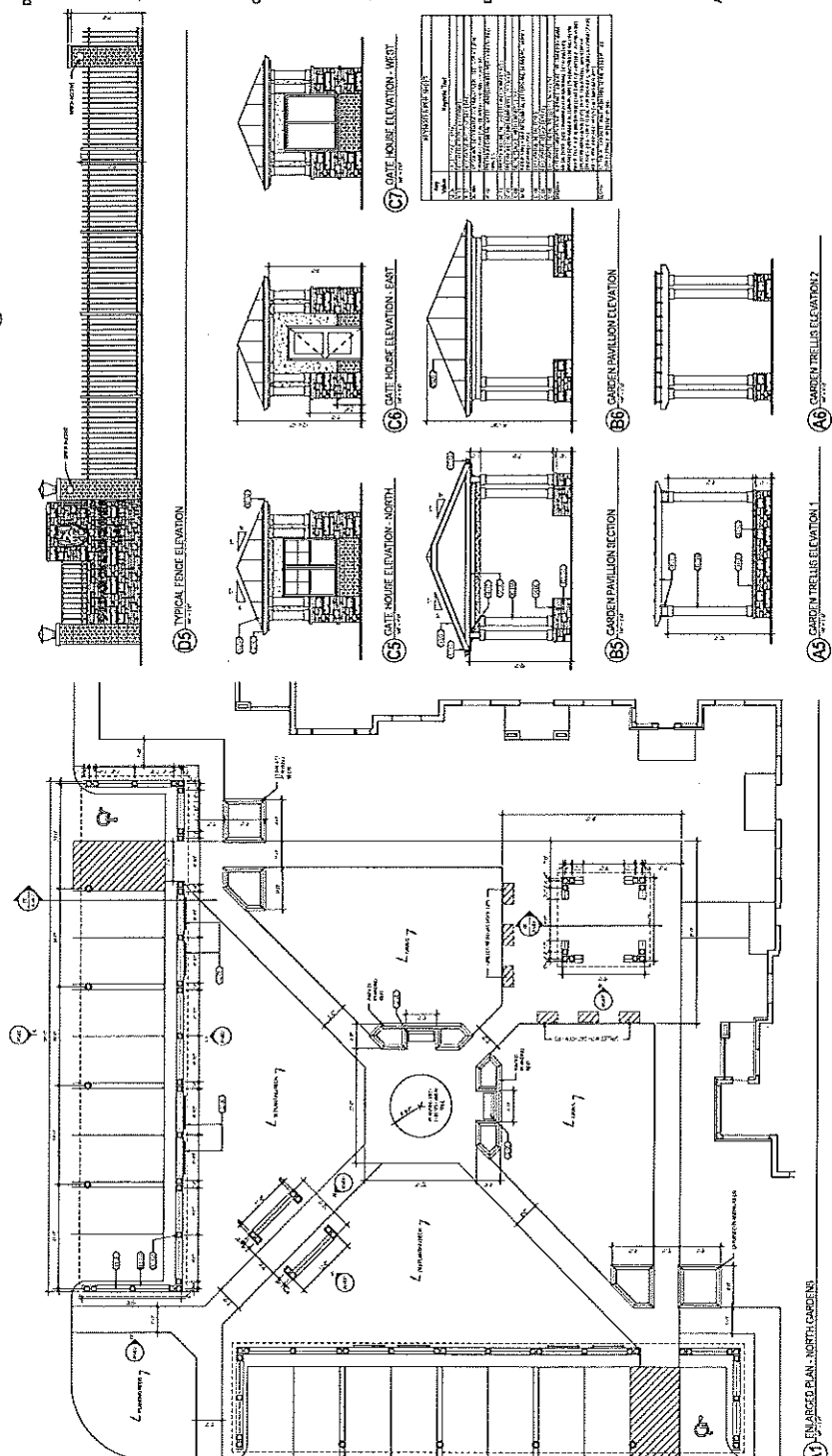
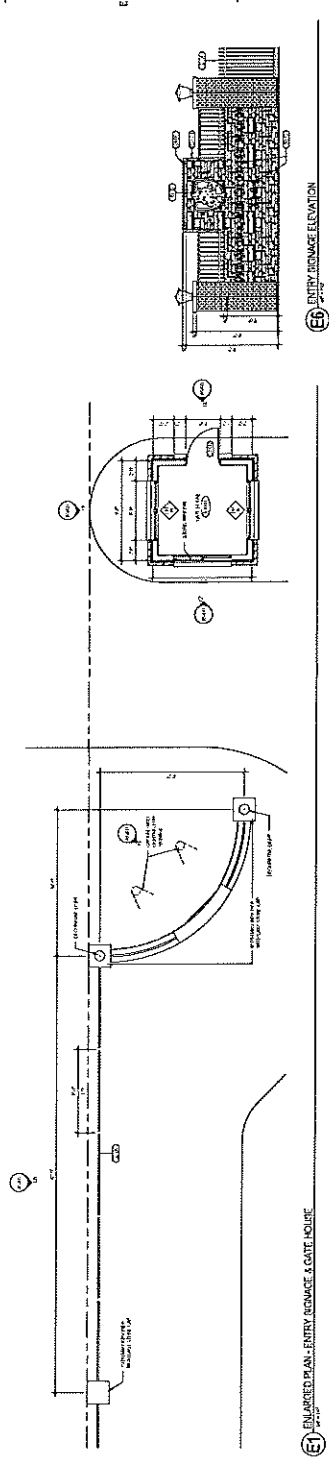


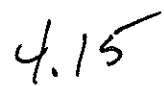
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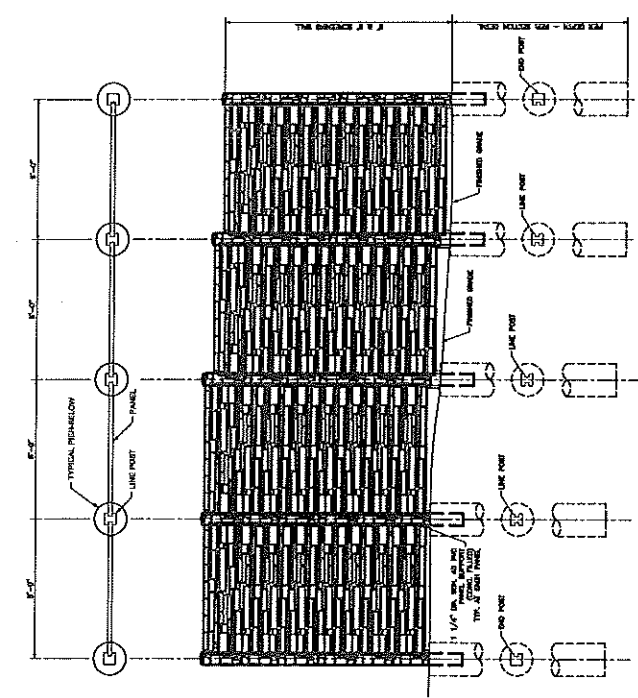
C1 SOUTH ELEVATION

4.13

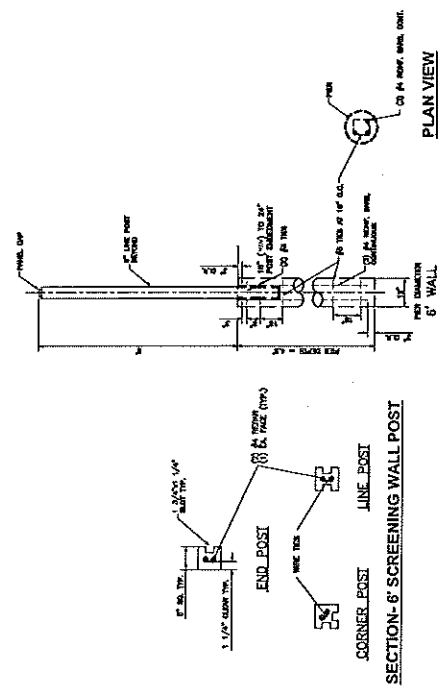
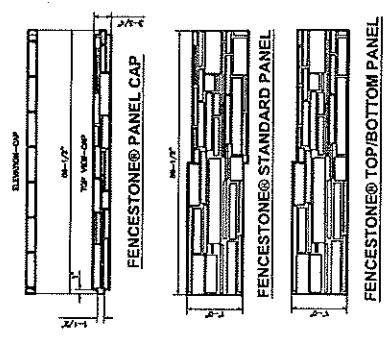




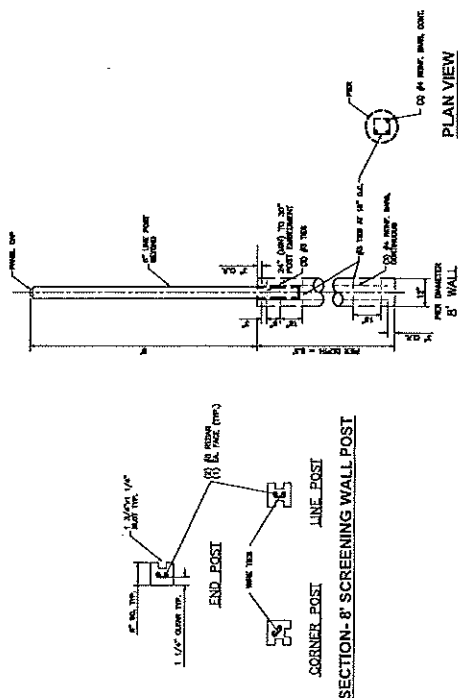
THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO EXISTENCE OF THE SCREENING WALL AND PIER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO EXISTENCE OF THE SCREENING WALL AND PIER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO EXISTENCE OF THE SCREENING WALL AND PIER.



ELEVATION - 6' & 8' SCREENING WALL AND PIER



SECTION - 6' SCREENING WALL AND PIER



SECTION - 8' SCREENING WALL AND PIER

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE
1	PRECAST CONCRETE SCREENING WALL			
2	STRUCTURAL			
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ARTISAN PRECAST, INC.
1180 S. BEVELL DR. STE. 608
LOS ANGELES, CA 90035
(310) 556-3200

\$1.0

4.16

PLAT WAIVER

September 15, 2010

BOA 21134 - (9408) (CD 6)
11932 East 14th Street South

The platting requirement is being triggered by a variance to reduce a setback for a church use and extension.

Staff provides the following information from TAC at their September 2, 2010 meeting:

ZONING:

- TMAPC Staff: The property has been previously platted.

STREETS:

- Right-of-way dedication required for 25 foot radius at intersection of 14th Street and 121st East Avenue. Sidewalks required on 14th Street and 121st East Avenue.

SEWER:

- No comment.

WATER:

- No comment.

STORM DRAIN:

- No comment.

FIRE:

- No comment.

UTILITIES:

- No comment.

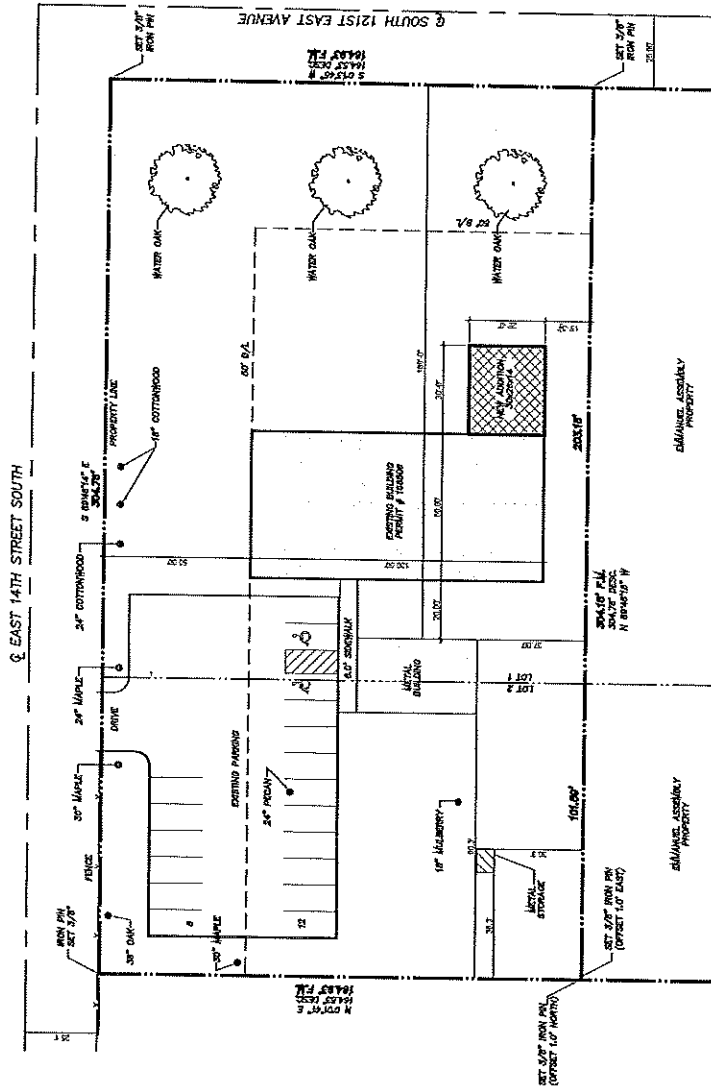
Staff recommends **APPROVAL** of the plat waiver for the previously platted property.

A YES answer to the following 3 questions would generally be FAVORABLE to a plat waiver:

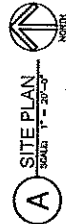
- | | Yes | NO |
|---|-----|----|
| 1. Has Property previously been platted? | X | |
| 2. Are there restrictive covenants contained in a previously filed plat? | X | |
| 3. Is property adequately described by surrounding platted properties or street right-of-way? | X | |

A YES answer to the remaining questions would generally NOT be favorable to a plat waiver:

	YES	NO
4. Is right-of-way dedication required to comply with Major Street and Highway Plan?	X	
5. Would restrictive covenants be required to be filed by separate instrument if the plat were waived?		X
6. Infrastructure requirements:		
a) Water		
i. Is a main line water extension required?		X
ii. Is an internal system or fire line required?		X
iii. Are additional easements required?		X
b) Sanitary Sewer		
i. Is a main line extension required?		X
ii. Is an internal system required?		X
iii. Are additional easements required?		X
c) Storm Sewer		
i. Is a P.F.P.I. required?		X
ii. Is an Overland Drainage Easement required?		X
iii. Is on site detention required?		X
iv. Are additional easements required?		X
7. Floodplain		
a) Does the property contain a City of Tulsa (Regulatory) Floodplain?		X
b) Does the property contain a F.E.M.A. (Federal) Floodplain?		X
8. Change of Access		
a) Are revisions to existing access locations necessary?		X
9. Is the property in a P.U.D.?		X
a) If yes, was plat recorded for the original P.U.D.		
10. Is this a Major Amendment to a P.U.D.?		X
a) If yes, does the amendment make changes to the proposed physical development of the P.U.D.?		
11. Are mutual access easements needed to assure adequate access to the site?		X
12. Are there existing or planned medians near the site which would necessitate additional right-of-way dedication or other special considerations?		X



LEGAL DESCRIPTION
THE NORTH 164.50' FEET OF LOT ONE (1), AND THE NORTH 164.50' FEET OF LOT TWO (2), AND THE NORTH 164.50' FEET OF LOT THREE (3), AND THE NORTH 164.50' FEET OF LOT FOUR (4), AND THE NORTH 164.50' FEET OF LOT FIVE (5), AND THE NORTH 164.50' FEET OF LOT SIX (6), AND THE NORTH 164.50' FEET OF LOT SEVEN (7), AND THE NORTH 164.50' FEET OF LOT EIGHT (8), AND THE NORTH 164.50' FEET OF LOT NINE (9), AND THE NORTH 164.50' FEET OF LOT TEN (10), AND THE NORTH 164.50' FEET OF LOT ELEVEN (11), AND THE NORTH 164.50' FEET OF LOT TWELVE (12), AND THE NORTH 164.50' FEET OF LOT THIRTEEN (13), AND THE NORTH 164.50' FEET OF LOT FOURTEEN (14), AND THE NORTH 164.50' FEET OF LOT FIFTEEN (15), AND THE NORTH 164.50' FEET OF LOT SIXTEEN (16), AND THE NORTH 164.50' FEET OF LOT SEVENTEEN (17), AND THE NORTH 164.50' FEET OF LOT EIGHTEEN (18), AND THE NORTH 164.50' FEET OF LOT NINETEEN (19), AND THE NORTH 164.50' FEET OF LOT TWENTY (20), AND THE NORTH 164.50' FEET OF LOT TWENTY-ONE (21), AND THE NORTH 164.50' FEET OF LOT TWENTY-TWO (22), AND THE NORTH 164.50' FEET OF LOT TWENTY-THREE (23), AND THE NORTH 164.50' FEET OF LOT TWENTY-FOUR (24), AND THE NORTH 164.50' FEET OF LOT TWENTY-FIVE (25), AND THE NORTH 164.50' FEET OF LOT TWENTY-SIX (26), AND THE NORTH 164.50' FEET OF LOT TWENTY-SEVEN (27), AND THE NORTH 164.50' FEET OF LOT TWENTY-EIGHT (28), AND THE NORTH 164.50' FEET OF LOT TWENTY-NINE (29), AND THE NORTH 164.50' FEET OF LOT THIRTY (30), AND THE NORTH 164.50' FEET OF LOT THIRTY-ONE (31), AND THE NORTH 164.50' FEET OF LOT THIRTY-TWO (32), AND THE NORTH 164.50' FEET OF LOT THIRTY-THREE (33), AND THE NORTH 164.50' FEET OF LOT THIRTY-FOUR (34), AND THE NORTH 164.50' FEET OF LOT THIRTY-FIVE (35), AND THE NORTH 164.50' FEET OF LOT THIRTY-SIX (36), AND THE NORTH 164.50' FEET OF LOT THIRTY-SEVEN (37), AND THE NORTH 164.50' FEET OF LOT THIRTY-EIGHT (38), AND THE NORTH 164.50' FEET OF LOT THIRTY-NINE (39), AND THE NORTH 164.50' FEET OF LOT FORTY (40), AND THE NORTH 164.50' FEET OF LOT FORTY-ONE (41), AND THE NORTH 164.50' FEET OF LOT FORTY-TWO (42), AND THE NORTH 164.50' FEET OF LOT FORTY-THREE (43), AND THE NORTH 164.50' FEET OF LOT FORTY-FOUR (44), AND THE NORTH 164.50' FEET OF LOT FORTY-FIVE (45), AND THE NORTH 164.50' FEET OF LOT FORTY-SIX (46), AND THE NORTH 164.50' FEET OF LOT FORTY-SEVEN (47), AND THE NORTH 164.50' FEET OF LOT FORTY-EIGHT (48), AND THE NORTH 164.50' FEET OF LOT FORTY-NINE (49), AND THE NORTH 164.50' FEET OF LOT FIFTY (50), AND THE NORTH 164.50' FEET OF LOT FIFTY-ONE (51), AND THE NORTH 164.50' FEET OF LOT FIFTY-TWO (52), AND THE NORTH 164.50' FEET OF LOT FIFTY-THREE (53), AND THE NORTH 164.50' FEET OF LOT FIFTY-FOUR (54), AND THE NORTH 164.50' FEET OF LOT FIFTY-FIVE (55), AND THE NORTH 164.50' FEET OF LOT FIFTY-SIX (56), AND THE NORTH 164.50' FEET OF LOT FIFTY-SEVEN (57), AND THE NORTH 164.50' FEET OF LOT FIFTY-EIGHT (58), AND THE NORTH 164.50' FEET OF LOT FIFTY-NINE (59), AND THE NORTH 164.50' FEET OF LOT SIXTY (60), AND THE NORTH 164.50' FEET OF LOT SIXTY-ONE (61), AND THE NORTH 164.50' FEET OF LOT SIXTY-TWO (62), AND THE NORTH 164.50' FEET OF LOT SIXTY-THREE (63), AND THE NORTH 164.50' FEET OF LOT SIXTY-FOUR (64), AND THE NORTH 164.50' FEET OF LOT SIXTY-FIVE (65), AND THE NORTH 164.50' FEET OF LOT SIXTY-SIX (66), AND THE NORTH 164.50' FEET OF LOT SIXTY-SEVEN (67), AND THE NORTH 164.50' FEET OF LOT SIXTY-EIGHT (68), AND THE NORTH 164.50' FEET OF LOT SIXTY-NINE (69), AND THE NORTH 164.50' FEET OF LOT SEVENTY (70), AND THE NORTH 164.50' FEET OF LOT SEVENTY-ONE (71), AND THE NORTH 164.50' FEET OF LOT SEVENTY-TWO (72), AND THE NORTH 164.50' FEET OF LOT SEVENTY-THREE (73), AND THE NORTH 164.50' FEET OF LOT SEVENTY-FOUR (74), AND THE NORTH 164.50' FEET OF LOT SEVENTY-FIVE (75), AND THE NORTH 164.50' FEET OF LOT SEVENTY-SIX (76), AND THE NORTH 164.50' FEET OF LOT SEVENTY-SEVEN (77), AND THE NORTH 164.50' FEET OF LOT SEVENTY-EIGHT (78), AND THE NORTH 164.50' FEET OF LOT SEVENTY-NINE (79), AND THE NORTH 164.50' FEET OF LOT EIGHTY (80), AND THE NORTH 164.50' FEET OF LOT EIGHTY-ONE (81), AND THE NORTH 164.50' FEET OF LOT EIGHTY-TWO (82), AND THE NORTH 164.50' FEET OF LOT EIGHTY-THREE (83), AND THE NORTH 164.50' FEET OF LOT EIGHTY-FOUR (84), AND THE NORTH 164.50' FEET OF LOT EIGHTY-FIVE (85), AND THE NORTH 164.50' FEET OF LOT EIGHTY-SIX (86), AND THE NORTH 164.50' FEET OF LOT EIGHTY-SEVEN (87), AND THE NORTH 164.50' FEET OF LOT EIGHTY-EIGHT (88), AND THE NORTH 164.50' FEET OF LOT EIGHTY-NINE (89), AND THE NORTH 164.50' FEET OF LOT NINETY (90), AND THE NORTH 164.50' FEET OF LOT NINETY-ONE (91), AND THE NORTH 164.50' FEET OF LOT NINETY-TWO (92), AND THE NORTH 164.50' FEET OF LOT NINETY-THREE (93), AND THE NORTH 164.50' FEET OF LOT NINETY-FOUR (94), AND THE NORTH 164.50' FEET OF LOT NINETY-FIVE (95), AND THE NORTH 164.50' FEET OF LOT NINETY-SIX (96), AND THE NORTH 164.50' FEET OF LOT NINETY-SEVEN (97), AND THE NORTH 164.50' FEET OF LOT NINETY-EIGHT (98), AND THE NORTH 164.50' FEET OF LOT NINETY-NINE (99), AND THE NORTH 164.50' FEET OF LOT ONE HUNDRED (100).



A SITE PLAN
SCALE 1" = 20'-0"

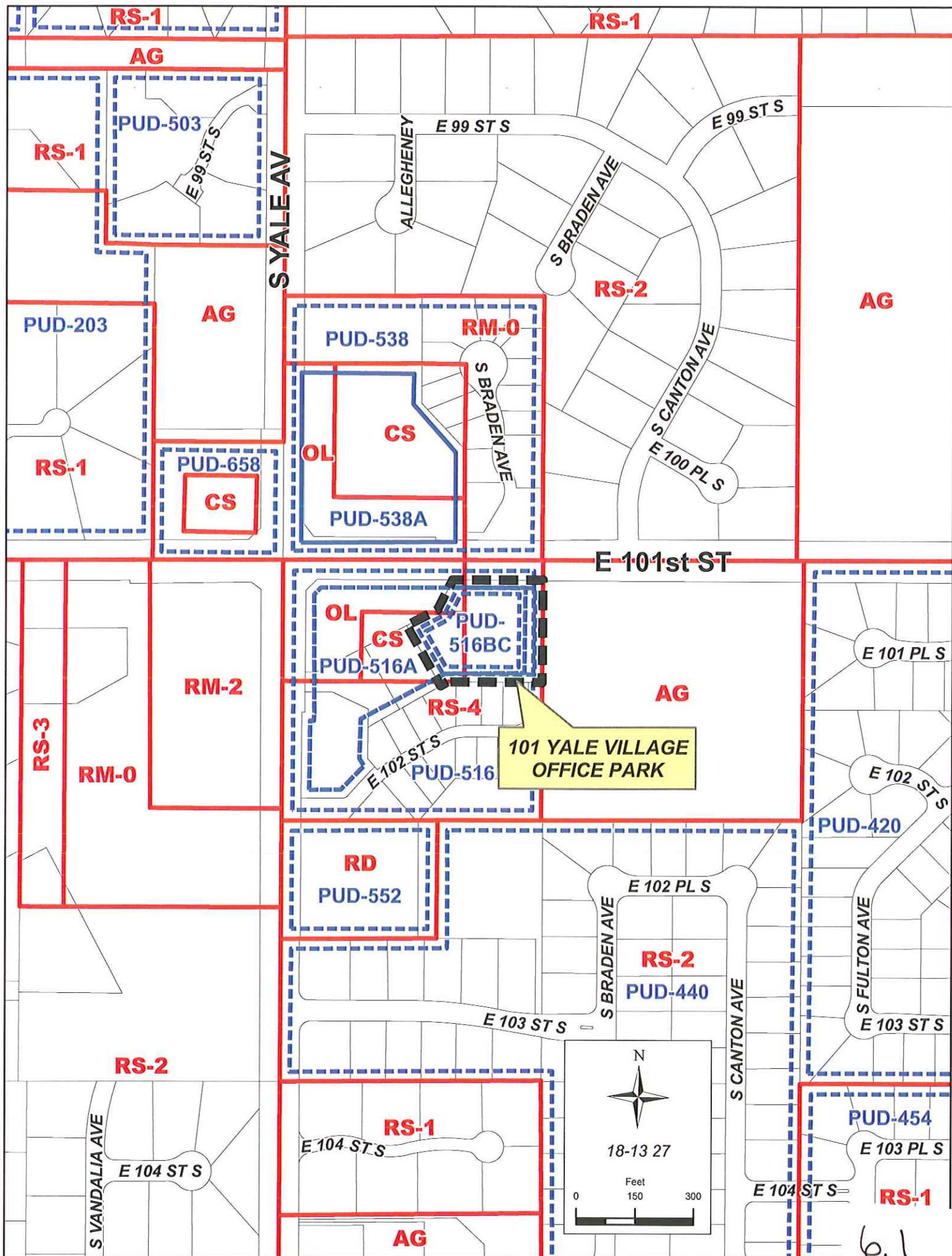
BOA-21134

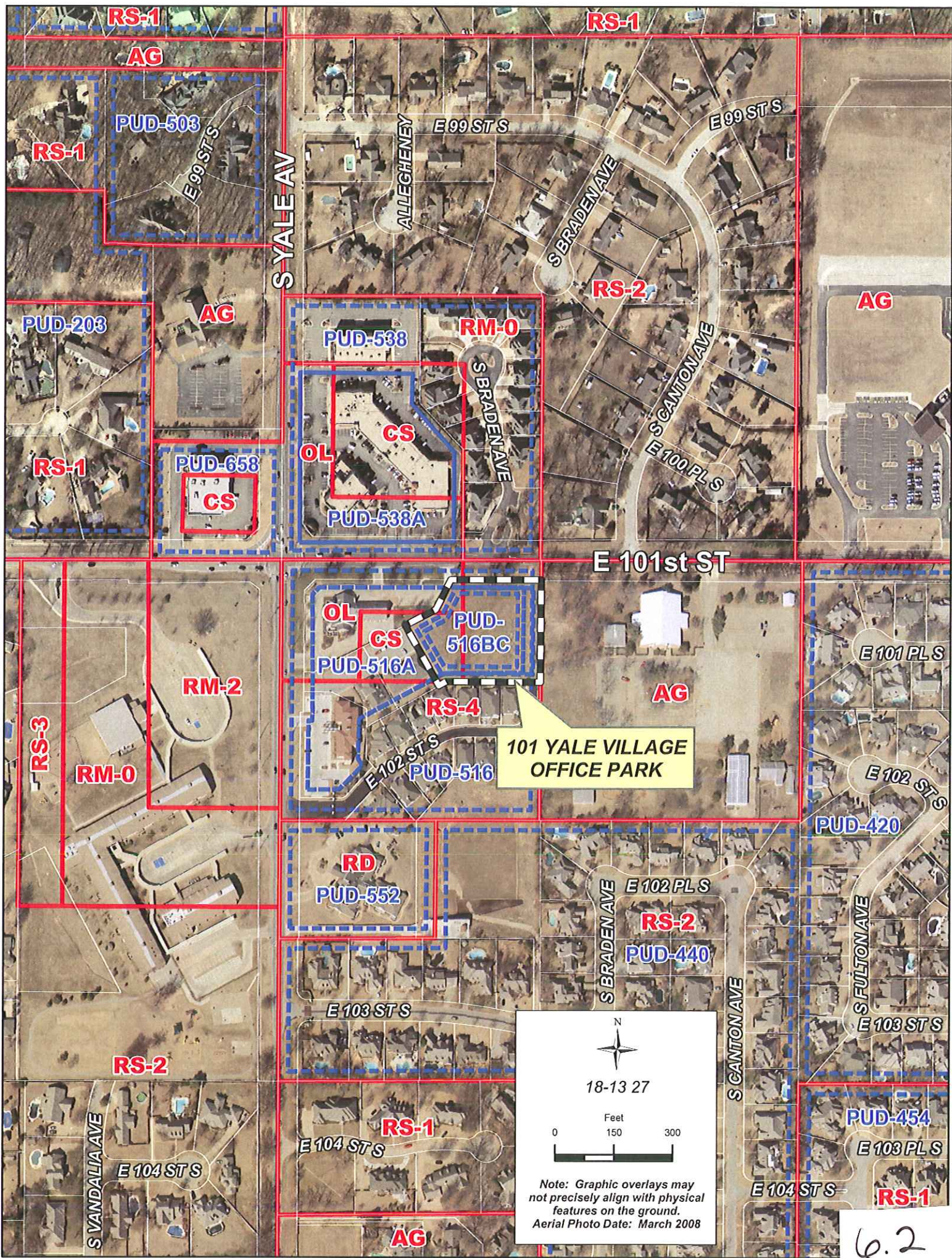
PROJECT: EMMANUEL ASSEMBLY CHURCH
CAPLE CONSTRUCTION, LLC



12000 E 14th St, S
TULSA, OKLAHOMA
530 NO. 14th St, S
DATE: 08/08/20

SP1





Note: Graphic overlays may not precisely align with physical features on the ground.
Aerial Photo Date: March 2008

6.2

MINOR SUBDIVISION PLAT

101 Yale Village Office Park - (8327) (CD 8)

East of the Southeast corner of East 101st Street South and South Yale Avenue

This plat consists of two lots, one block, on 5.44 acres.

The following issues were discussed September 2, 2010, at the Technical Advisory Committee (TAC) meetings:

1. **Zoning:** The property is zoned Planned Unit Development 516 C. All PUD standards must be shown correctly in the covenants. Building lines must reflect easements and PUD standards.
2. **Streets:** West access should be less than 21.71 feet. This distance appears to include radius of driveway curve and tangent Access should include only throat opening.
3. **Sewer:** No comment.
4. **Water:** Under "Notes" remove "All water and sanitary sewer services will be supplied and maintained by the City of Tulsa". Provide standard restrictive waterline easement language.
5. **Storm Drainage:** No comment.
6. **Utilities: Telephone, Electric, Gas, Cable, Pipeline, Others:** No comment.
7. **Other: Fire:** No comment.

GIS: Tie the plat from a Section corner using bearings and distances from a labeled point of commencement to a labeled point of beginning. Add POC and POB to legend. Please provide a closer Basis of Bearings. Show location map with subdivisions within the mile. Show "Life Christian Center". Show the date of preparation for the plat in lower right hand corner. Submit subdivision data control sheet. Please include in the legal description a metes and bounds description around the whole property matching the bearings and distances shown on the face of the plat. Then describe lots individually if necessary replacing phrases like "Due West" with actual bearings (degrees, minutes and seconds) and distances. The blanks for addresses and the vacated mutual access easement document number must be filled in with the correct information. The 20-foot building line and utility easement along the east side cannot be allowed in the 20-foot restrictive waterline easement. Change the building line to 30 feet and the utility easement to 10 feet. This will still be in compliance with Section I.A.4 of the covenants. Infrastructure Development Process (IDP) #5333 plans have been approved.

Staff recommends **APPROVAL** of the Minor Subdivision plat subject to the TAC comments and the special and standard conditions below.

Waivers of Subdivision Regulations:

1. None requested.

Special Conditions:

1. The concerns of the Public Works Department and Development Services staff must be taken care of to their satisfaction.

Standard Conditions:

1. Utility easements shall meet the approval of the utilities. Coordinate with Subsurface Committee if underground plant is planned. Show additional easements as required. Existing easements shall be tied to or related to property line and/or lot lines.
2. Water and sanitary sewer plans shall be approved by the Public Works Department prior to release of final plat. (Include language for W/S facilities in covenants.)
3. Pavement or landscape repair within restricted water line, sewer line, or utility easements as a result of water or sewer line or other utility repairs due to breaks and failures shall be borne by the owner(s) of the lot(s).
4. Any request for creation of a Sewer Improvement District shall be submitted to the Public Works Department Engineer prior to release of final plat.
5. Paving and/or drainage plans (as required) shall be approved by the Public Works Department.
6. Any request for a Privately Financed Public Improvement (PFPI) shall be submitted to the Public Works Department.
7. A topography map shall be submitted for review by TAC (Subdivision Regulations). (Submit with drainage plans as directed.)
8. Street names shall be approved by the Public Works Department and shown on plat.
9. All curve data, including corner radii, shall be shown on final plat as applicable.
10. Bearings, or true N/S, etc., shall be shown on perimeter of land being platted or other bearings as directed by the County Engineer.
11. All adjacent streets, intersections and/or widths thereof shall be shown on plat.
12. It is recommended that the developer coordinate with the Public Works Department during the early stages of street construction concerning the ordering, purchase and installation of street marker signs. (Advisory, not a condition for plat release.)

13. It is recommended that the applicant and/or his engineer or developer coordinate with the Tulsa City/County Health Department for solid waste disposal, particularly during the construction phase and/or clearing of the project. Burning of solid waste is prohibited.
14. The method of sewage disposal and plans therefor shall be approved by the City/County Health Department. [Percolation tests (if applicable) are required prior to preliminary approval of plat.]
15. The owner(s) shall provide the following information on sewage disposal system if it is to be privately operated on each lot: type, size and general location. (This information to be included in restrictive covenants on plat.)
16. The method of water supply and plans therefor shall be approved by the City/County Health Department.
17. All lots, streets, building lines, easements, etc., shall be completely dimensioned.
18. The key or location map shall be complete.
19. A Corporation Commission letter, Certificate of Non-Development, or other records as may be on file, shall be provided concerning any oil and/or gas wells before plat is released. (A building line shall be shown on plat on any wells not officially plugged. If plugged, provide plugging records.)
20. A "Letter of Assurance" regarding installation of improvements shall be provided prior to release of final plat. (Including documents required under 3.6.5 Subdivision Regulations.)
21. Applicant is advised of his responsibility to contact the U.S. Army Corps of Engineers regarding Section 404 of the Clean Waters Act.
22. All other Subdivision Regulations shall be met prior to release of final plat.
23. All PUD standards and conditions shall be included in the covenants of the plat and adequate mechanisms established to assure initial and continued compliance with the standards and conditions.
24. Private streets shall be built to City or County standards (depending upon the jurisdiction in which the plat is located) and inspected and accepted by same prior to issuance of any building permits in the subdivision.

PLANNED UNIT DEVELOPMENT NO. 516-C

101 Yale Village Office Park

A RESUBDIVISION OF LOT NINETEEN (19) AND A PART OF LOT SEVENTEEN (17), BLOCK ONE (1), 101 YALE VILLAGE, A SUBDIVISION IN THE CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF (PLAT NO. 5055).



Legend

- BL. BUILDING RETRACTION LINE
- F.E. FENCE EASEMENT
- L.M.A. LIMITS OF NO ACCESS
- M.A.C. MUTUAL ACCESS EASEMENT
- R.W. RESTRICTED WATERLINE EASEMENT
- U.C. UTILITY EASEMENT

Owner/Developer

101ST & YALE PROPERTIES, LLC
2001 EAST 81ST STREET, SUITE D-1
TULSA, OKLAHOMA 74123
PHONE: (918) 244-7071
FAX: (918) 244-7071
CONTACT: MR. CLINT BRUMBLE

Engineer/Surveyor

HRACK, INC.
1913 WEST TACOMA, SUITE A
BROKEN ARROW, OKLAHOMA 74012
PHONE: (918) 255-2524
FAX: (918) 255-2524
EMAIL: AVALER@HRACK.COM
C.A.J.A.S. LICENSE: JUNE 30, 2011
P.L.L.C. 1913WESTTACOMA.COM

Benchmark

556. REMARK: 12" ALUMINUM CAP-FLUSH-SET IN CONCRETE. BENCHMARK IS LOCATED AT THE CORNER OF 101ST ST. AND WEST OF 5-TH AVENUE RD. APPROX. 0.50 MILE. ELEVATION = 740.555 (NAVD 1983)

Site Benchmark

CHECKED "X" ON WEST CURB RETURN OF WESTERN SITE ENTRANCE. ELEVATION = 747.07 (NAVD 1983)

Notes

ALL EASEMENTS AND BUILDING LINES SHOWN HEREON ARE EXISTING, UNLESS OTHERWISE NOTED. AS RECORDED ON PLAT 101 YALE VILLAGE, PLAT NO. 5055.

Basis of Bearings

ASSUMED N 89°30'15" W ALONG SOUTH LINE OF THE SW/4 OF SECTION 19, T-18N, R-15E

Monumentation

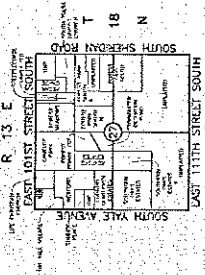
ALL CORNER BENCHMARK HEREON WERE SET USING A 3/8" X 1/2" STEEL PIN WITH A PLASTIC CAP STAMPED "P.L.S. 1987 AT ALL CORNERS."

Notes

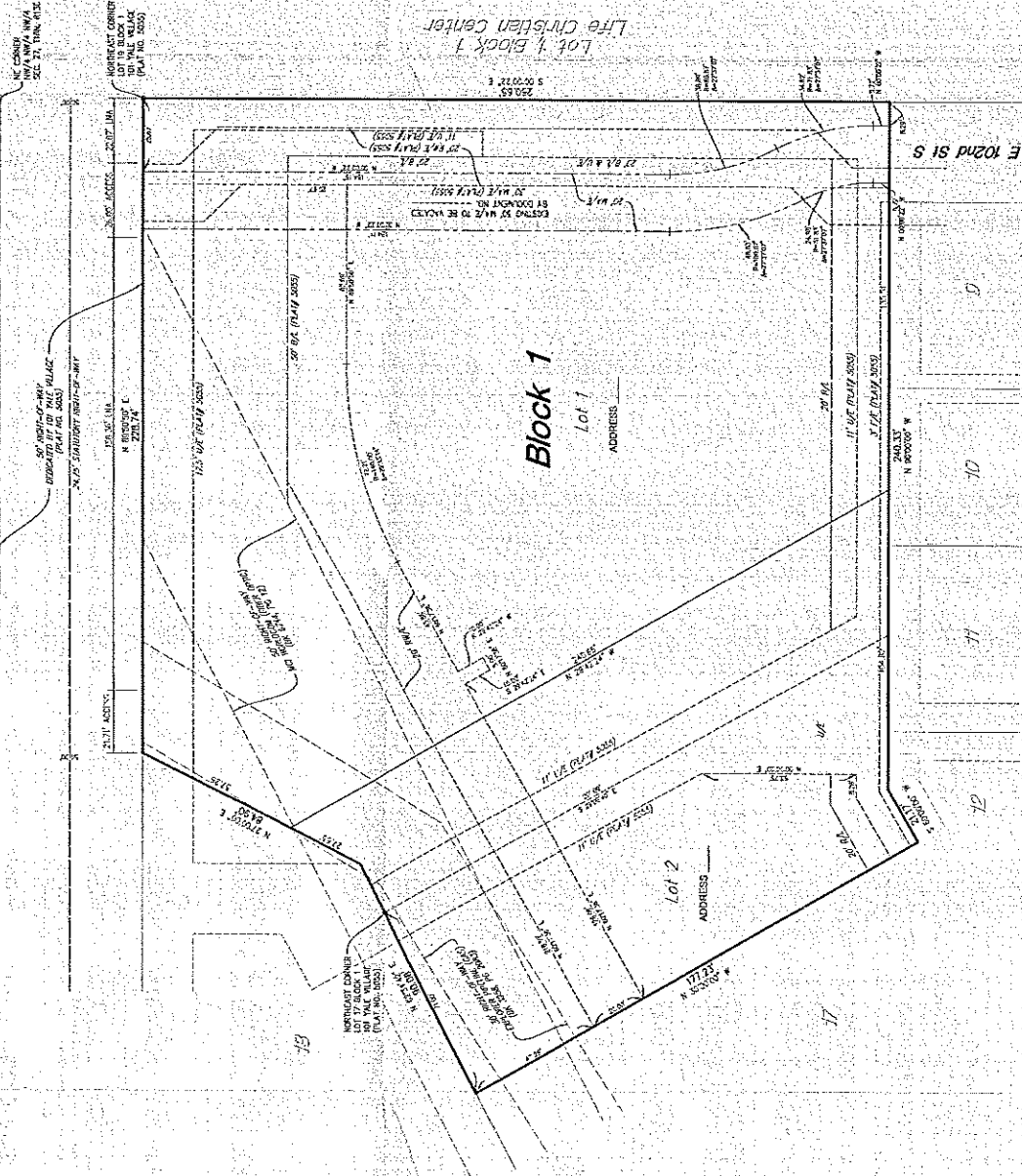
ALL STREET RIGHT-OF-WAY SHALL BE DEDICATED AS PUBLIC STREETS BY THIS PLAT.
ADDRESS SHOWN ON THE PLAT WERE ACCURATE AT THE TIME OF SURVEY. THE SURVEYOR DOES NOT WARRANT THAT THE ADDRESS WILL REMAIN THE SAME OR SHOULD NEVER BE RELIED ON IN PLACE OF LEGAL DESCRIPTION.
ALL WATER AND SANITARY SEWER SERVICES WILL BE SUPPLIED AND MAINTAINED BY THE CITY OF TULSA.

Stormwater Detention

STORMWATER DETENTION FOR THIS PLATTED AREA IS PROVIDED OFFSITE IN RESERVE "A" OF 101 YALE VILLAGE (PLAT NO. 5055)



East 101st Street South



Plot Number	FINAL PLAT
CONFIDENTIAL OF APPROVAL	
I hereby certify that this plat was approved by the Tulsa Metropolitan Area Planning Commission on	
DATE: 11/14/2009	
This plat is void if this is not filed in the Office of the County Clerk on or before	
COUNTY or CITY ENGINEER	APPROVED
by the	Council of the City of Tulsa,
Chairman	
Mayor	
City Clerk	
Approved: City Attorney	

SEAL OF OKLAHOMA

1. Before the City Clerk, Tulsa, Oklahoma, on this day of the month of November, 2009, the following is a true and correct copy of a final plat of a subdivision of land in Tulsa County, Oklahoma, to-wit:

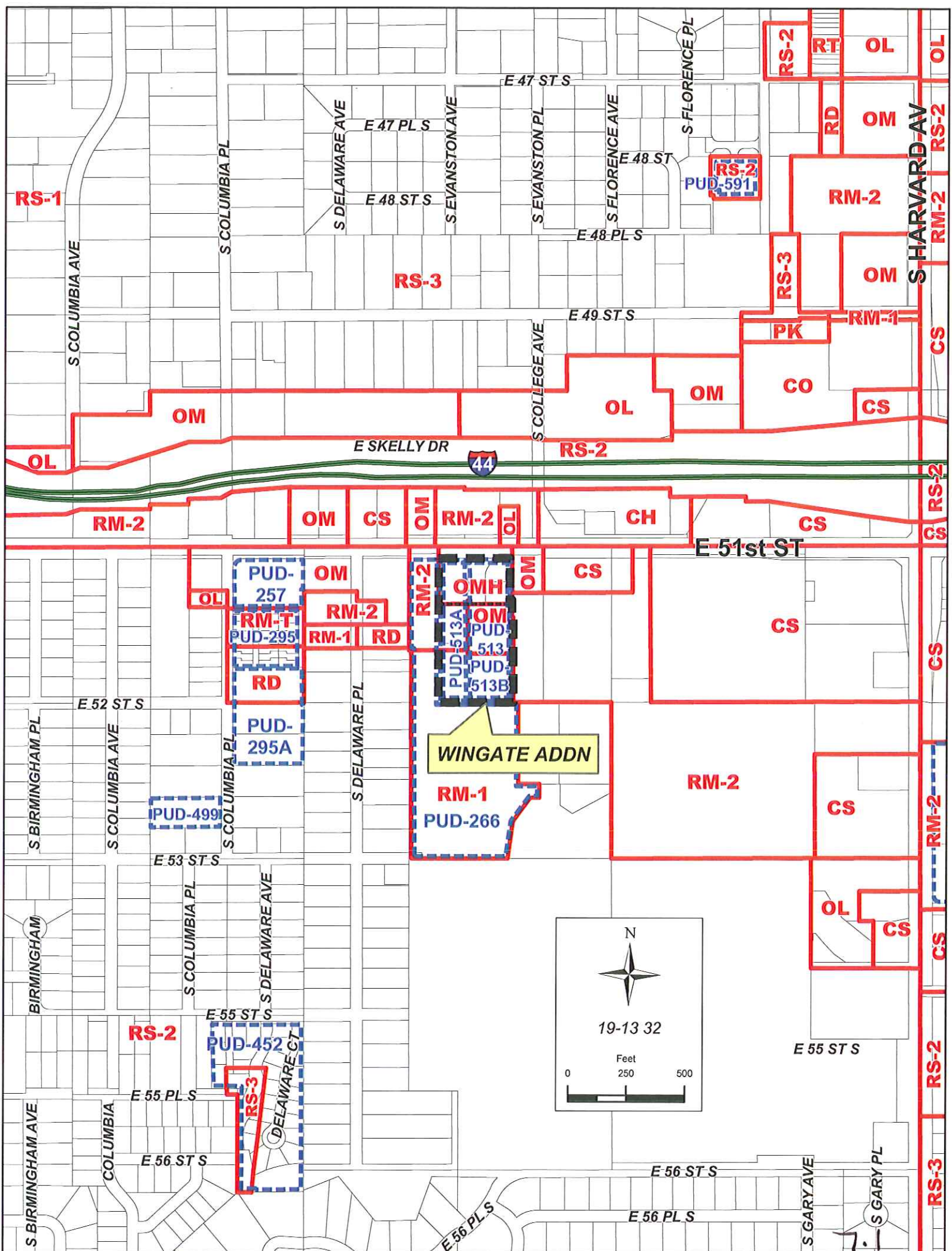
101 YALE VILLAGE, TULSA COUNTY, OKLAHOMA

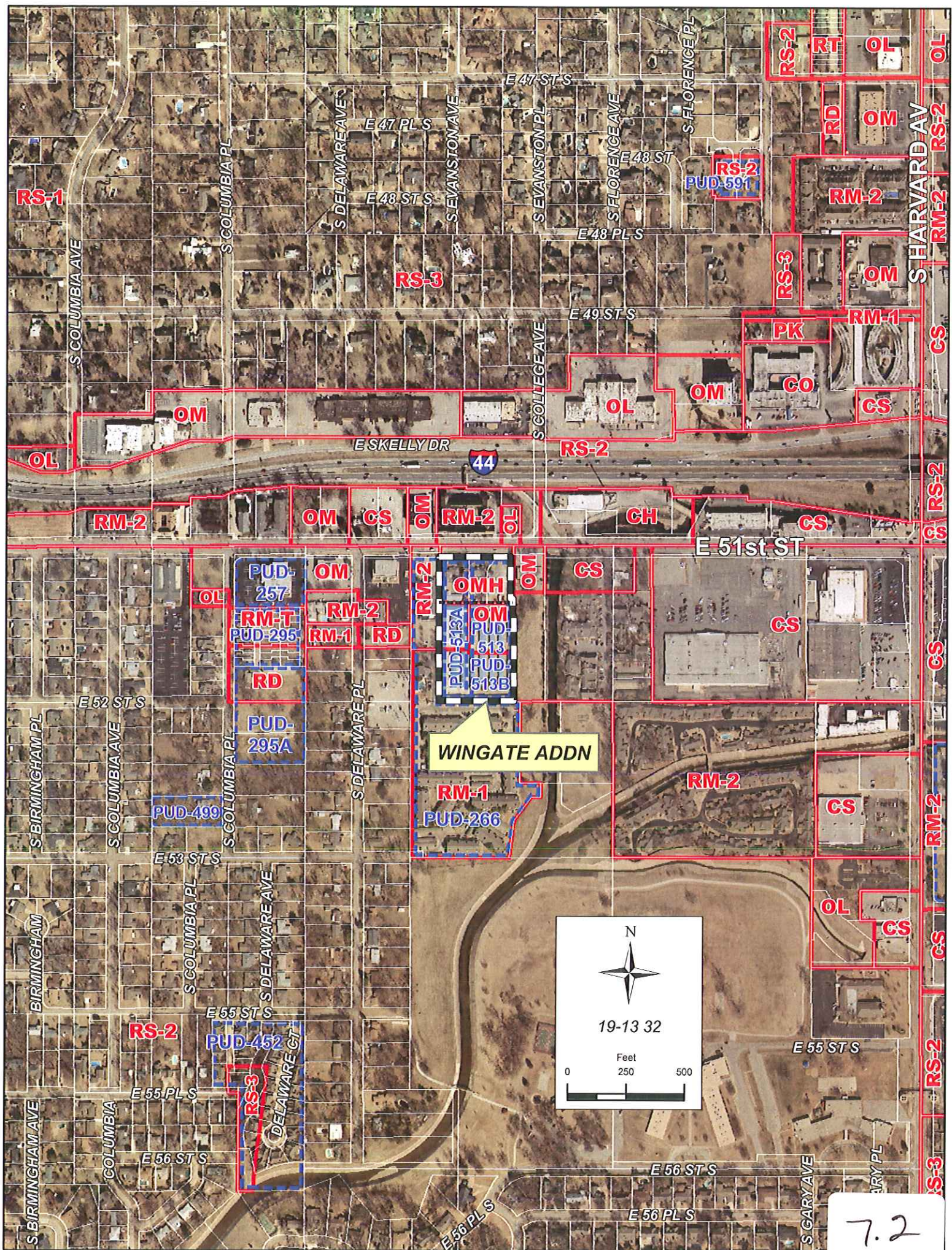
FILED

COUNTY TREASURER STAMP

PLAT NO. 516-C
101 Yale Village Office Park
Sheet 1 of 1

6.6





PRELIMINARY SUBDIVISION PLAT

Wingate Addition - (9332) (CD 9)

West of Southwest corner of East 51st Street and South Harvard Avenue

This plat consists of two lots, one block, on 4.4 acres.

The following issues were discussed September 2, 2010, at the Technical Advisory Committee (TAC) meetings:

1. **Zoning:** The property is zoned Planned Unit Development 513 B. Building lines must comply with PUD standards. Check sign standards per PUD. PUD standards must be shown in the covenants.
2. **Streets:** For 51st Street right-of-way reference plat number or book and page number.
3. **Sewer:** You can not abandon the existing sanitary sewer line and its associated easement by re-platting the property. Before the existing sanitary sewer line can be abandoned and the easement closed, the proposed relocation, as shown on the conceptual plan, must be constructed, accepted by the City of Tulsa, and placed in service. Then the easement closure must go through the utility coordinator to be processed. Show the existing 11-foot utility easement, along the east boundary of lot 1, as platted in the Storage Station Amended plat. The sun deck (per site plan) encroaches into the utility easement, and it will not be allowed to interfere with the use of the easement.
4. **Water:** Use standard language for Section C.2. Label 50-foot building line, utility easement, and mutual access easement along the eastside of property. The building line on the west side of Lot 1 should be moved to the edge of the utility easement (20 feet). Label the utility easement of the west side of Lot 2 as utility easement and building line. Add an inline gate valve south of fire hydrant. An IDP (infrastructure development plan) water main extension will be required to serve this property. A 36 diameter meter is allowed if a Double Detector Check Assembly is installed inside the building. The western proposed water mainline needs four feet of separation between gas and telephone lines.
5. **Storm Drainage:** Drainage crossing lot lines becomes public drainage and must be conveyed in an easement, either storm sewer or overland drainage or both. Buildings cannot be constructed on these easements. Section I.C.2: Sanitary sewer easements and drainage easements must be added to the first sentence. Add standard language for roof drainage and overland drainage easement if the drainage is to be conveyed on the surface. How is the drainage from Lot 1 conveyed around or through the existing buildings on Lot 2 to get to the existing inlets?
6. **Utilities:** Telephone, Electric, Gas, Cable, Pipeline, Others: No comment.

7. **Other: Fire:** Fire department connection shall be located on the address side of the building within 100 feet of a fire hydrant.

GIS: Provide the e-mail address for the surveyor. Provide the e-mail address for the engineer. Provide a written scale under the graphic scale. Tie the plat from a Section corner using bearings and distances from a labeled point of commencement to a labeled point of beginning. Add POC and POB to the legend. For the basis of bearing, state the bearing in degrees, minutes and seconds, along with the description of it. On the face of the plat where a "d" is shown in the bearing description replace with a degree symbol. Please make note on the face of the plat the size, location, description and identification of all monuments to be set or found in making the survey, shown to assure the reestablishment of any point or line of the survey. Submit a subdivision control data form, last page of the subdivision regulations. The legal description should describe the whole property being platted first. Then describe Lot 1 and Lot 2 individually if necessary. Please remove the contours from the face of plat and place them on the conceptual plan. Do not show the previous lot lines on the final plat since they will not exist once this plat is filed.

Staff recommends **APPROVAL** of the Preliminary Subdivision plat subject to the TAC comments and the special and standard conditions below.

Waivers of Subdivision Regulations:

1. None requested.

Special Conditions:

1. The concerns of the Public Works Department and Development Services staff must be taken care of to their satisfaction.

Standard Conditions:

1. Utility easements shall meet the approval of the utilities. Coordinate with Subsurface Committee if underground plant is planned. Show additional easements as required. Existing easements shall be tied to or related to property line and/or lot lines.
2. Water and sanitary sewer plans shall be approved by the Public Works Department prior to release of final plat. (Include language for W/S facilities in covenants.)
3. Pavement or landscape repair within restricted water line, sewer line, or utility easements as a result of water or sewer line or other utility repairs due to breaks and failures shall be borne by the owner(s) of the lot(s).
4. Any request for creation of a Sewer Improvement District shall be submitted to the Public Works Department Engineer prior to release of final plat.
5. Paving and/or drainage plans (as required) shall be approved by the Public Works Department.

6. Any request for a Privately Financed Public Improvement (PFPI) shall be submitted to the Public Works Department.
7. A topography map shall be submitted for review by TAC (Subdivision Regulations). (Submit with drainage plans as directed.)
8. Street names shall be approved by the Public Works Department and shown on plat.
9. All curve data, including corner radii, shall be shown on final plat as applicable.
10. Bearings, or true N/S, etc., shall be shown on perimeter of land being platted or other bearings as directed by the County Engineer.
11. All adjacent streets, intersections and/or widths thereof shall be shown on plat.
12. It is recommended that the developer coordinate with the Public Works Department during the early stages of street construction concerning the ordering, purchase and installation of street marker signs. (Advisory, not a condition for plat release.)
13. It is recommended that the applicant and/or his engineer or developer coordinate with the Tulsa City/County Health Department for solid waste disposal, particularly during the construction phase and/or clearing of the project. Burning of solid waste is prohibited.
14. The method of sewage disposal and plans therefor shall be approved by the City/County Health Department. [Percolation tests (if applicable) are required prior to preliminary approval of plat.]
15. The owner(s) shall provide the following information on sewage disposal system if it is to be privately operated on each lot: type, size and general location. (This information to be included in restrictive covenants on plat.)
16. The method of water supply and plans therefor shall be approved by the City/County Health Department.
17. All lots, streets, building lines, easements, etc., shall be completely dimensioned.
18. The key or location map shall be complete.
19. A Corporation Commission letter, Certificate of Non-Development, or other records as may be on file, shall be provided concerning any oil and/or gas wells before plat is released. (A building line shall be shown on plat on any wells not officially plugged. If plugged, provide plugging records.)
20. A "Letter of Assurance" regarding installation of improvements shall be provided prior to release of final plat. (Including documents required under 3.6.5 Subdivision Regulations.)

21. Applicant is advised of his responsibility to contact the U.S. Army Corps of Engineers regarding Section 404 of the Clean Waters Act.
22. All other Subdivision Regulations shall be met prior to release of final plat.
23. All PUD standards and conditions shall be included in the covenants of the plat and adequate mechanisms established to assure initial and continued compliance with the standards and conditions.
24. Private streets shall be built to City or County standards (depending upon the jurisdiction in which the plat is located) and inspected and accepted by same prior to issuance of any building permits in the subdivision.

Preliminary Subdivision Plat WINGATE ADDITION

PUD 513-B

A Replat of Lots 1, 2, 3, 4, 5, 6 and 7, Block 1, STORAGE STATION AMENDED,
an Addition in the City of Tulsa, Tulsa County, State of Oklahoma

A tract of land in the North Half (N/2) of the Northwest Quarter (NW/4) of
the Northeast Quarter (NE/4) of Section Thirty-Two (32), Township
Nineteen (19) North, Range Thirteen (13) East

PLAT NO.	FINAL PLAT
	CERTIFICATE OF APPROVAL
	I hereby certify that the above described
	Commission on
	THAT THE OFFICIAL
	The instrument is valid and is recorded
	below
	COUNTY OR CITY ENGINEER
	APPROVED
	by
	Chairman
	Mayor
	Attest: City Clerk
	Approved: City Attorney

LOT AREA

Lot 1 50.023 57/1,369 AC
Lot 2 132.072 57/3,046 AC

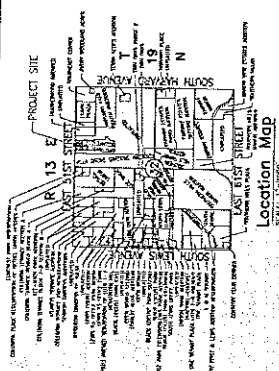
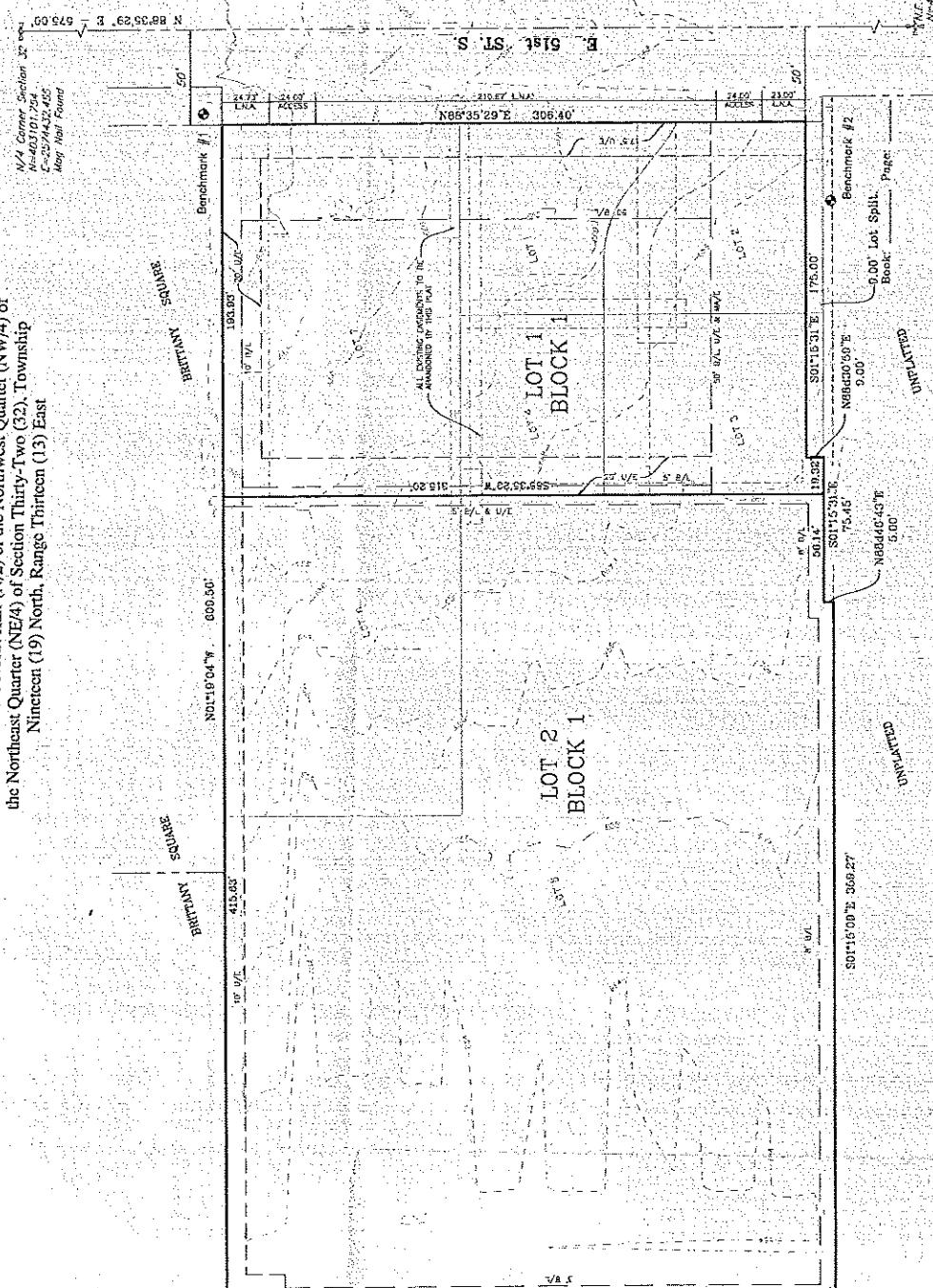
FLOOD ZONE

The property described herein is located
in flood zone "X" as designated by
the Federal Emergency Management
Agency, effective date August 3, 2009.
The property described herein is not
in a flood zone as designated by the
Floodplain Map Act, dated January
2008.

BENCHMARKS

Benchmark #1
Set on N.E. corner of ONG Plat
N-403101-754
E-2574432-455
D-403101-754

Benchmark #2
Set on Top of Oak
N-403101-754
E-2574432-455
D-403101-754



OWNER
Storage Station of Tulsa
745 South Main
Suite 109
Tulsa, OK 74120
(918) 743-9702

OWNER
Jigmo Inc., LLC
3407 West 10th Street South
Tulsa, OK 74106
(918) 202-7205

SURVEYOR

HAROLD & ASSOCIATES
2001 South 114th East Avenue
Tulsa, Oklahoma 74128
(918) 234-4859
Certified Surveyor
Expires June 30, 2011

ENGINEER

KIRBY Engineering, Inc.
1433 East 4th Avenue
Tulsa, Oklahoma 74103
(918) 712-8788
Certified Engineer
Expires June 30, 2011

BASIS OF BEARING

The bearings shown herein are based
on the National State Plane Coordinate
System, NAD 1983 (1983).

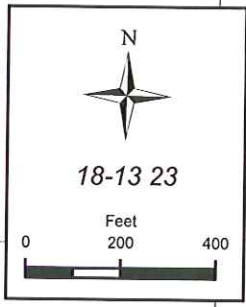
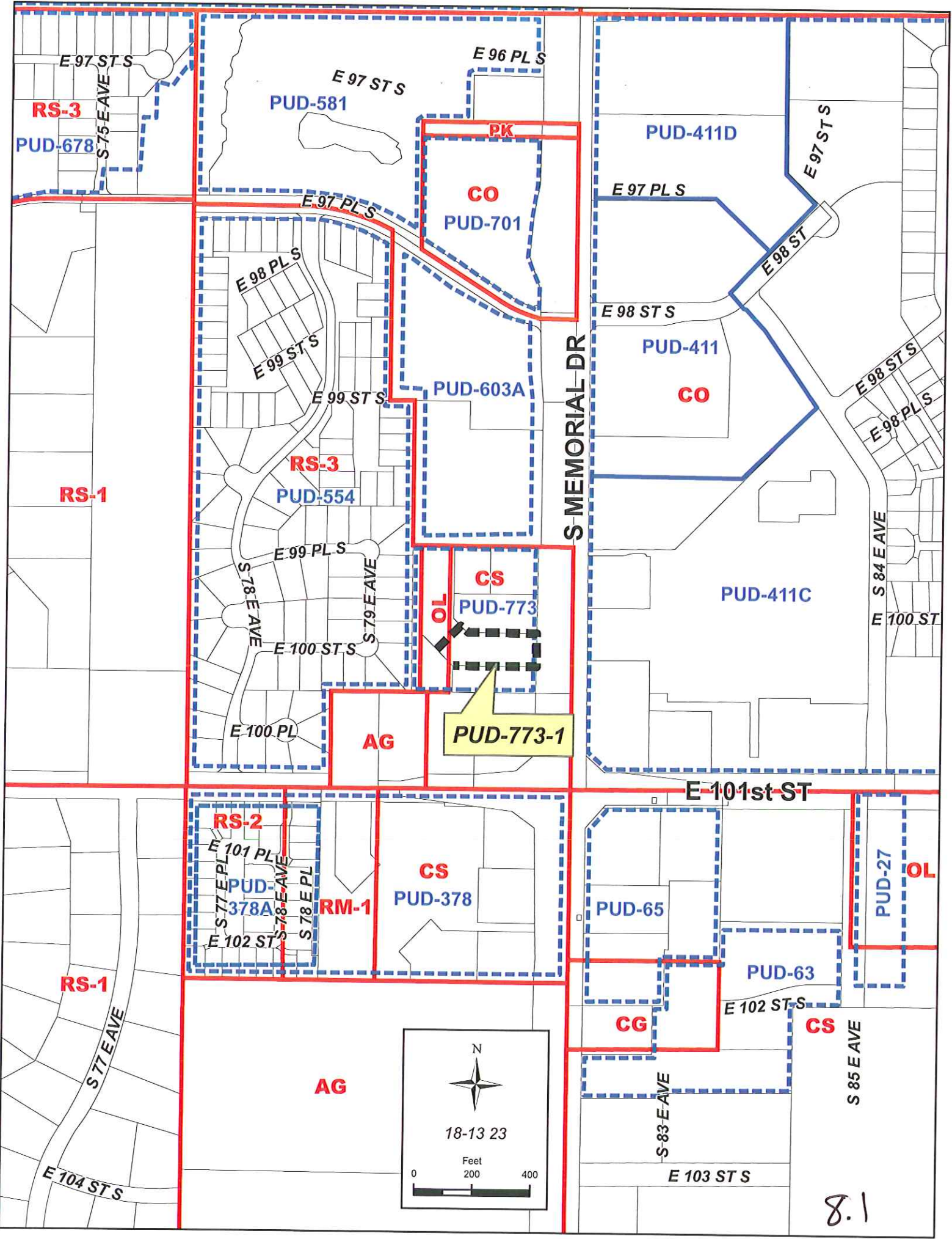
LEGEND

- U/L = UTILITY EASEMENT
- B/L = BUILDING EASEMENT
- M/A = MUTUAL ACCESS EASEMENT
- L/A = LIMIT OF NO ACCESS
- R/E = RESTRICTED WATERLINE EASEMENT
- D/E = DRAINAGE EASEMENT

WINGATE ADDITION, Tulsa County
Preliminary Plat
N-403101-754
E-2574432-455
Date of Preparation, August 10, 2010
SHEET 1 OF 1

RECEIVED
AUG 13 2010
Tulsa Metropolitan Area
Planning Commission

7.7



8.1



September 15, 2010

STAFF RECOMMENDATION

PUD-773-1: Minor Amendment – North of the northwest corner of 101st Street South and South Memorial Drive; Lot 5, Block 1 – NPG Business Complex; TRS 18-13-23; CZM 57; Atlas 2271; CD 8; RS-3/CS/OL/PUD.

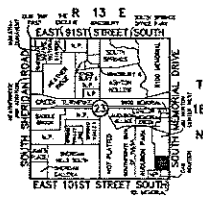
The applicant is requesting a minor amendment to reduce the required parking on Lot 5 of the NPG Business Complex from 53 to 43 spaces. There is a parking variance request pending for the Board of Adjustment (BOA) which will be heard September 14, 2010.

Referring to Exhibit A the NPG Business Complex is a six lot commercial mixed-use development. The conceptual site plan for the building on Lot 5 is attached as Exhibit B. Lot 5 is an odd shaped lot which puts some strain on the ability to provide the requisite parking, as well as provide adequate retail floor area and open space as required. There is cross access available between all lots and there are no direct vehicular connections to any adjoining residential area where potential overflow parking could have an adverse effect.

Provided the aforementioned, staff recommends **APPROVAL** of minor amendment PUD-773-1, reducing the required parking on Lot 5 from 53 to 43 spaces pending the BOA approval of case 21133 on September 14, 2010.

Note: Approval of a minor amendment does not constitute detail site, landscape or sign plan approval.

6340



Location Map
SCALE: 1"=1/4 MILE
SUBDIVISION CONTAINS
SEVEN (7) LOTS & ONE (1) RESERVE
IN ONE (1) BLOCK
GROSS SUBDIVISION AREA: 4.808 ACRES

PUD 773 **NGP Business Complex**

PART OF THE SE 1/4 OF THE SE 1/4 OF SECTION 23, TOWNSHIP 18 NORTH, RANGE 13 EAST
AN ADDITION IN THE CITY OF TULSA, TULSA COUNTY, OKLAHOMA

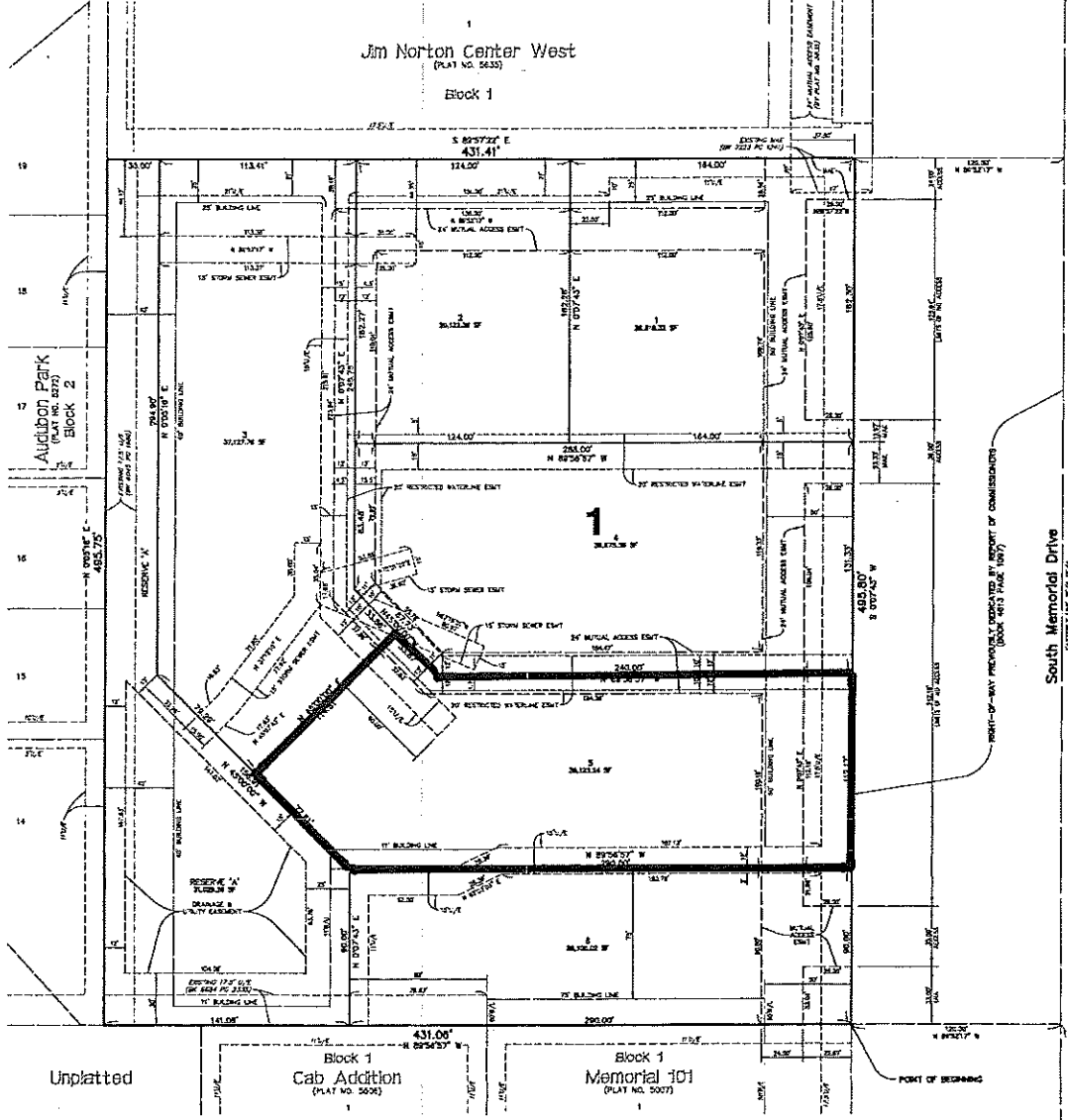
OWNER:
NGP, LLC
AN OKLAHOMA LIMITED LIABILITY COMPANY
CONTACT: CRAIG GROTTUS
9902 S. Memorial Drive
Tulsa, Oklahoma 74133
Phone: (918)830-2273

SURVEYOR/ENGINEER:
Tanner Consulting, L.L.C.
DAN E. TANNER, P.L.S. NO. 1435
OK. CA. NO. 2861, EXPIRES 8/30/2011
5323 South Lewis Avenue
Tulsa, Oklahoma 74105
Phone: (918)745-9929
EMAIL: dan@tannerconsulting.com

R.L. = RAILING LINE
R.F.L. = RAILING LINE
E.M. = EASEMENT
L.M. = LATERAL EASEMENT
R.M. = RAILING ACCESS EASEMENT
V.M. = VEHICLE EASEMENT



PLAT 1
COPY 2 OF 2
I hereby certify that this plat was prepared by me or under my direct supervision and that I am a duly Licensed Professional Surveyor in the State of Oklahoma.
DATE: MAY 13, 2010
DAN E. TANNER
P.L.S. NO. 1435
OK. CA. NO. 2861
TANNER CONSULTING, L.L.C.
5323 SOUTH LEWIS AVENUE
TULSA, OKLAHOMA 74105
PHONE: (918) 745-9929
FAX: (918) 745-9930
E-MAIL: dan@tannerconsulting.com



Notes
A. ALL PROPERTY COORDINATES ARE SET 3/4" FROM NEARBY WITH YELLOW CAP STAMPED "TANNER 101 1435" UNLESS OTHERWISE NOTED.
B. THE BASIS OF BEARINGS FOR THE SURVEY SHOWN HEREIN IS A BEARING OF 0° 00' 00" E ALONG THE EASTERN LINE OF THE SE 1/4 OF SECTION 23, TOWNSHIP 18 NORTH, RANGE 13 EAST, TULSA COUNTY, OKLAHOMA.

CERTIFICATE
I hereby certify that all real estate taxes levied in this plat have been paid or reflected by the current tax rolls. Severely no required has been provided in the amount of \$ 3,367.25 per acre except as follows: to be applied to 20 acres. This certificate is given to be construed as payment of 20 acres to full is given to reflect that this plat may be filed on record. 20 acres per acre of the amount of the property taxes.

PLAT OF DEARER
COUNTY OF TULSA
I, Deane E. Tanner, Tulsa County Clerk, do hereby certify that this plat was prepared by me or under my direct supervision and that I am a duly Licensed Professional Surveyor in the State of Oklahoma.
DATE: MAY 13, 2010
DAN E. TANNER
TANNER CONSULTING, L.L.C.

POINT OF COMMENCEMENT
SOUTHEAST CORNER SE 1/4
SECTION 23, T-18-N, R-13-E

EXHIBIT A

RECEIVED
MAY 05 2010
Tulsa Metropolitan Area
Planning Commission

DATE OF PREPARATION: APRIL 26, 2010

NGP Business Complex
SHEET 1 OF 3

8.4

PUD No. 773

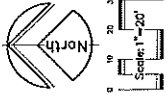
Parkhill South

ALL OF LOT 5, BLOCK 1, NEW BUSINESS COMPLEX (PLAT #8540)
AN ADDITION IN THE CITY OF TULSA, TULSA COUNTY, OKLAHOMA

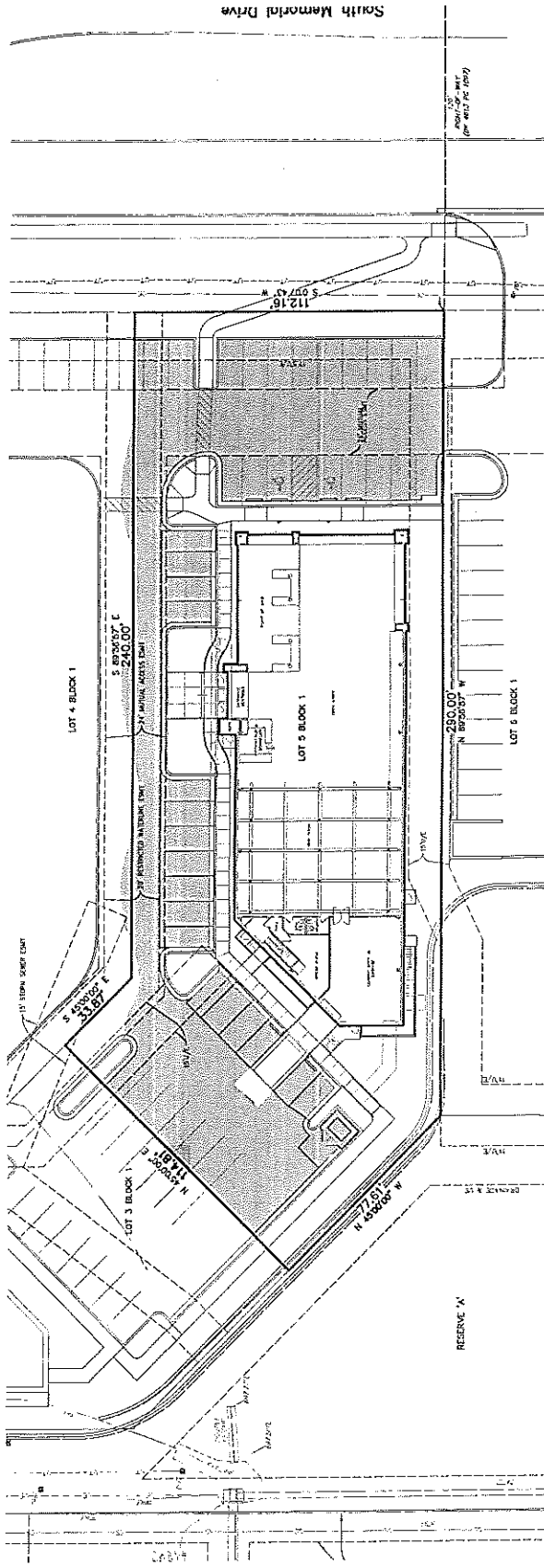
Off-Street Parking Plan

CIVIL ENGINEER:
Tanner Consulting, LLC
13323 S. Lewis Avenue
Tulsa, Oklahoma 74105
Phone: (918) 745-3929

ARCHITECT:
Jeremy W. Perkins Architects
2200 South Union Place, Suite 215
Tulsa, Oklahoma 74104
Phone: (918) 778-9144
CONTACT: JEREMY PERKINS



Benchmark +
CORNER OF LOT 5, BLOCK 1, NEW BUSINESS COMPLEX (PLAT #8540)
LOCATED APPROXIMATELY 111.5' SOUTH
AND 112.16' WEST OF THE
CORNER, LOT 5, BLOCK 1, NEW BUSINESS COMPLEX (PLAT #8540)
ELEVATION = 223.04 (NAVD 83)



A Off-Street Parking Plan
SCALE 1"=20'

Gross Building Floor Area

GROSS BUILDING FLOOR AREA: 11,778 SF
TOTAL REQUIRED PARKING SPACES FOR 1:225: 53 SPACES
TOTAL PROVIDED PARKING & HANDICAP SPACES: 43 SPACES

EXHIBIT B

Tanner Consulting, LLC
CIVIL ENGINEERING ARCHITECTURE LAND PLANNING
13323 S. LEWIS AVENUE, SUITE 215
TULSA, OKLAHOMA 74105
PHONE: (918) 745-3929 FAX: (918) 745-3923
TANNER CONSULTING, LLC, DIVISION OF TANNER CONSULTING, INC. (A 30% OWNED COMPANY)
11/20/2015 10:00 AM

Parkhill South
Off-Street Parking Plan
LOT 5, BLOCK 1
PUD-773

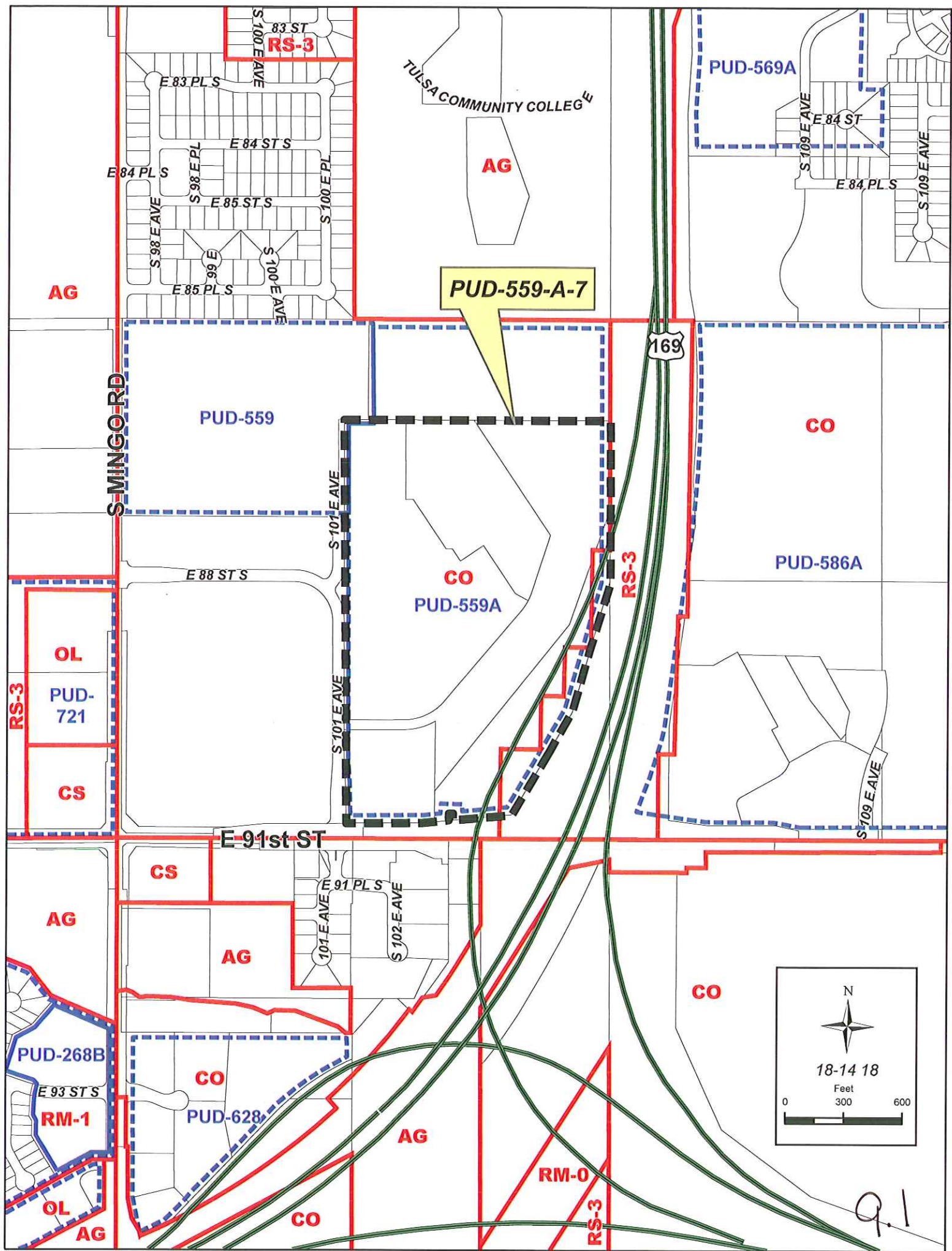
THIS PLAN AND ANY OTHER INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF TANNER CONSULTING, LLC. NO PART OF THIS PLAN OR ANY OTHER INFORMATION CONTAINED HEREIN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF TANNER CONSULTING, LLC. THE USER OF THIS PLAN AND ANY OTHER INFORMATION CONTAINED HEREIN AGREES TO HOLD TANNER CONSULTING, LLC HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY TANNER CONSULTING, LLC, ITS OFFICERS, DIRECTORS, EMPLOYEES, AGENTS, OR SUBCONTRACTORS, IN CONNECTION WITH THE USE OF THIS PLAN AND ANY OTHER INFORMATION CONTAINED HEREIN.



DATE:	
REVISION:	
BY:	
DATE:	
PROJECT NO.:	171716
SCALE:	1"=20'
PROJECT:	N/A

100588
SHEET NUMBER
A-1
OF 1

5.8



Q.1



PUD-559-A-7



18-14 18

Feet
0 300 600

Note: Graphic overlays may not precisely align with physical features on the ground.
Aerial Photo Date: March 2008

9.2

September 15, 2010

STAFF RECOMMENDATION

PUD-559-A-7: Minor Amendment – Northwest corner of E. 91st Street South and US 169/interchange with Creek Turnpike; Lot 1, Block 1 – Southcreek Medical Plaza; TRS 18-14-18; CZM 54; Atlas 1902; CD 8; CO/PUD.

The applicant is requesting a minor amendment to digitize the existing Southcrest Hospital business sign located on 91st Street South at US 169. The existing sign is 300 square feet (sf) in display area, 25' in height and is located 77.5' from the drive surface of 91st Street South (see Exhibit A). The display area and height of the proposed digitized sign would remain the same (see attached photographs).

PUD sign standards for this lot are as follows:

1. Business signs shall be subject to the general use conditions set forth in §1221, C and D;
2. Ground signs adjacent to 91st Street shall not exceed an aggregate display surface area of 1 sf for each lineal foot of arterial street frontage nor more than 25' in height;
3. Per the plat of this lot (Lot 1, Block 1 – Southcreek Medical Plaza) there are 2 ground signs permitted on this lot (see Exhibit B).

This lot has 447 lineal feet of frontage per the attached plat. Staff believes when the sign standards for this PUD were adopted in 1997 and amended in 1999 to allow the 300 sf sign, there was no consideration given to the digitization of the sign in relationship to the proximity to the drive surface of 91st Street and the signalized intersection to the west since digital technology was not yet common place.

Also, there is a posted 40 mile per hour (mph) speed limit within the limits of the site. Site visits by staff find that cars traveling west on 91st Street South approaching the signalized intersection (a slight downhill stretch of road), frequently exceed the posted speed limit. This seems especially true of drivers exiting US 169 traveling from the north, where exiting cars can merge with 91st Street traffic without stopping at the traffic signal.

Staff has concerns about the distraction the sign may create for drivers approaching the sign. Drivers would be attempting to read a 10' x 30' digital sign with no limit to the "story-boarding" effect, while concurrently approaching a signalized intersection.

Per section 1102 of the code, the TMAPC may impose restrictions as conditions of approval in addition to those imposed by the underlying zoning and the PUD chapter. While the digitization of this sign may be permitted by the underlying CO zoning, staff believes the digitization of this sign will adversely impact the character of the area and recommends **DENIAL** of minor amendment request PUD-559-A-7.

DATE: 8/24/10
SCALE: N/A

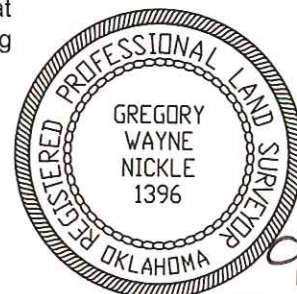
EXHIBIT

Nickle & Associates, Inc.
108 S. 109th E. PLACE, Tulsa, Oklahoma, 74128
(918) 664-5411. C.A. #1749 Expires 6/20/11.



I hereby certify that, the business sign is 405 feet from the signalized intersection at East 91st Street South and South 101st East Avenue as measured from the driving surface of the intersection to the nearest point on the sign; the business sign is 109.5 feet from the centerline of East 91st Street South as measured from the centerline of East 91st Street South to the nearest point on the sign; the business sign is 77.5 feet from the driving surface of East 91st Street South as measured from the driving surface of East 91st Street South to the nearest point on the sign; the business sign is 526.5 feet from the signalized intersection at East 91st Street South and the Mingo Valley Expressway as measured from the driving surface of the intersection to the nearest point on the sign.

Gregory Nickle, PLS #1396 Oklahoma



CERTIFICATE

I hereby certify that all real estate taxes involved in this plat have been paid as reflected by the current tax rolls. Security as required has been provided in the amount of \$15,000.00 per tract except as noted. This certificate is NOT to be construed as payment of taxes in full but is given in order that this plat may be filed on record. 20

Deputy
Earlene Wilson
Tulsa County Clerk

STATE OF OKLAHOMA
COUNTY OF TULSA

I, Earlene Wilson, Tulsa County Clerk, do and for the County and State show cause, do hereby certify that the foregoing is a true and correct copy of a 1/4 section here on file in my office.

Deed the day of
EARLENE WILSON, Tulsa County Clerk

Deputy

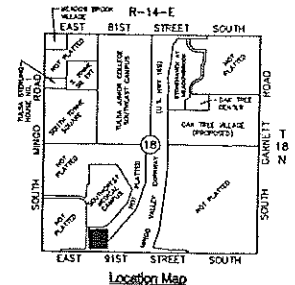
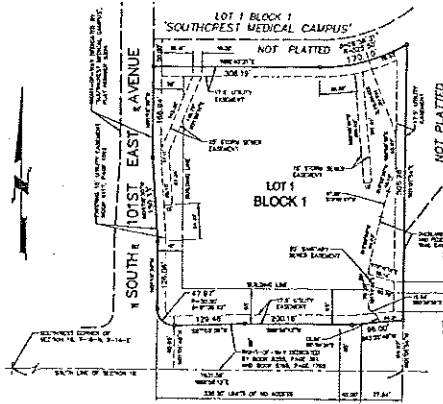
5720

Form for recording, including fields for "Plat Number", "Date", and "County".

SouthCreek Medical Plaza

A SUBDIVISION OF PART OF THE
SW/4 OF SECTION 18, T-18-N, R-14-E
CITY OF TULSA, TULSA COUNTY, OKLAHOMA

Planned Unit Development Number 559
Corridor District Site Plan Number 5888-SP-1



Owner
MOB SOUTHCREEK PLAZA, LTD
88 SAN JACINTO BOULEVARD, SUITE 1870
AUSTIN, TEXAS 78701
PHONE: (512) 477-2255

Engineer / Surveyor
SACK AND ASSOCIATES, INC.
SANTA FE DEPOT
111 SOUTH ELGIN AVENUE
TULSA, OKLAHOMA 74103-1818
PHONE: (918) 592-4111
C.A. No. 1723 (EXP. JUNE 30, 2005)

Subdivision Statistics
SUBDIVISION CONTAINS 1 LOT IN 1 BLOCK
LOT 1 CONTAINS 0.0331 ACRES

Base of Bearings
THE BEARINGS SHOWN HEREIN ARE BASED ON THE
OKLAHOMA STATE PLANE COORDINATE SYSTEM.

Monumentation
ALL CORNERS WERE SET USING A 3/8"x11" IRON
PIN WITH A YELLOW CAP STAMPED "SACK L.S. 1133"

Deed of Dedication and Restrictive Covenants

KNOW ALL MEN BY THESE PRESENTS:

1. THE CITY OF TULSA, Oklahoma, as the Record Owner, hereby dedicates to the public use of the City of Tulsa, Oklahoma, the following described property, to-wit:

2. THE CITY OF TULSA, Oklahoma, as the Record Owner, hereby dedicates to the public use of the City of Tulsa, Oklahoma, the following described property, to-wit:

SECTION I. EASEMENTS AND UTILITIES

- A. GENERAL UTILITY EASEMENTS
- B. EASEMENT FOR WATER
- C. EASEMENT FOR SEWER
- D. EASEMENT FOR DRAINAGE
- E. EASEMENT FOR GAS
- F. EASEMENT FOR FUEL
- G. EASEMENT FOR POWER
- H. EASEMENT FOR TELEPHONE
- I. EASEMENT FOR CABLE
- J. EASEMENT FOR LIGHT
- K. EASEMENT FOR AIR
- L. EASEMENT FOR SOUND
- M. EASEMENT FOR VIBRATION
- N. EASEMENT FOR HEAT
- O. EASEMENT FOR COOL
- P. EASEMENT FOR HUMIDITY
- Q. EASEMENT FOR DRYNESS
- R. EASEMENT FOR WIND
- S. EASEMENT FOR RAIN
- T. EASEMENT FOR SNOW
- U. EASEMENT FOR ICE
- V. EASEMENT FOR FOG
- W. EASEMENT FOR MIST
- X. EASEMENT FOR DUST
- Y. EASEMENT FOR POLLUTION
- Z. EASEMENT FOR NOISE

SECTION II. PLANNED UNIT DEVELOPMENT RESTRICTIONS

- A. USE OF LAND
- B. DEVELOPMENT STANDARDS
- C. PLANNING STANDARDS
- D. DESIGN STANDARDS
- E. CONSTRUCTION STANDARDS
- F. MAINTENANCE STANDARDS
- G. OPERATION STANDARDS
- H. CLOSURE STANDARDS
- I. REMEDIATION STANDARDS
- J. RESTORATION STANDARDS
- K. MONITORING STANDARDS
- L. REPORTING STANDARDS
- M. ENFORCEMENT STANDARDS
- N. VIOLATION STANDARDS
- O. PENALTY STANDARDS
- P. APPEAL STANDARDS
- Q. REVIEW STANDARDS
- R. DECISION STANDARDS
- S. FINAL STANDARDS
- T. CLOSURE STANDARDS
- U. REMEDIATION STANDARDS
- V. RESTORATION STANDARDS
- W. MONITORING STANDARDS
- X. REPORTING STANDARDS
- Y. ENFORCEMENT STANDARDS
- Z. VIOLATION STANDARDS

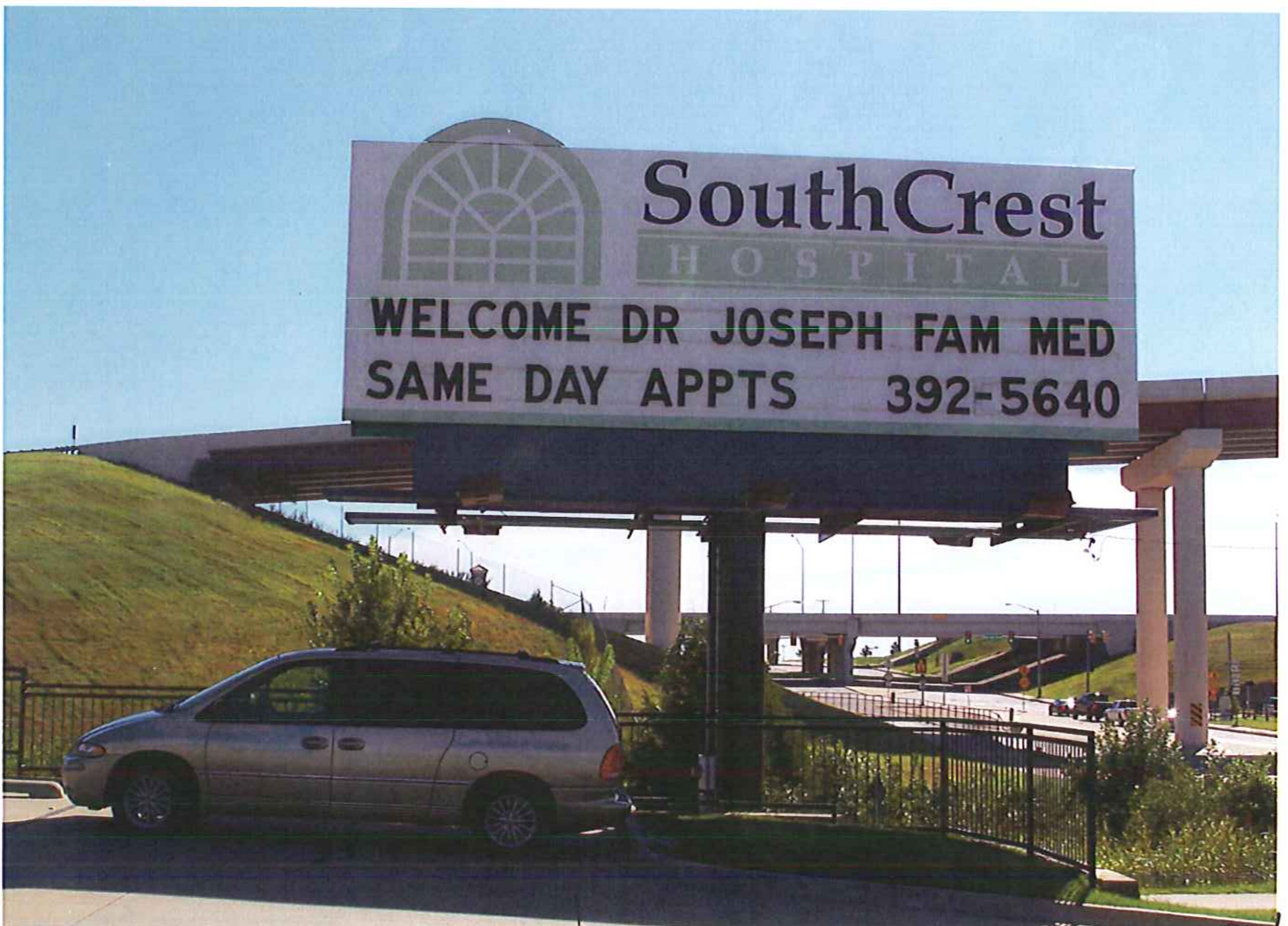
Certificate of Survey

1. I, the undersigned, being duly qualified, do hereby certify that the foregoing is a true and correct copy of the original survey and plat on file in my office.

2. I, the undersigned, being duly qualified, do hereby certify that the foregoing is a true and correct copy of the original survey and plat on file in my office.

EXHIBIT B
PLAT NO. 5720
PAGE 1 of 1

9.5



9.6







