

# **TULSA METROPOLITAN AREA PLANNING COMMISSION**

## **Meeting No. 2634**

**September 19, 2012, 1:30 PM  
175 East 2<sup>nd</sup> Street, 2<sup>nd</sup> Level, One Technology Center  
Tulsa City Council Chamber**

### **CONSIDER, DISCUSS AND/OR TAKE ACTION ON:**

Call to Order:

### **REPORTS:**

#### **Chairman's Report:**

#### **Worksession Report:**

#### **Director's Report:**

1. Minutes of August 1, 2012, Meeting No. 2631

### **CONSENT AGENDA:**

**All matters under "Consent" are considered by the Planning Commission to be routine and will be enacted by one motion. Any Planning Commission member may, however, remove an item by request.**

2. **LS-20542** (Lot-Split) (CD-3), Location: South of East Latimer Street and East of North 105<sup>th</sup> East Avenue (Related to LC-423)
3. **LC-423** (Lot-Combination) (CD-3), Location: South of the intersection of East Latimer Street and North 105<sup>th</sup> East Avenue (Related to LS-20542)
4. **LS-20545** (Lot-Split) (CD-4), Location: East of the Northeast corner of East 27<sup>th</sup> Place South and South Lewis Avenue (Related to LC-425)
5. **LC-425** (Lot-Combination) (CD-4), Location: North of Northeast corner of East 27<sup>th</sup> Place South and South Lewis Avenue (Related to LS-20545)
6. **LS-20546** (Lot-Split) (CD-1), Location: Northeast corner of North Madison Avenue and East 54<sup>th</sup> Street North
7. **LC-426** (Lot-Combination) (County), Location: East of the Southeast corner of North Trenton Avenue and East 73<sup>rd</sup> Street North
8. **LC-427** (Lot-Combination) (CD-4), Location: West of the Northwest corner of East 13<sup>th</sup> Place South and South Columbia Avenue



9. **LS-20547** (Lot-Split) (County), Location: North of the Northwest corner of North Yale Avenue and East Pine Street
10. **PUD-644-1 – Sack & Associates, Inc./Mark Capron** – Location: West and south of the southwest corner of East 56<sup>th</sup> Street North and North Peoria Avenue, Requesting a **Minor Amendment** to reallocate the maximum floor area into three parcels, **RS-3** (CD-1)
11. **Z-7008-SP-1 – Cedar Creek Consulting/Jason Emmett**, Location: North of West 81<sup>st</sup> Street South on the west side of South Olympia Avenue, Requesting a **Corridor Detail Site Plan** for a restaurant site in Development Area F of the Tulsa Hills Shopping Center Project, **CO**, (CD-2)
12. **PUD-790 – TUL ALF #2, LLC**, Location: North of West 71<sup>st</sup> Street South and East of South Olympia Avenue, Requesting a **Detail Site Plan** for a Life Care Retirement Center and Assisted Living Facility, **CO/OL/CS**, (CD-2)
13. **PUD-579-A – Madison Investments VI, LLC**, Location: North of East 81<sup>st</sup> Street South on the west side of South 101<sup>st</sup> East Avenue, Requesting a **Detail Site Plan** for a doctor's office in Development Area A of the PUD, **CO**, (CD-7)

#### **CONSIDERATION OF ITEMS REMOVED FROM THE CONSENT AGENDA:**

#### **PUBLIC HEARINGS:**

14. **South Mingo Plaza** – Preliminary Subdivision Plat, Location: 8165 South Mingo Road, South of the Southeast corner of East 81<sup>st</sup> Street South and South Mingo Road (8418) (CD 7)
15. **Z-7210 – Marcus Makar**, Location: North of the northwest corner of East 21<sup>st</sup> Street and South Boston Avenue, Requesting rezoning from **RM-2 to CS**, (CD-4)
16. **Z-7211 – Sisemore, Weisz & Assoc.**, Location: South of southwest corner of East 46<sup>th</sup> Street North and North Peoria Avenue, Requesting rezoning from **CS/RS-3 TO CS**, (CD-1)

#### **OTHER BUSINESS**

17. **Commissioners' Comments**

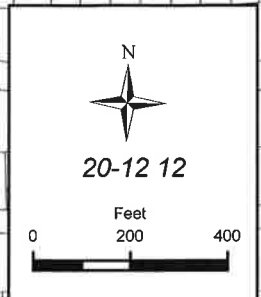
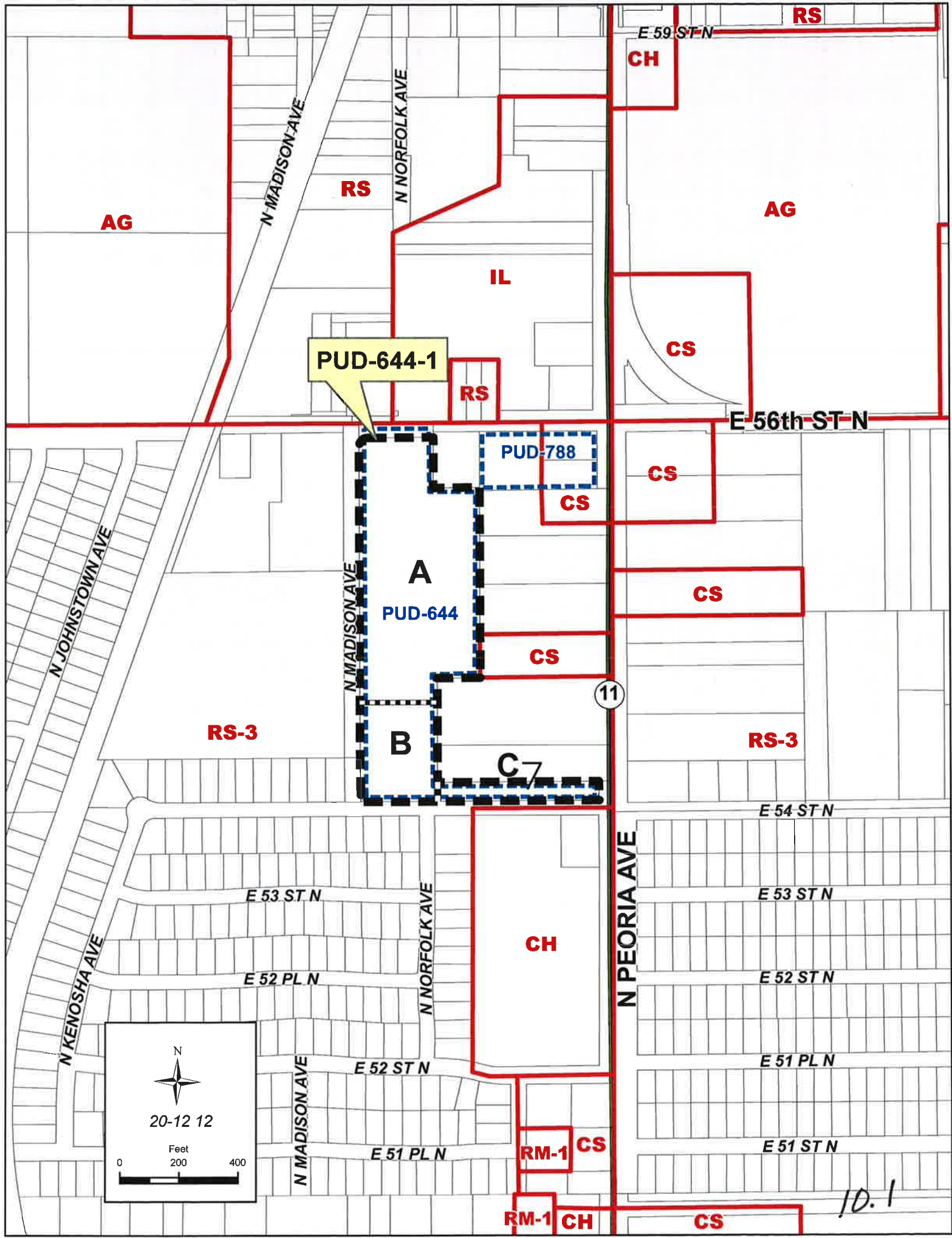
#### **ADJOURN**

CD = Council District

**NOTE: If you require special accommodation pursuant to the Americans with Disabilities Act, please notify INCOG (918) 584-7526. Exhibits, Petitions, Pictures, etc., presented to the Planning Commission may be received and deposited in case files to be maintained at Land Development Services, INCOG. Ringing/sound on all cell phones and paggers must be turned off during the Planning Commission.**

Visit our website at [www.tmapc.org](http://www.tmapc.org)

**TMAPC Mission Statement:** The Mission of the Tulsa Metropolitan Area Planning Commission (TMAPC) is to provide unbiased advice to the City Council and the County Commissioners on development and zoning matters, to provide a public forum that fosters public participation and transparency in land development and planning, to adopt and maintain a comprehensive plan for the metropolitan area, and to provide other planning, zoning and land division services that promote the harmonious development of the Tulsa Metropolitan Area and enhance and preserve the quality of life for the region's current and future residents.



10.1





PUD-644-1

E 56th ST N

A

B

C7

11

E 54 ST N

E 53 ST N

E 52 ST N

E 51 PL N

E 51 ST N

E 53 ST N

E 52 PL N

E 52 ST N

E 51 PL N



20-12 12

0 Feet 200 400

Note: Graphic overlays may not precisely align with physical features on the ground.  
Aerial Photo Date: March 2012

10.2



September 19, 2012

### STAFF RECOMMENDATION

**PUD 644-1:**      Minor Amendment – West and south of the southwest corner of East 56<sup>th</sup> Street North at North Peoria Ave.; TRS 20-12-12; CZM 02; Atlas 1073; CD 1.

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The applicant is requesting a minor amendment to reallocate the maximum floor area into three parcels. The original Planned Unit Development was prepared with three tracts which defined a maximum floor area allowed for the total development area a 100,000 square feet for Use Unit 5 (Community Services and Similar Uses).

When the original PUD was prepared and approved in February 2001 and later platted as Lot 1, Block 1 Greater Grace Apostolic Temple of Tulsa.

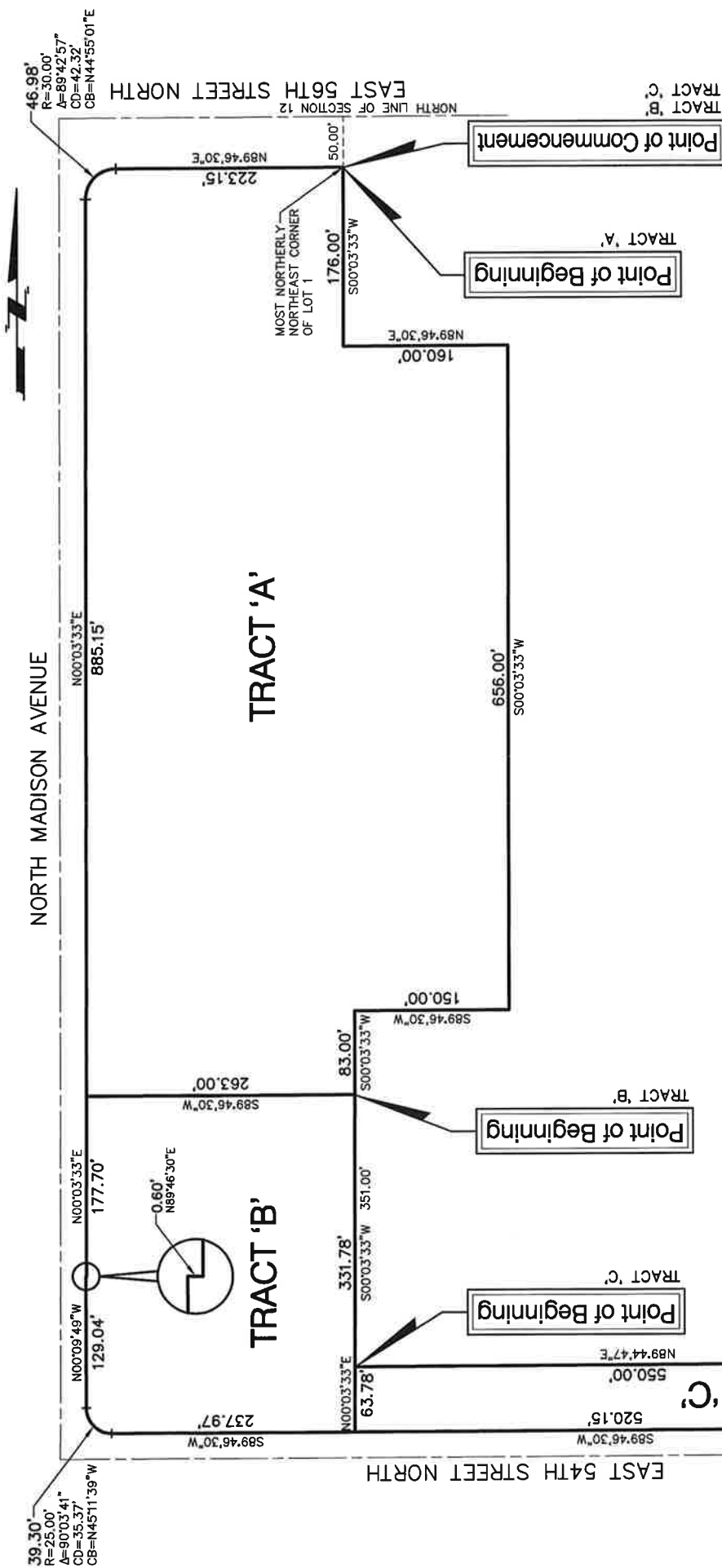
The applicant is planning to split the property into three lots which requires the allocation of the floor area. The applicant has requested floor area allocation as follows:

Tract A 78,000 square feet  
Tract B 15,000 square feet  
Tract C 7,000 square feet

This request still meets the underlying RS-3 Zoning guidelines and is consistent with the intent and purpose of the Planned Unit Development.

Therefore, Staff recommends **approval** of one monument sign not exceeding 32 square feet of display surface area and not exceeding 20' in height.

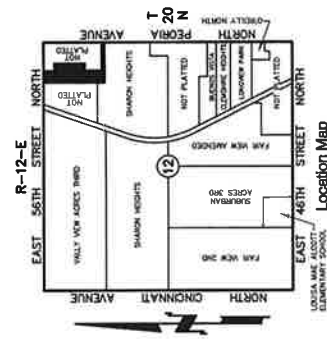
*Note: Approval of a minor amendment does not constitute detail site, landscape or sign plan approval.*



'GREATER GRACE APOSTOLIC TEMPLE OF TULSA'  
OF  
SECTION 12, T-20-N, R-12-E  
CITY OF TULSA, TULSA COUNTY, OKLAHOMA

SECTION 12, T-20-N, R-12-E  
CITY OF TULSA, TULSA COUNTY, OKLAHOMA

SECTION 12, T-20-N, 11-E-12-E  
CITY OF TULSA, TULSA COUNTY, OKLAHOMA



**SACK AND ASSOCIATES, INC.**  
3530 East 2nd Street, Suite A, Tulsa, Oklahoma 74135-1519  
Ph: 918.592.4119 Fax: 918.592.4229 E-mail: [info@sackandassociates.com](mailto:info@sackandassociates.com)  
www.sackandassociates.com  
CA Number 1783 (V)(A)(3) and 1462 (A)

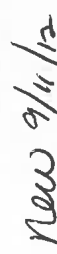
Project/Exhibit Grade: Apostrophe Following: EXHIBIT A  
Drawn: UNKNO Order: EXHA  
Traverse: C

XTB#s: COPY# 5-117X 1-S42  
Plotted: 23 AUG 2012

Original

10.4

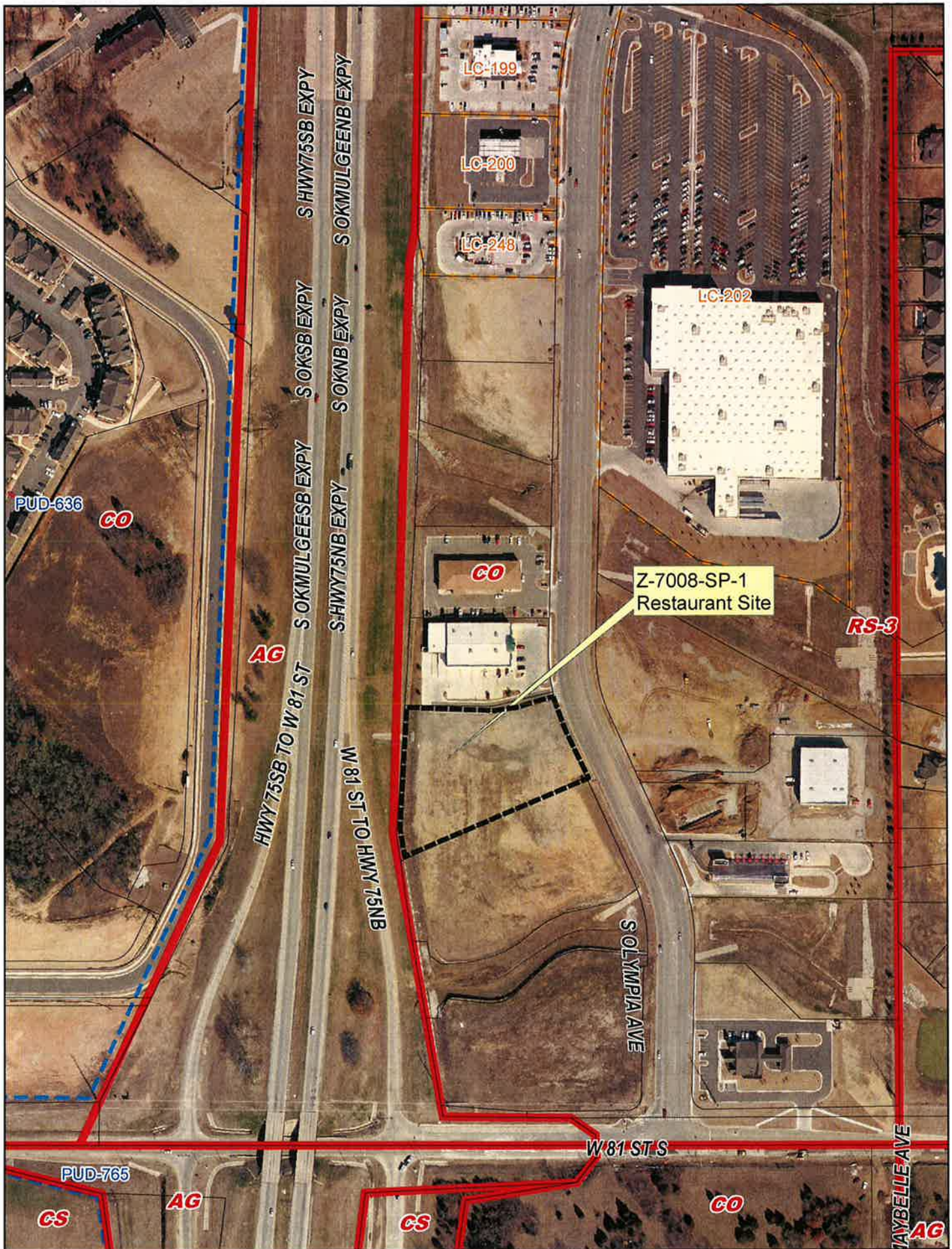




10.5







Part of Lot 11 Block 1 Tulsa Hills Subdivision //./



September 19, 2012

## **STAFF RECOMMENDATION**

### **Z-7008-SP-1**

**Detailed Site Plan** – A 2.07 acre tract that is part of the SW/4 of Section 11, T-18-N, R-12-E, Tract 2b, Lot-11, Block-1 Tulsa Hills Subdivision. North of W. 81<sup>st</sup> Street South on the west side of S. Olympia Ave. ; CZM 51; Atlas NA: CD 2;

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#### **CONCEPT STATEMENT:**

The applicant is requesting approval of a detail site plan for a Restaurant site in development area F of The Tulsa Hills Shopping Center Project. The site has been previously platted but not developed. All uses permitted by right in the CO zoning district are allowed in this development area.

#### **PERMITTED USES:**

The Site Plan provided as an attachment to this staff report illustrates a new restaurant site (Use Unit 12) which is permitted by right in Development Area F of the Corridor District Plan.

#### **DIMENSIONAL REQUIREMENTS:**

The submitted site plan meets all applicable building floor area, density, open space, and setback limitations. No modifications of the previously approved Corridor Plan guidelines are required for approval of this site plan.

#### **OFF-STREET PARKING AND VEHICULAR CIRCULATION:**

The Site Plan provides more parking spaces than the required minimum defined in the Tulsa Zoning Code.

#### **LIGHTING:**

Parking lot lighting will be directed down to help prevent light trespass into the adjacent properties. The photometric plan provides data that illustrates the lighting concept with no spillage onto adjacent properties.

#### **SIGNAGE:**

The site plan illustrates sign location along South Olympia and is placed appropriately for site plan review. This staff report does not remove the requirement for a separate sign plan review process.

#### **SITE SCREENING AND LANDSCAPING:**

The landscape plan will be submitted to staff for separate review as allowed in the Corridor Section of the Zoning Code.



The trash screening enclosure meets the minimum masonry standards defined in the Corridor Plan.

**PEDESTRIAN ACCESS AND CIRCULATION:**

Existing sidewalks will be installed internally and on the South Olympia frontage. Appropriate sidewalk plans have been provided on the site plan.

**MISCELLANEOUS SITE CONSIDERATIONS:**

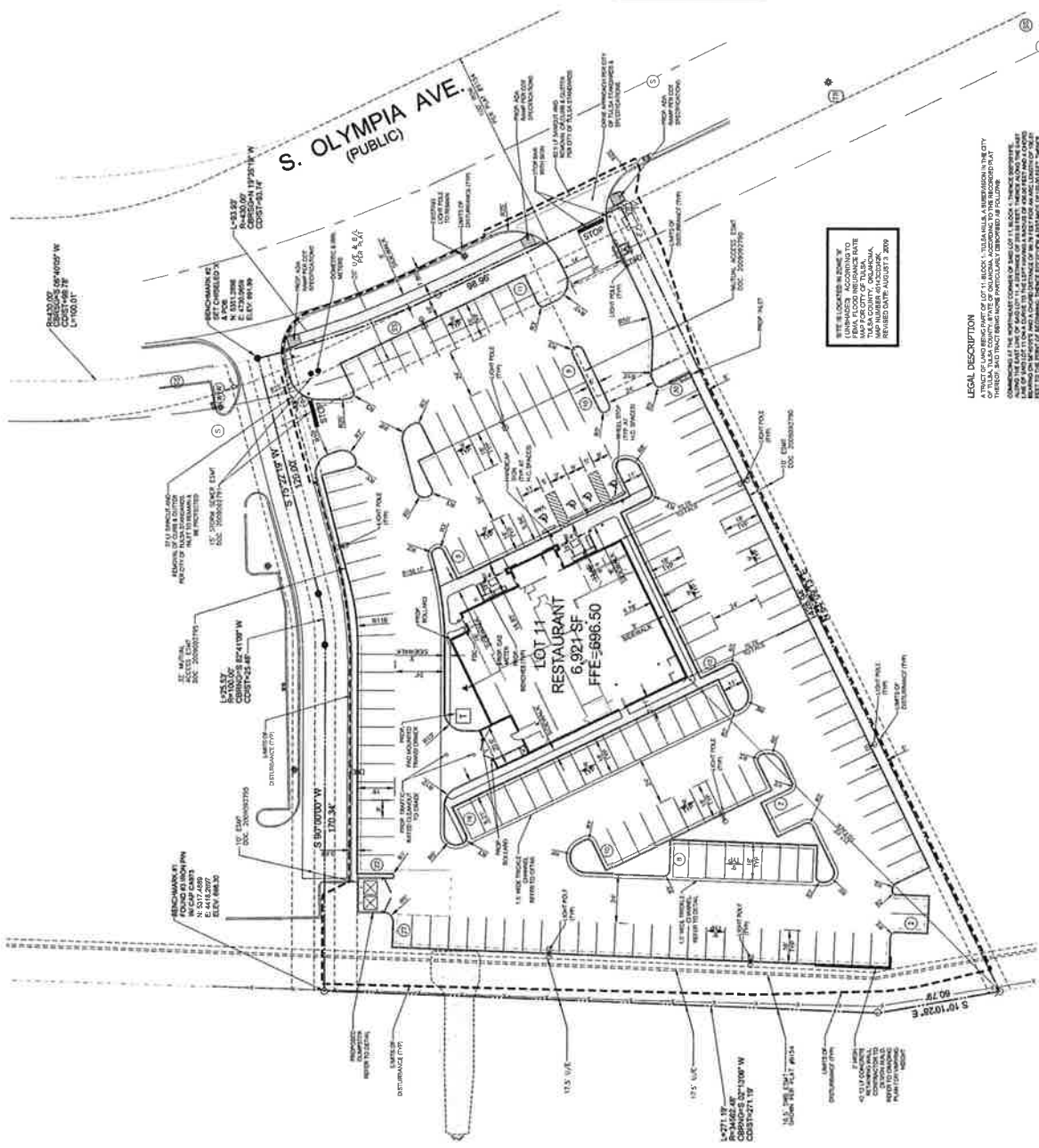
The site slopes significantly from west to east toward the Olympia street right of way. Staff has been provided a site grading plan that is part of the IDP plans submitted to the City of Tulsa Development Services. There are no concerns regarding the development of this area as it relates to the terrain modifications.

**SUMMARY:**

Staff has reviewed applicants' submittal of the Site Plan as it relates to the approved Corridor Plan Z-7008-SP-1. The applicant site plan submittal meets or exceeds the minimum requirements of the Corridor Plan. Staff finds that the uses and intensities proposed with this site plan are consistent with the approved Corridor Plan Z-7008-SP-1 and the stated purposes of the Corridor chapter of the Zoning Code.

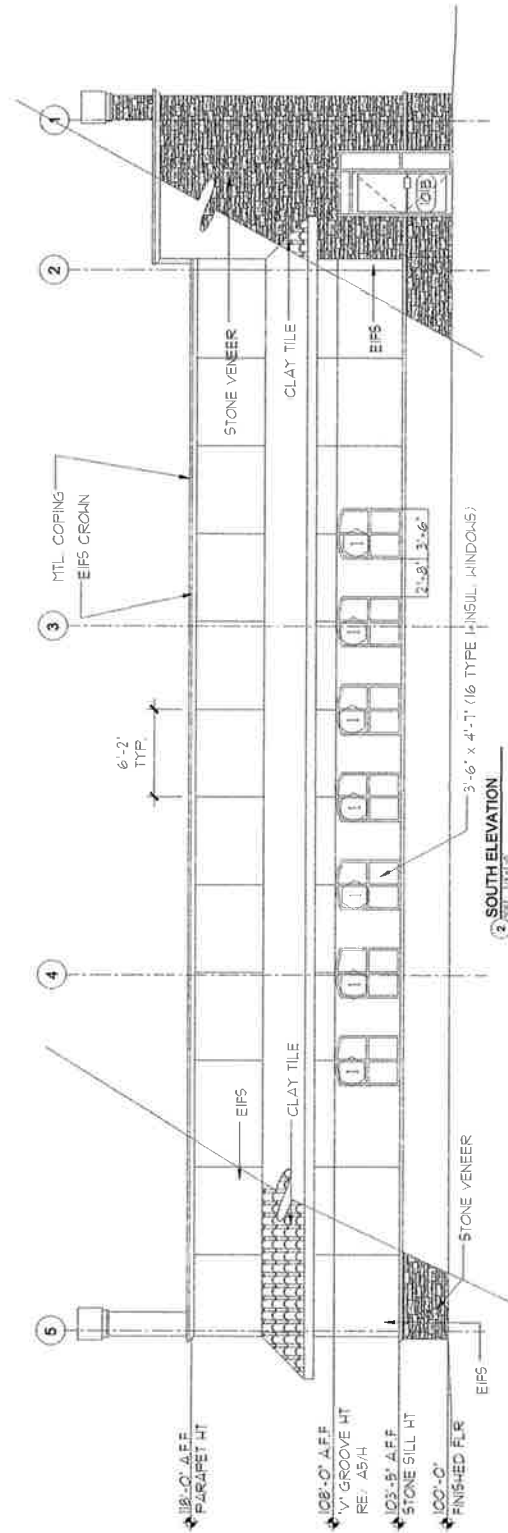
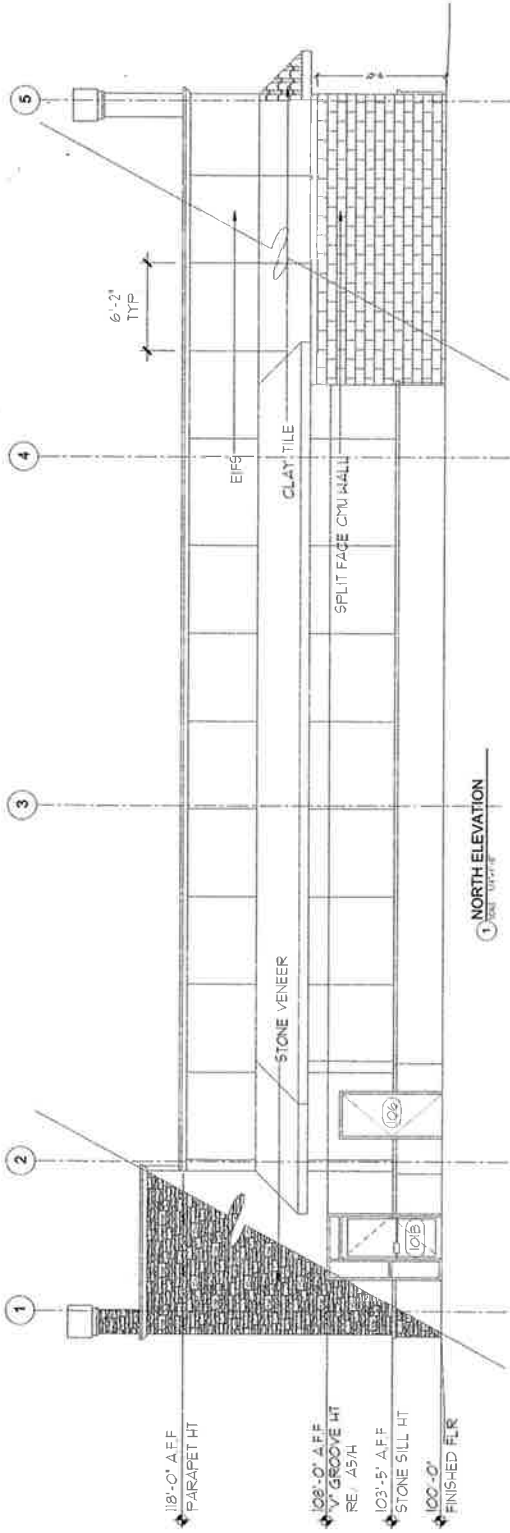
Therefore, staff recommends **APPROVAL** of the detail site plan for the proposed new commercial project.

*(Note: Detail site plan approval does not constitute sign plan or landscape plan approval.)*

[illegible][illegible]

11.4





11.6



AG

CO

CO

RS-3

W 67 ST S

W 68 ST S

PUD-648  
PUD-648A

Z-7195/PUD-790

PUD-648B

OL  
PUD-783  
PUD-783A  
PUD-768

ABANDONED

CS

75

75

SELWOOD AVE

W 71st ST S

AG

RS-3

RM-0  
PUD-738

CS

CS

CS

AG

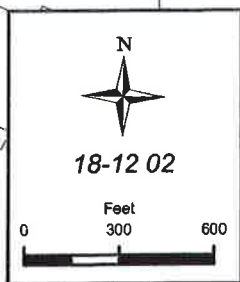
CO  
PUD-636

CO

S OLYMPIA AVE  
TULSA HILLS DR

W 73 ST S

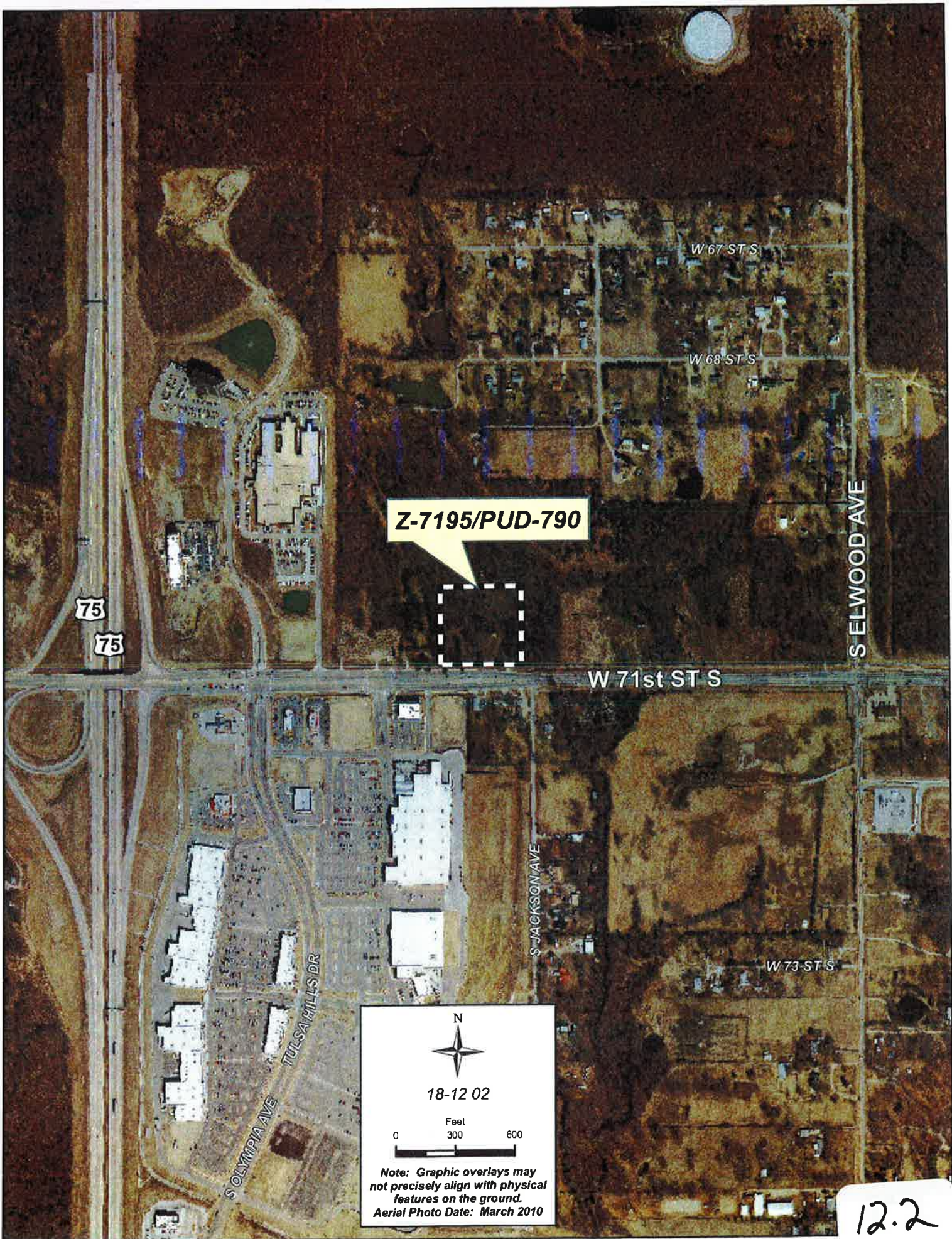
AG



12.1

OL  
PUD-742







## **STAFF RECOMMENDATION**

### **PUD-790**

**Detailed Site Plan** – A 3.76 acre tract that is part of the SE/4 of Section 02, T-18-N, R-12-E, Currently being platted as Lot-1, Block-1 The Legend Senior Living a subdivision in the City of Tulsa, Tulsa County, OK., North of W. 71<sup>st</sup> Street South East of S. Olympia Ave.; CZM 51; Atlas 1012/1011: CD 2;

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### **CONCEPT STATEMENT:**

The applicant is requesting approval of a detail site plan for a Life Care Retirement Center and Assisted Living Facility in PUD 790. The site is currently working through the final plat process. The only use permitted in the PUD is Use Unit 8 (Multifamily & Similar Uses) and further limited to a Life Care Retirement Center and Assisted Living Facility.

### **PERMITTED USES:**

The Site Plan provided as an attachment to this staff report illustrates a new Retirement Community (Use Unit 8) which is the only use permitted by right in Development Area A of PUD 579-A.

### **DIMENSIONAL REQUIREMENTS:**

The submitted site plan meets all applicable, building height, floor area, density, open space, and setback limitations. No modifications of the previously approved PUD guidelines are required for approval of this site plan.

### **OFF-STREET PARKING AND VEHICULAR CIRCULATION:**

The site plan provides more parking spaces than the required minimum defined in the Tulsa Zoning Code.

### **LIGHTING:**

Parking lot lighting will be directed down and away from adjacent property to help prevent light trespass. Maximum height of light fixtures is 16' and below the 25' height limit allowed. The photometric plan provided provides sufficient data to insure that artificial light sources are arranged in a way that prohibits light trespass from this site.

### **SIGNAGE:**

The site plan does not illustrate a sign location. This staff report does not remove the requirement for a separate sign plan review process.

#### SITE SCREENING AND LANDSCAPING:

The landscape plan will be submitted to staff for separate review as allowed in the Planned Unit Development Section of the Zoning Code.

The trash screening enclosure meets the minimum masonry standards defined in the Corridor Plan.

#### PEDESTRIAN ACCESS AND CIRCULATION:

Sidewalks will be installed internally and connected to the existing sidewalks on the West 71st Street frontage. Appropriate sidewalk plans have been provided on the site plan.

#### MISCELLANEOUS SITE CONSIDERATIONS:

There are no concerns regarding the development of this area as it relates to the terrain modifications. The site slopes from the west toward the east and a retaining wall will be placed parallel to the west property line. The building floor elevation will be below the existing ground elevation and partially hidden from the west property line as a result of the excavation east of the wall.

#### SUMMARY:

Staff has reviewed applicants' submittal of the Site Plan as it relates to the approved Planned Unit Development 790. The applicant site plan submittal meets or exceeds the minimum requirements of the Planned Unit Development. Staff finds that the uses and intensities proposed with this site plan are consistent with the approved Planned Unit Development 790 and the stated purposes of the Planned Unit Development of the Zoning Code.

Therefore, staff recommends **APPROVAL** of the detail site plan for the proposed new commercial project.

*(Note: Detail site plan approval does not constitute sign plan or landscape plan approval.)*





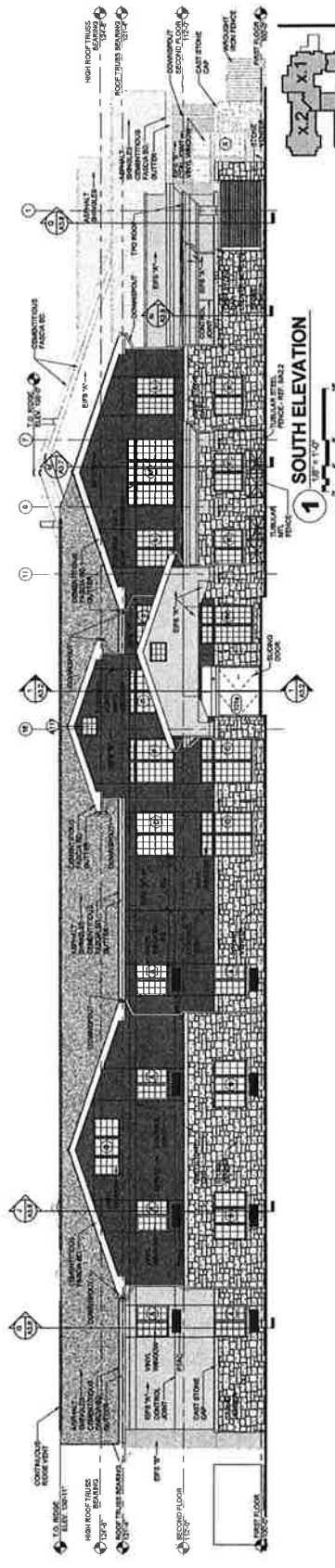
**THE LEGEND ON WEST 71ST**  
TULSA, OK

PRINTED: 10/10/13  
REVISIONS: 10/10/13  
DRAWN: JLD  
CHECKED: JLD  
DATE: 10/10/13

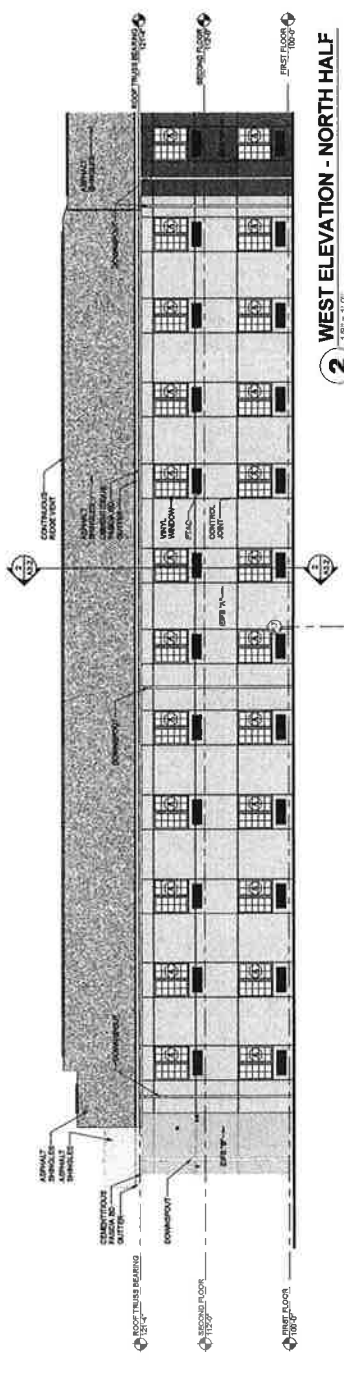
PROJECT: 11071  
SHEET: 10/10/13  
DATE: 10/10/13

**1**

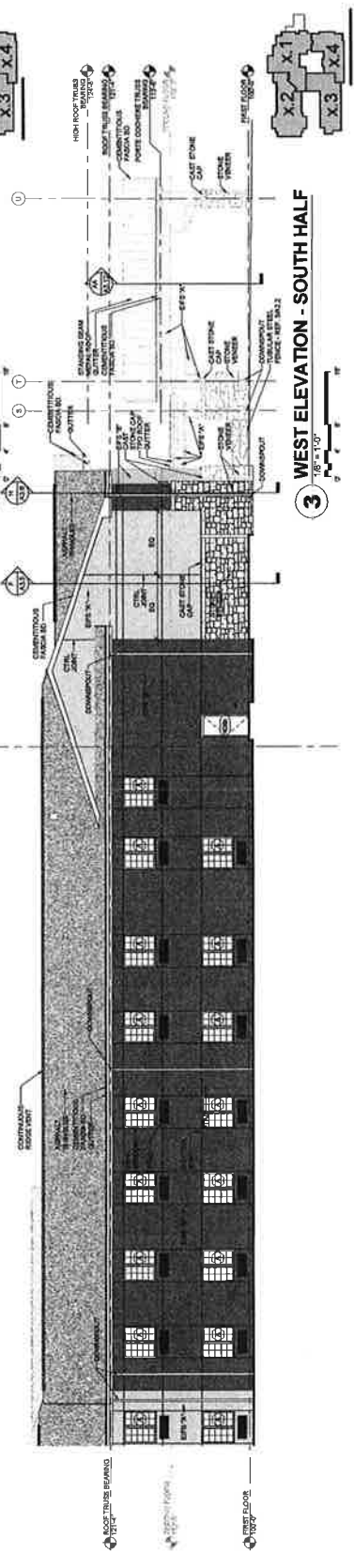
WDM ARCHITECTS, P.A.  
105 NORTH WASHINGTON  
SUITE 200  
TULSA, OK 74103  
F 918.262.2002  
wdmarchitects.com



**1 SOUTH ELEVATION**  
1/8" = 1'-0"



**2 WEST ELEVATION - NORTH HALF**  
1/8" = 1'-0"



**3 WEST ELEVATION - SOUTH HALF**  
1/8" = 1'-0"

12.6

TULSA, OK

PRINTS ISSUED  
SEPTEMBER 4, 2011

COPIES ISSUED 4 2012

869

869

FORM No	Author
1071	checked: Cheddar

1071

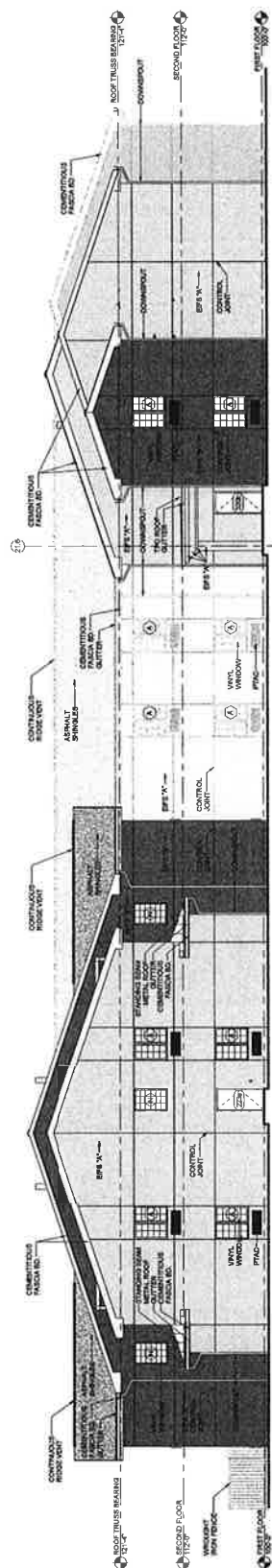
1071

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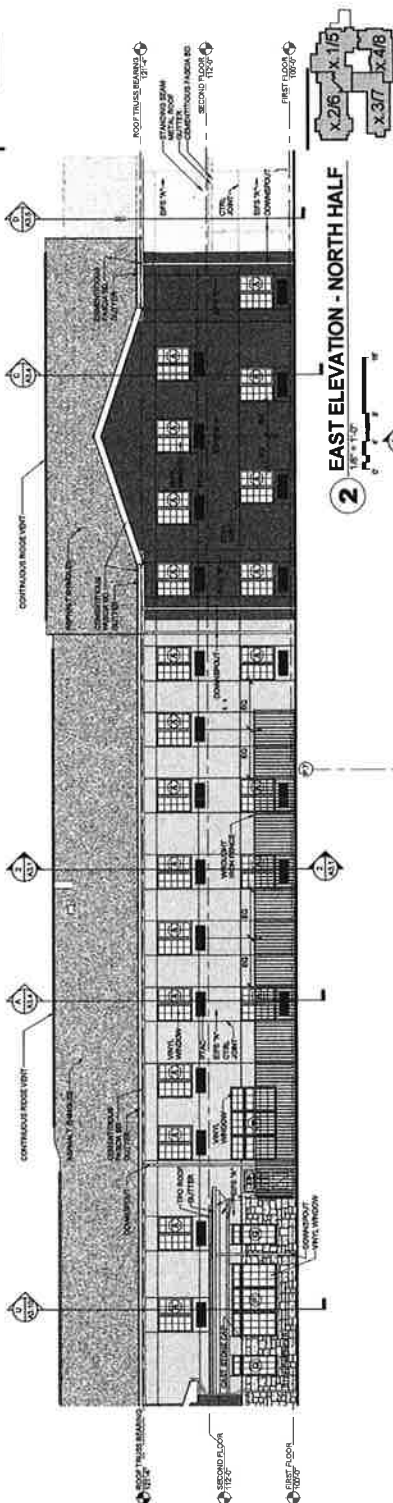
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2

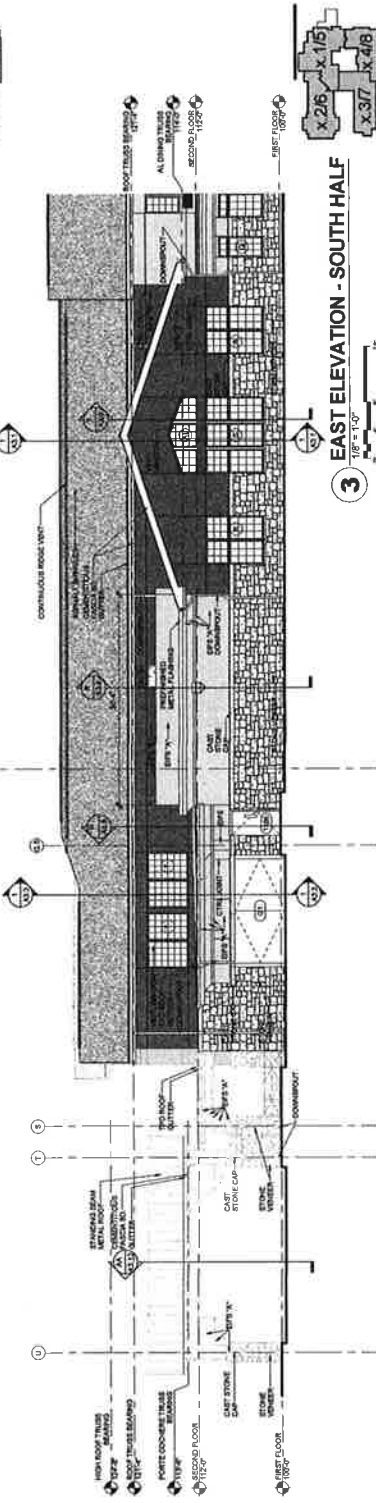
WPU Architectural & Planning



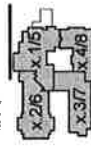
NORTH ELEVATION

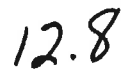


EAST ELEVATION - NORTH HALF



EAST ELEVATION - SOUTH HALF













**PUD 579-A Detailed Site Plan**

## **STAFF RECOMMENDATION**

### **PUD-579-A**

**Detailed Site Plan** – A 20,185 sq ft (0.46 acre) tract that is part of the SW/4 of Section 07, T-18-N, R-14-E, Lot-1, Block 1, Tallgrass Office Park, North of E. 81<sup>st</sup> Street South on the west side of S. 101<sup>st</sup> East Ave.; CZM 54; Atlas 1413: CD 7;

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### **CONCEPT STATEMENT:**

The applicant is requesting approval of a detail site plan for a doctor's office in Development Area "A" of PUD 579-A. The site has been previously platted but not developed. All uses permitted by in Use Unit 11 (Offices, Studio and Support Services) are permitted in this development area.

### **PERMITTED USES:**

The Site Plan provided as an attachment to this staff report illustrates a new Doctors Office (Use Unit 11) which is permitted by right in Development Area A of PUD 579-A.

### **DIMENSIONAL REQUIREMENTS:**

The submitted site plan meets all applicable, building height, floor area, density, open space, and setback limitations. No modifications of the previously approved PUD guidelines are required for approval of this site plan.

### **OFF-STREET PARKING AND VEHICULAR CIRCULATION:**

The Site Plan provides more parking spaces than the required minimum defined in the Tulsa Zoning Code.

### **LIGHTING:**

Parking lot lighting will be directed down to help prevent light trespass into the adjacent properties. Maximum height of light fixtures is 18' and below the 25' height limit allowed.

### **SIGNAGE:**

The site plan illustrates sign location along East 80<sup>th</sup> Street South and is placed appropriately for site plan review. This staff report does not remove the requirement for a separate sign plan review process. One ground sign is shown inside an existing easement and will require a license agreement with the City.

**SITE SCREENING AND LANDSCAPING:**

The landscape plan will be submitted to staff for separate review as allowed in the Planned Unit Development Section of the Zoning Code.

The trash screening enclosure meets the minimum screening standards defined in the PUD.

**PEDESTRIAN ACCESS AND CIRCULATION:**

Sidewalks will be installed internally and on the East 80<sup>th</sup> Street South frontage. Appropriate sidewalk plans have been provided on the site plan connecting to the building entrances.

**MISCELLANEOUS SITE CONSIDERATIONS:**

There are no concerns regarding the development of this area as it relates to the terrain modifications.

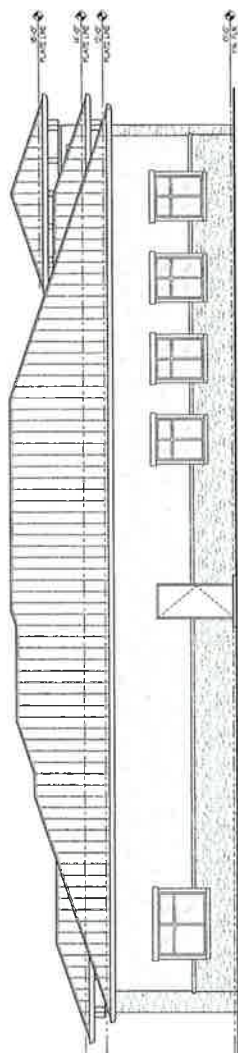
**SUMMARY:**

Staff has reviewed applicants' submittal of the Site Plan as it relates to the approved Planned Unit Development 579-A. The applicant site plan submittal meets or exceeds the minimum requirements of the Planned Unit Development. Staff finds that the uses and intensities proposed with this site plan are consistent with the approved Planned Unit Development 579-A, and the stated purposes of the Planned Unit Development of the Zoning Code.

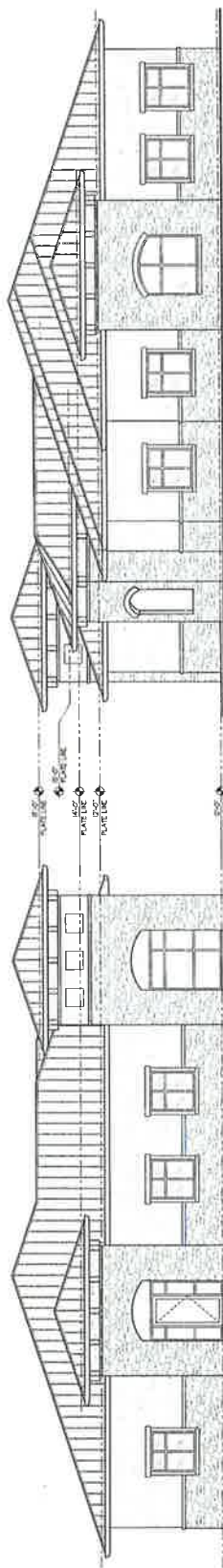
Therefore, staff recommends **APPROVAL** of the detail site plan for the proposed new commercial project.

*(Note: Detail site plan approval does not constitute sign plan or landscape plan approval.)*

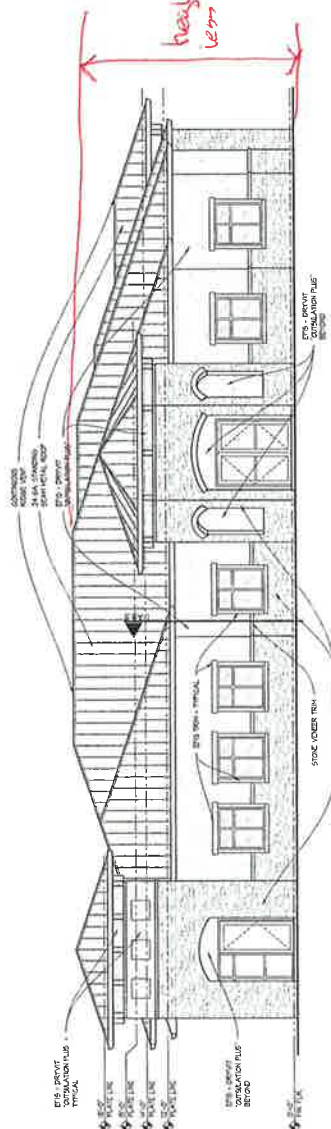




#### 4 EAST ELEVATION



3 NORTH ELEVATION



WEST ELEVATION

\* 52' height - attached  
in POD 57A-A



PUD-460

RM-0

PUD-531

PUD-579A

CS

CO

CS

E 81st ST

CS

PUD-522

CS

PUD-625

CO

RM-0

AG

AG

SOUTH MINGO PLAZA

E 82 PL S

S 100 E AVE

RS-3

E 83 ST S

E 83 PL S

E 84 ST S

CO

E 85 ST S

S 98 E AVE

S 100 E PL

S MINGO RD



18-14 18

Feet

0 150 300

14.1







## PRELIMINARY SUBDIVISION PLAT

### **South Mingo Plaza (revised) - (8418) (CD 7)**

South of the southeast corner of East 81<sup>st</sup> Street South and South Mingo Road

This plat consists of 4 Lots, 1 Block, on 7.68 acres.

The following issues were discussed September 19, 2012, at the Technical Advisory Committee (TAC) meetings:

1. **Zoning:** The property is zoned CO 6051-SP-2(Corridor District Site Plan). The plat for this addition was almost finished in 2008 and most infrastructure is in place. There will be a gated emergency access knox box between the existing neighborhood and the development on East 82<sup>nd</sup> Place.
2. **Streets:** Provide reference for right-of-way. Include section on sidewalks. Section I.I is about private streets. Where is the private street on the plat? Mutual access easement must terminate at boundary of Lot 4. No connection will be allowed to East 82<sup>nd</sup> Place.
3. **Sewer:** Provide the document number for the 11 foot sanitary sewer easement shown on the face of the plat if it presently exists. Include the sanitary sewer easement in the legend. The 11 foot x 20 foot sanitary sewer easement scales at 11 feet x 25 feet. The off-site 11 foot utility easement located adjacent to Lot 4, Block 1, plat 5660, scales at 22 feet. Use standard language for the covenants. Especially for Section 1-B. Ground elevations within easements containing City Utilities can not be altered without prior approval from the City. Add Language restricting the use of the sanitary sewer easement. Include the existing sanitary sewer line located adjacent to the proposed plat, since that is what gives Lot 4 access to the main for service.
4. **Water:** Add bearings and distances to the proposed 20 foot restrictive waterline easement. Use standard covenant language for the waterline service section. Include the restrictive water line easement covenant language. An additional valve and hydrant may be required to be installed on the proposed water line.
5. **Storm Drainage:** Drainage easement is not included in the legend. It should be storm sewer easement. The D/E and restrictive water line easement should not overlap the Mutual Access Easement. Drainage runoff from multiple lots in the addition is conveyed to the stormwater detention

facility; therefore that facility must be placed in a Reserve to be maintained by the Owners' Association. Replace Section 1.B with standard language for "water, sanitary sewer and storm sewer service". Replace Section 1.C with standard language for "Reserve – Stormwater Detention Easement". In Section 1.F, use standard language for "Surface Drainage". Add standard language for roof drainage to Section 1. Section 2 should contain language defining the Reserve Area, and the Maintenance Responsibilities for that Reserve Area. Add both existing and proposed contours to this plan.

6. **Utilities: Telephone, Electric, Gas, Cable, Pipeline, Others:** No comments.
7. **Other: Fire:** the conceptual drawing indicates the building on Lot 4 that will need fire department access along the east side due to the length of the building. The requirement is to provide fire department access within 150 feet of any portion of a non-sprinkled building or 200 feet of any portion of a sprinkled building. Also, if this building is not sprinkled an additional fire hydrant will be required. The requirement is to provide a fire hydrant within 400 feet of any portion of a non-sprinkled building or 600 feet of a sprinkled building. **GIS:** Fix the numerous location map errors. Show proper sections. Use actual bearings. Submit a subdivision control data form.

Staff recommends **APPROVAL** of the preliminary subdivision plat with the TAC recommendations and the special and standard conditions listed below.

#### **Waivers of Subdivision Regulations:**

1. None requested.

#### **Special Conditions:**

1. The concerns of the public works staff and development services staff must be taken care of to their satisfaction.

#### **Standard Conditions:**

1. Utility easements shall meet the approval of the utilities. Coordinate with Subsurface Committee if underground plant is planned. Show additional easements as required. Existing easements shall be tied to or related to property line and/or lot lines.
2. Water and sanitary sewer plans shall be approved by the Public Works Department prior to release of final plat. (Include language for W/S facilities in covenants.)
3. Pavement or landscape repair within restricted water line, sewer line, or utility easements as a result of water or sewer line or other utility repairs due

to breaks and failures shall be borne by the owner(s) of the lot(s).

4. Any request for creation of a Sewer Improvement District shall be submitted to the Public Works Department Engineer prior to release of final plat.
5. Paving and/or drainage plans (as required) shall be approved by the Public Works Department.
6. Any request for a Privately Financed Public Improvement (PFPI) shall be submitted to the Public Works Department.
7. A topography map shall be submitted for review by TAC (Subdivision Regulations). (Submit with drainage plans as directed.)
8. Street names shall be approved by the Public Works Department and shown on plat.
9. All curve data, including corner radii, shall be shown on final plat as applicable.
10. Bearings, or true N/S, etc., shall be shown on perimeter of land being platted or other bearings as directed by the County Engineer.
11. All adjacent streets, intersections and/or widths thereof shall be shown on plat.
12. It is recommended that the developer coordinate with the Public Works Department during the early stages of street construction concerning the ordering, purchase and installation of street marker signs. (Advisory, not a condition for plat release.)
13. It is recommended that the applicant and/or his engineer or developer coordinate with the Tulsa City/County Health Department for solid waste disposal, particularly during the construction phase and/or clearing of the project. Burning of solid waste is prohibited.
14. The method of sewage disposal and plans therefor shall be approved by the City/County Health Department. [Percolation tests (if applicable) are required prior to preliminary approval of plat.]
15. The owner(s) shall provide the following information on sewage disposal system if it is to be privately operated on each lot: type, size and general location. (This information to be included in restrictive covenants on plat.)
16. The method of water supply and plans therefor shall be approved by the City/County Health Department.
17. All lots, streets, building lines, easements, etc., shall be completely dimensioned.
18. The key or location map shall be complete.
19. A Corporation Commission letter, Certificate of Non-Development, or other records as may be on file, shall be provided concerning any oil and/or gas

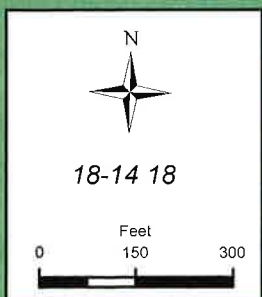
wells before plat is released. (A building line shall be shown on plat on any wells not officially plugged. If plugged, provide plugging records.)

20. A "Letter of Assurance" regarding installation of improvements shall be provided prior to release of final plat. (Including documents required under 3.6.5 Subdivision Regulations.)
21. Applicant is advised of his responsibility to contact the U.S. Army Corps of Engineers regarding Section 404 of the Clean Waters Act.
22. All other Subdivision Regulations shall be met prior to release of final plat.
23. All PUD standards and conditions shall be included in the covenants of the plat and adequate mechanisms established to assure initial and continued compliance with the standards and conditions.
24. Private streets shall be built to City or County standards (depending upon the jurisdiction in which the plat is located) and inspected and accepted by same prior to issuance of any building permits in the subdivision.





**SOUTH MINGO PLAZA  
LAND USE PLAN:  
MIXED-USE CORRIDOR**



**S MINGO RD**

**S 98 E AVE**

**E 81st ST**

**E 82 PL S**

**E 83 ST S**

**E 83 PL S**

**E 84 ST S**

**Land Use Plan Categories**

- |   |   |
|---|---|
|  Downtown              |  Neighborhood Center   |
|  Downtown Neighborhood |  Employment            |
|  Main Street           |  New Neighborhood      |
|  Mixed-Use Corridor    |  Existing Neighborhood |
|  Regional Center       |  Park                  |
|  Town Center           |  Open Space            |

14.8

FLAT NO.	
----------	--

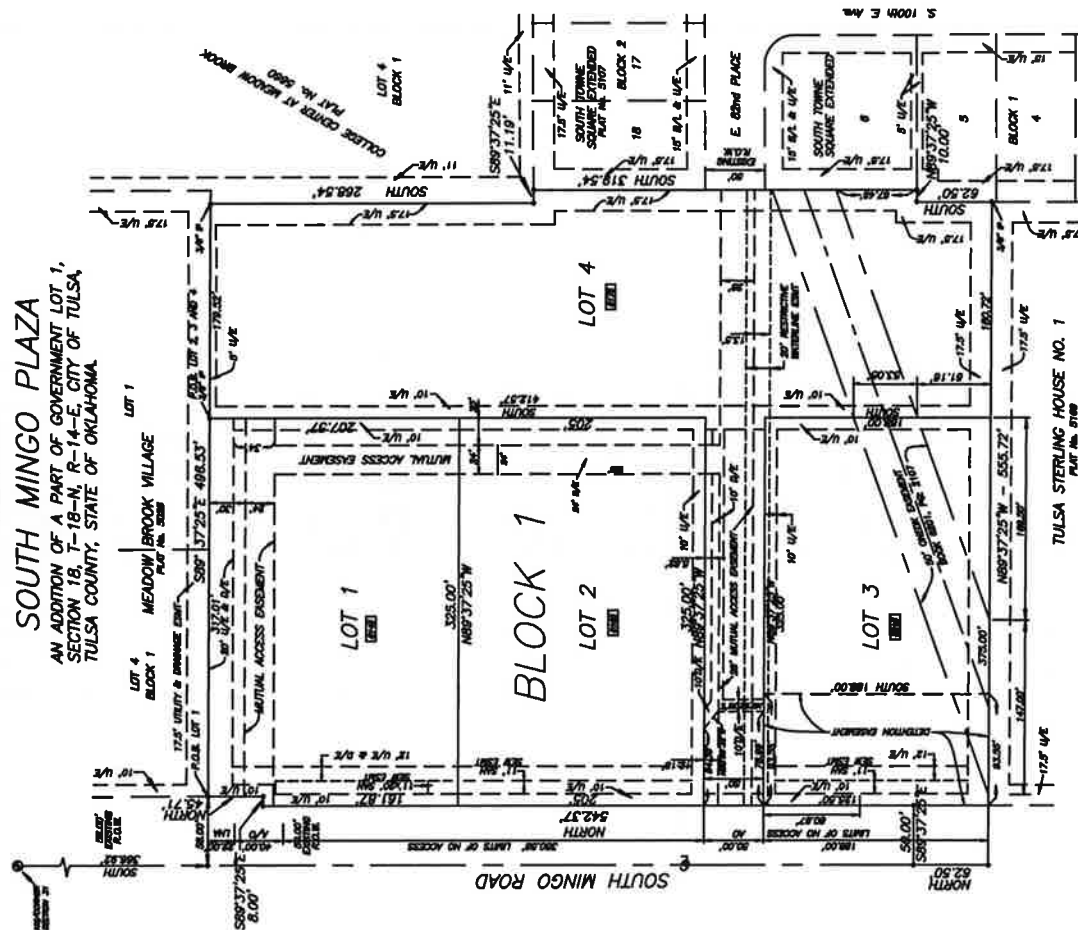
[illegible]

LEBRON	CENTER LINE	UTILITY ENHANCEMENT	UTILITY ENHANCEMENT
		CHESLAND DRINKWARE ENLIGHT	CHESLAND DRINKWARE ENLIGHT
		LAUREL OF NO ACCESS	LAUREL OF NO ACCESS
		ACCROSS OFFERING	ACCROSS OFFERING
		ROAD NORTH OF HWY	ROAD NORTH OF HWY
		WATERWAY CO. / REP	WATERWAY CO. / REP
		INTER LINE	INTER LINE
		ROCK	ROCK
		PAINT OF ZEPHYRUS	PAINT OF ZEPHYRUS
		SMITH	SMITH
		ADDRESS	ADDRESS
2			2

## PRELIMINARY PLAT

**SOUTH MINGO PLAZA**

AN ADDITION OF A PART OF GOVERNMENT LOT 1,  
SECTION 18, T-18-N, R-14-E, CITY OF TULSA,  
TULSA COUNTY, STATE OF OKLAHOMA



OWNER:  
LOTS 2, 3 AND 4, BLOCK 1  
DMY ACQUISITIONS, L.L.C.  
PO BOX 1000  
SEASIDE, OREGON 97138  
PHONE: 503-323-0040  
CONTACT: DANY MITCHELL

OWNER:  
LOT 1, BLOCK 1  
HARRISON VALLEY PETROLEUM CO.  
3330 E 73RD ST, SUITE 100  
MILWAUKEE, OREGON 97133-8804  
PHONE 503-282-0808

DOWNER/SURVIVOR:  
EAST ENGINEERS, P.L.L.C.  
1430 SO. 271ST E. AVE.  
BROOKLYN AVE., GREENHAM 74014  
PHONE: 818-254-0889  
E.A. #3, 3400 EXP. DATED 8/30/13  
E-MAIL: [ELBERT@EASTENGINEERS.COM](mailto:ELBERT@EASTENGINEERS.COM)  
CONTACT: BILL LEWIS

**Z** 

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電	

1

- [illegible]

STATE OF OREGON }  
COUNTY OF TILLAMOOK }

John J. ..., John County Clerk, in and for said County and State of Oklahoma does hereby certify that the foregoing is true and correct.

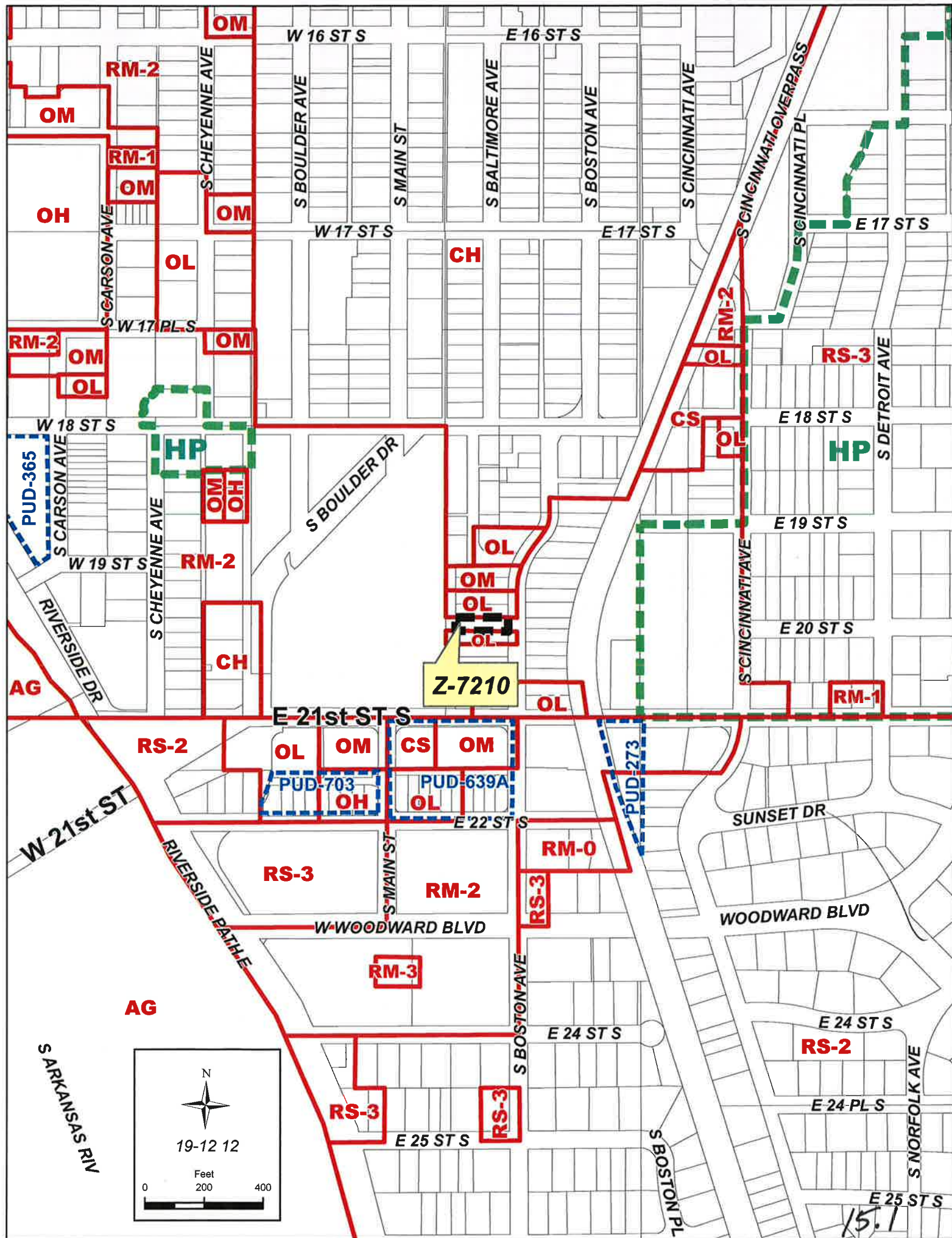
Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 19\_\_\_\_.

Notary Public for the County of \_\_\_\_\_, State of \_\_\_\_\_.

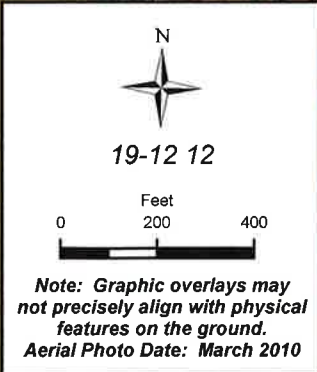
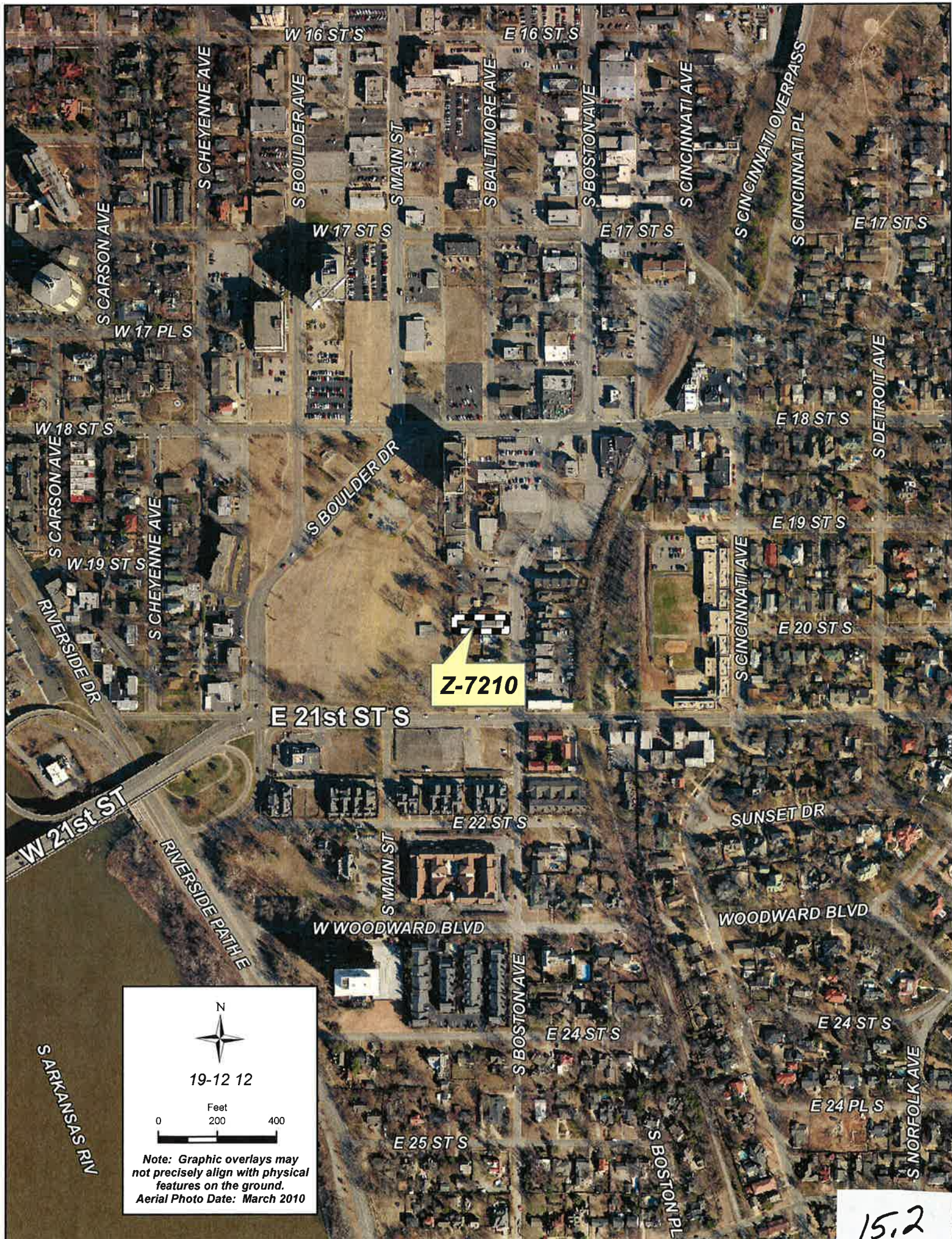
14.9











15.2





**Z-7210**

**S BOSTON AVE**

**E 21st ST S**

**S MAIN ST**



19-12 12

Feet  
0 50 100

Note: Graphic overlays may not precisely align with physical features on the ground.  
Aerial Photo Date: March 2010

15.3



**TULSA METROPOLITAN AREA PLANNING COMMISSION  
CASE REPORT**

**APPLICATION: Z-7210**

**TRS 9212**

**Atlas 35**

**CZM 36**

**CD-4**

**TMAPC Hearing Date:** September 19, 2012

**Applicant:** Marcs Makar

**Tract Size:** 7992± square feet

**ADDRESS/GENERAL LOCATION:** North of northwest corner of East 21<sup>st</sup> Street and South Boston Avenue

**EXISTING ZONING:** RM-2

**EXISTING USE:** Residential

**PROPOSED ZONING:** CS

**PROPOSED USE:** Commercial/ trapeze facility

**ZONING ORDINANCE:** Ordinance number 11814 dated June 26, 1970, established zoning for the subject property.

***RELEVANT ZONING HISTORY:***

No relevant history.

***AREA DESCRIPTION:***

**SITE ANALYSIS:** The subject property is approximately 7992± square feet in size and is located north of northwest corner of East 21<sup>st</sup> Street and South Boston Avenue. The property appears to be residentially used and is zoned RM-2. During the building life an office style addition has been added to the front of the original structure and may have been used as an office. The front yard is essentially covered in concrete and serves as a parking area and is a non conforming use in the current Zoning Code. The existing RM-2 zoning does not allow any commercial use.

**SURROUNDING AREA:** The subject tract is abutted on the east by South Boston Avenue and across the street to the east the property is zoned RM-2; on the North and South the site is abutted by small offices and are both zoned OL. The property abutting the site on the west is Veterans Park, and also zoned RM-2.

**UTILITIES:** The subject tract has municipal water and sewer available.

**TRANSPORTATION VISION:**

The Comprehensive Plan does not specifically identify Boston Avenue.

**STREETS:**

15.4



<u>Exist. Access</u>	<u>MSHP Design</u>	<u>MSHP R/W</u>	<u>Exist. # Lanes</u>
South Boston Avenue	n/a	60'	2

### **RELATIONSHIP TO THE COMPREHENSIVE PLAN:**

The Comprehensive Plan designates the site as a Downtown Neighborhood and in an area of growth.

A Downtown Neighborhood is defined as areas "located outside but are tightly integrated with the Downtown Core. These areas are comprised of university and higher educational campuses and their attendant housing and retail districts, former warehousing and manufacturing areas that are evolving into areas where people both live and work, and medium to high-rise mixed –use residential areas. Downtown Neighborhoods are primarily pedestrian oriented and are well connected to the Downtown Core via local transit. They feature parks and open space, typically at the neighborhood scale."

### **STAFF RECOMMENDATION:**

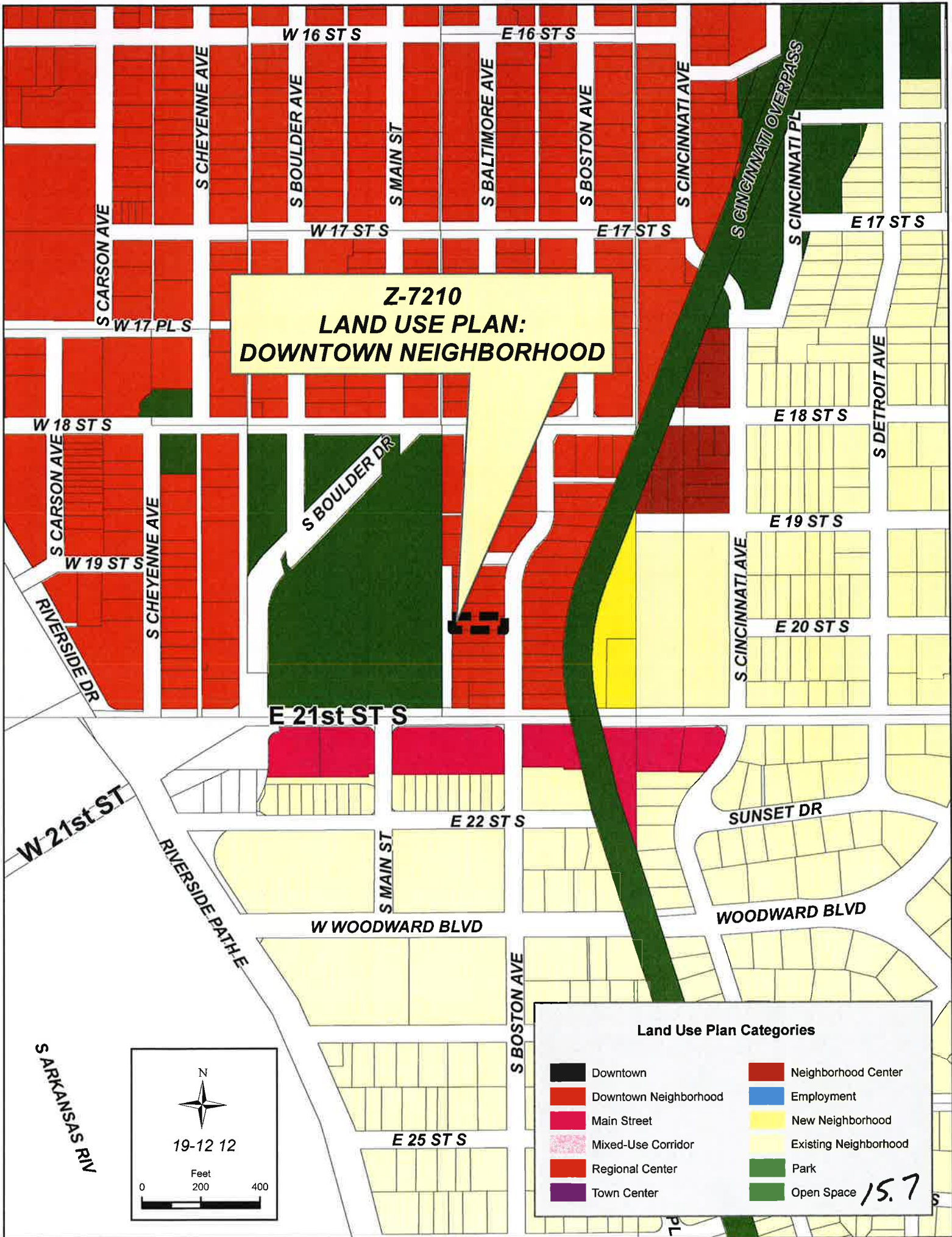
This site is in a neighborhood which has been accurately identified in the comprehensive plan as an area which has evolved into a mixed use area where people live, work and play in a unique mix of multifamily and single family residential uses, mixed with small offices, large office buildings, parks, and schools. This site is one of the most diverse use neighborhoods in the south side of the Central Business District Area and is identified as an area of growth in the comprehensive plan. The Comprehensive Plan could support a retail/commercial use in this area if a larger more comprehensive development including urban neighborhood retail component..

In this particular instance there is no other commercial use in the immediate area and staff believes that the CS zoning request constitutes spot zoning and therefore **recommends DENIAL of the requested CS zoning.**

09/19/12







CHUCK LANGE  
ZONING OFFICIAL  
PLANS EXAMINER

TEL (918)596-9688  
clange@cityoftulsa.org



## DEVELOPMENT SERVICES

175 EAST 2<sup>nd</sup> STREET, SUITE 450  
TULSA, OKLAHOMA 74103

### ZONING CLEARANCE PLAN REVIEW

LOD Number: 672626-1

July 06, 2012

MARCUS MAKAR  
PO BOX 103  
TULSA, OK 74101-

Phone: (918)260-9880

APPLICATION NO: **6258** (PLEASE REFERENCE THIS NUMBER WHEN CONTACTING OUR OFFICE)  
Location: **1918 S BOSTON AV E**  
Description: **FLYING TRAPEZE**

#### INFORMATION ABOUT SUBMITTING REVISIONS

OUR REVIEW HAS IDENTIFIED THE FOLLOWING CODE OMISSIONS OR DEFICIENCIES IN THE PROJECT APPLICATION FORMS, DRAWINGS, AND/OR SPECIFICATIONS. THE DOCUMENTS SHALL BE REVISED TO COMPLY WITH THE REFERENCED CODE SECTIONS.

##### REVISIONS NEED TO INCLUDE THE FOLLOWING:

1. A COPY OF THIS DEFICIENCY LETTER
2. A WRITTEN RESPONSE AS TO HOW EACH REVIEW COMMENT HAS BEEN RESOLVED
3. THE COMPLETED REVISED/ADDITIONAL PLANS FORM (SEE ATTACHED)

REVISIONS SHALL BE SUBMITTED DIRECTLY TO THE CITY OF TULSA PERMIT CENTER LOCATED AT 175 EAST 2<sup>nd</sup> STREET, SUITE 450, TULSA, OKLAHOMA 74103, PHONE (918) 596-9601. THE CITY OF TULSA WILL ASSESS A \$25 RESUBMITTAL FEE PLUS ONE DOLLAR PER SUBMITTED PAGE. DO NOT SUBMIT REVISIONS TO THE PLANS EXAMINERS.

**SUBMITTALS FAXED TO PLANS EXAMINERS WILL NOT BE ACCEPTED.**

#### IMPORTANT INFORMATION

1. SUBMITTAL OF REVISED/ADDITIONAL PLANS MUST BE SUBMITTED WITH TWO (2) SETS [4 SETS IF HEALTH DEPARTMENT REVIEW IS REQUIRED] OF REVISED OR ADDITIONAL PLANS. REVISIONS SHALL BE NOTED WITH CLOUDS AND REVISION MARKS.
2. THE FULL TEXT OF THE ZONING CODE, INFORMATION ABOUT INDIAN NATION COUNCIL OF GOVERNMENT (INCOG), BOARD OF ADJUSTMENT (BOA), AND TULSA METROPOLITAN AREA PLANNING COMMISSION (TMAPC) IS AVAILABLE ONLINE AT [WWW.INCOG.ORG](http://WWW.INCOG.ORG) OR AT INCOG OFFICES AT WILLIAMS TOWER II, 2 W. 2<sup>nd</sup> ST., 8<sup>th</sup> FLOOR, TULSA, OK, 74103, PHONE 918-584-7526.
3. QUESTIONS CONCERNING VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF AN ADMINISTRATIVE OFFICIAL, PLANNED UNIT DEVELOPMENTS (PUD), ZONING CHANGES, PLATTING, LOT SPLITS, LOT COMBINATIONS, AND ALTERNATIVE COMPLIANCE LANDSCAPE PLANS SHOULD BE DIRECTED TO AN INCOG REPRESENTATIVE.

(continued)

15.8



## REVIEW COMMENTS

SECTIONS REFERENCED BELOW ARE FROM THE CITY OF TULSA ZONING CODE TITLE 42 AND CAN BE VIEWED AT [WWW.CITYOFTULSA-BOA.ORG](http://WWW.CITYOFTULSA-BOA.ORG)

Application No. 6258

1918 S BOSTON AV E

July 06, 2012

**This letter of deficiencies covers Zoning plan review items only. You may receive additional letters from other disciplines such as Building or Water/Sewer/Drainage for items not addressed in this letter.**

**Sec.401 Table 1 Permitted Uses in Residential Districts:** Use Unit 20 – Commercial Recreation, which includes Outdoor Recreation Not Elsewhere Classified (NEC), is not a permitted use in an RM-2 district.

**Review Comments:** The proposed trapeze is located in an RM-2 district and is designated a Use Unit 20 Outdoor Recreation NEC. This requires rezoning to a district that allows a Use Unit 20 either by Special Exception or by Right. All Commercial districts (CS, CG, CH and CBD) and Industrial Light (IL) will require a Board of Adjustment Special Exception after rezoning. Use Unit 20 is allowed by Right in the Industrial Districts IM and IH.

**NOTE: Please direct all questions concerning Zoning changes to Mindi Mariboho and Special Exceptions to Carolyn Back at 918-584-7526. It is your responsibility to keep our office advised of any action by the BOA and TMAPC affecting the status of your application for a Zoning Clearance Permit.**

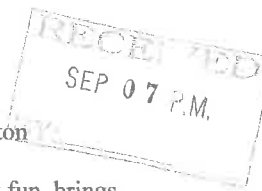
## END – ZONING CODE REVIEW

**NOTE:** THIS CONSTITUTES A PLAN REVIEW TO DATE IN RESPONSE TO THE SUBMITTED INFORMATION ASSOCIATED WITH THE ABOVE REFERENCED APPLICATION. ADDITIONAL ISSUES MAY DEVELOP WHEN THE REVIEW CONTINUES UPON RECEIPT OF ADDITIONAL INFORMATION REQUESTED IN THIS LETTER OR UPON ADDITIONAL SUBMITTAL FROM THE APPLICANT.

KEEP OUR OFFICE ADVISED OF ANY ACTION BY THE CITY OF TULSA BOARD OF ADJUSTMENT OR TULSA METROPOLITAN AREA PLANNING COMMISSION AFFECTING THE STATUS OF YOUR APPLICATION FOR A ZONING CLEARANCE PERMIT.

15.9

Re: case # Z-7210



Petition Re: Approving the rezoning to install Flying trapeze at 1918 S Boston

Trapeze is good for the City. It is conducive to improving health, incredibly fun, brings people together, and is relatively new, novel activity only available in about two handfuls of cities in this country. Please grant this approval.

Sat. Sep 8-11-12

592-4421

~~Joanne Stone~~ 1915 S. Boston 74119 ~~anneroragane~~  
~~Joanne Stone~~ (aol.com)

Nancy Hood 630-2246 1922 S Boston 74119 NRH1914@aol.com  
~~Nancy Hood~~

DAVID HARP 1933 S. Boston Apt. D 74119 harp.david@aol.com  
~~David Harp~~

SUSAN GUNN 101 E 21 street apt. 1 gunnsw@rocketmail.com

Kate Hamernik 101 E 21 St apt 3 hamerni@okstaredeu  
~~Kate Hamernik~~

JUSTIN BANEY 112 E 21ST APT 5 MRBANEY@YAHOO.COM  
~~Justin Baney~~

Amelia Williamson 105 E 21st Apt 7  
~~Amelia Williamson~~

Dr. Mahini Chintapalli 745-7354 1907 S. Boston Ave malhi.m@adl.com  
~~Dr. Mahini Chintapalli~~

Dr. Scott Haggard 512-533-8211 same 1933 S Boston 584-3100  
~~Dr. Scott Haggard~~

John Rucker JLRANCH@aol.com

DOUG CAMPBELL Doug Campbell 1927 S. BOSTON  
doug@CDATOLSA.COM 583-6671

Christa Lierman Cherman@aol.net 1927 S. Boston  
Tony Harris

Larry D. Leonard Larry D. Leonard 1921 S. Boston  
FRANCINE ROBINSON francine@comcast.net 1919 S Boston

(A)

15.10

Petition Re: Approving the rezoning to install Flying trapeze at 1918 S Boston

Trapeze is good for the City. It is conducive to improving health, incredibly fun, brings people together, and is relatively new, novel activity only available in about two hundred cities in this country. Please grant this approval.

✓ ~~File~~ ~~Barley Architecture Firm~~ ~~Knights of Columbus Bldg~~ 1836 S. Balt,  
Buck Bartore ~~Jul-Br~~ ~~Atty at Law~~ 1910 S. Boston, Tulsa, OK 74115  
582-1986 buck@bwbpc.org  
GEORGE SAUM ~~Hi~~ ~~UNITY CENTER~~ 1830 S. BOSTON AVE. TULSA 74119  
OF TULSA unitytulsa@sbcglobal.net  
Atty at Law 583-8732  
BILL RAYMOND ~~TS4~~ 1914 S. Boston, OK  
BILL R ~~HOOD ARCHITECTS~~  
Michael B. Elson, PC ~~Michael B. Elson~~ 1900 S. Boston Ave. Tulsa, OK  
582-8888  
TONY HENRY ~~Im~~ 1927 S. Boston TULSA, OK 918-592-9111  
USAN FATHING ~~Jul-Br~~ 1829 S. BOSTON TULSA OK 918-282-6883  
74119

(B)





8-10-12

RECEIVED  
SEP 17 P.M.

Petition Re: Approving the rezoning to install Flying trapeze at 1918 S Boston

Trapeze is good for the City. It is conducive to improving health, incredibly fun, brings people together, and is a relatively new, novel activity only available in about two handfuls of cities in this country. Please grant this approval.

Name Print      Address      Signature

1 Scott Carr 5406 E 19<sup>th</sup> St

2 Angie Gregory 4352 E 58<sup>th</sup> St

Karis Jackson 218 S. 18<sup>th</sup> E. Ave

4 Kari Murphy 5335 E. 20 St

James White 6934 E 46 Pl

6 Delaney Grain 20302 E 33<sup>rd</sup> Pl N

Sham Zigler 12328 E 25<sup>th</sup> Pl

8 Jody Bud 22326 E 31 Ave

Jordan H 1435 S. Birmingham Pl

10 Eva Bud 1414 S. Quincy Ave

Rebecca Griggs 1537 S. Indianapolis Ave

12 Derek Samp P.O. Box 14514 Tulsa, OK 74114

APrickford P.O. Box 14514 Tulsa, OK 74114

14 Chip Blue 200 main St # 107 PC and

Patrick Makamara 1412 S Trenton Ave PL

16 Gregg Talley 3409 E 32<sup>nd</sup> Pl

Amanda Nagy 709 W. Utica St

18 Stacy Brucella 2109 E. Concord St

Sam Philbeck 10304 E 12<sup>th</sup> Tulsa, OK

20 William A Meredith 1152 W Hickory Pl, Bartlett

Whitney Martin 5117 S Cedar Ave, Bartlett 74011

21 Andrea Martin 1121 N Hickory Pl 74012

John Erno 5708 E 62<sup>nd</sup> E Agston Law & Tulsa Cox Mail.com

Pg 1. 21  
2. 22  
Pg 3. 23  
4 20

Pg 5 13

Neighbors Pg

A  
B

signatures  
14

Petition Re: Approving the rezoning to install Flying trapeze at 1918 S Boston

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Buck  
Nathan Buck 5221 Haverhill Ave NTH

1 Shannon Wolf 12207 E 82nd Pl Shannon Wolf

2 Malinda Petherick 6622 E 88th Pl Malinda Petherick

3 Edward Petherick 6622 E 82nd Pl E Petherick

4 Paula Salazar 8522 E. 61st Paula Salazar

5 Beth Tarusew 11206 S 107th Beth Tarusew

6 Travis Furst 12222 S. Birmingham Pl. Travis Furst

7 Makelle Selesse 2506 W. Center St BA Makelle Selesse

8 ~~R. B. Smith~~ 1000 S Federal Ave BA Lisa Bennis

9 Jeff Brown 14715 E 171st S Bixby, OK Jeff Brown

10 Brandie Davenport 12201 E 82nd Pl Brandie Davenport

11 Benjamin Pullin 14744 E 74th Pl R. C. P.

12 Brian Fortner 104 E Kent BA OK 74012 Brian Fortner

13 Rendonna OLIVAREZ 104 E Kent BA OK 74012 Rendonna OLIVAREZ

14 Brandon Miller 4648 S Trenton Ave Tulsa OK 74022 Brandon Miller

15 Lacie Olivarez 104 E Kent BA OK 74012 Lacie Olivarez

16 Candace Thodin 3546 E. Latimer Pl Tulsa, OK 74115 Candace Thodin

17 Shawn D. Reiss 7813 N. 112th E Ave Overland, OK 74055 Shawn D. Reiss

18 Leslie McCollum 11905 E 76th St N, Overland, OK 74055 Leslie McCollum

19 Jessica Foster 11237 Kingsgate Dr OKC, OK 73170 Jessica Foster

20 Grady Shook 1414 E. Lindsey Apt A Norman, OK 73072 Grady Shook

21 Zyan Reiff 4705 W 124th Pl PC Overland, OK 74055 Zyan Reiff

Petition for Approving the rezoning to install Flying trapeze at 1918 S Boston  
Katherine [unclear] 1316 S Carson Ave 74116  
Trapeze is good for the City. It is conducive to improving health, incredibly fun, brings people together, and is relatively new, novel activity only available in about two handfuls of cities in this country. Please grant this approval.  
PRINT NAME ADDRESS SIGNATURE

Christopher Brown 16928 S Decit 74008  
Mackenzie Teague 2608 W. Vandalia St 74012  
Andrew Williams 8809 S 20 E AWC  
4 Chad Gump 1074 E 7th St N 44  
Elizabeth Hardy 1039 E 10th St N 74105  
6 Victoria Davison 1140 E Watchorn Ave Sapuza  
Joel Myers 2829 E. 1st St. 74104  
8 Alice D. Millionaire 2419 E 24th St  
Cathleen Whitaker 6011 E. 75th St. Tulsa, OK 74136  
5101 Kathy - w/ her 3 [unclear] List. 5/24/17

Brack Sparks 1467 Knottlingfull St 73103  
12 Joe Woodworth 3170 S. Detroit Ave. 74105  
Blake Goodwin 1323 S. Delaware 74104  
14 Jane, R. Dobson 1747 S. Boston 74112  
Eric Cegelski 241 Barnes Bridge Sumner 75182  
16 Abby Tomlin 204 S. 3rd Ave  
Chris Morgan 527 E Newton Pl  
18 Kyle Engles 4217 S Weeding  
KASSIE KAMINS 1519 1/2 S. COLUMBIA AVE.  
20 Elliot Crank 4712. 49th St.  
Chase Hilton 1012 W Norman  
22 Kevin Wilson 6711 S Lewis  
23 Morgan Burkhardt Mayes County 15.15  
VOID, S. #1 abot

Petition Re: Approving the rezoning to install Flying trapeze at 1918 S Boston

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8-10-12

	Print Name	Address	Signature
1	Terese Lake	9207 Riverside, Tulsa	Terese Lake
2	Rusty Wilson	1261 Forest Lane, Canton, OK	Rusty Wilson
3	Robert White	Tulsa, OK	Robert White
4	Rebekah Moore	9944 E. 124th St. Bixby, OK	Rebekah Moore
5	Van Horenstratte	3163 E 82nd St Tulsa, OK	Van Horenstratte
6	Amr Wato	Aaron Walton 1306 S Rockford Ave	Aaron Walton
7	Matt Cannizzaro	6921 E 20th St. Tulsa, OK 74112	Matt Cannizzaro
8	William Dennis	5932 E. 27th Pl. Tulsa, OK 74111	William Dennis
9	Joe Hester	1421 E Habera Broken arrow, OK	Joe Hester
10	Richard Rodriguez	6150 S 35th W. Ave Tulsa, OK	Richard Rodriguez
11	LISA ALEXANDER	1219 S. TULSA AVE. TULSA, OK	LISA ALEXANDER
12	D. CLAY ROESLE	1408 STROOST APT#3 TULSA, OK	D. CLAY ROESLE
13	Charlie Green	9316 E 56th ST. Tulsa 74145	Charlie Green
14	Matthew Safa P	9043 E 29th pl. 74129	Matthew Safa P
15	Thomas Nichols	3810 S 124 E AVE OK	Thomas Nichols
16	Erica Baker	3810 S 124 E Ave Tulsa	Erica Baker
17	Tiffany Lane	5200 W. 14th Pl 301 Tulsa, OK 74119	Tiffany Lane
18	Mark Pinkstaff	7435 E 59th Pl Tulsa, OK 74133	Mark Pinkstaff
19	Carey Cloud	316 W 13th St #1 Tulsa, OK 74119	Carey Cloud
20	SARAH LINDR	2419 E 24th St TULSA, OK	SARAH LINDR



Petition Re: Approving the rezoning to install Flying trapeze at 1918 S Boston

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crispy knight - Rte 66 circus - freak show - performer. Kinda Route 66 museum.  
Lieberman

1 Chris Lieberman 10774 S. 103rd Ave  
Hann

2 Kim Hann 10234 S. 6th E. Apt 103 74133 Kih

Daniel Pascucci M.D. 2114 S. Birmingham Ct 74114 513-1198

4 Amy S. Fuller 1366 E. 26th St 645-74111 74111 Amy

Brad Fuller 1366 E 26th 695-5134 74114 Brad

6 Todd Arnold, Ph.D. 1415 S. St. Louis Ave 74120 994-9170

Doug Arnold Ph.D 1415 S St Louis Ave 994-9170 743-3945

8 NANCY LOCKWOOD MAKAR 1412 East 31st Place

Nancy Lockwood Makar nancylm123@yahoo.com 625-2579

Ann Hughes Ann Hughes 3626 E 40th St 630-5563 mommyhughes@yahoo.com

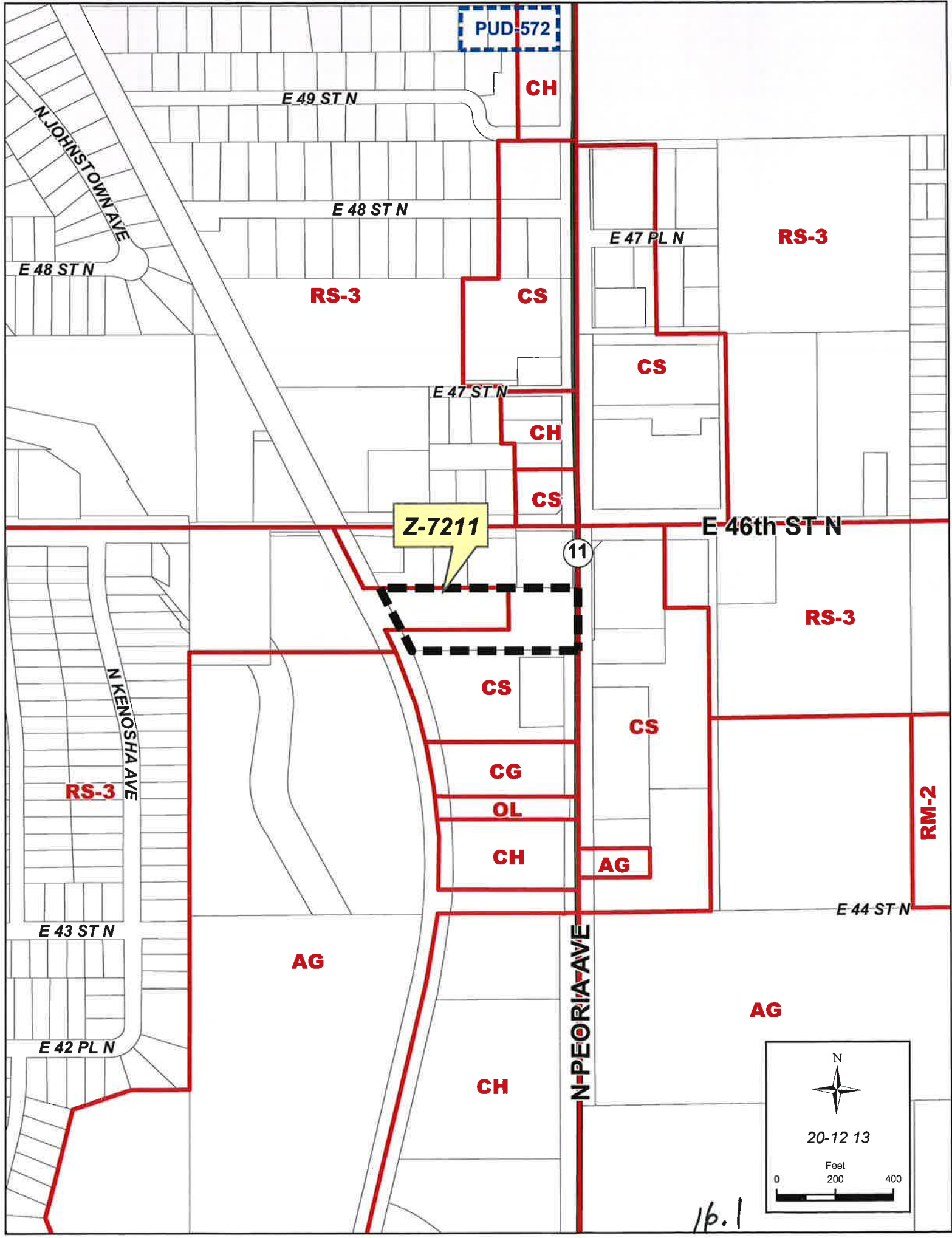
10 Dan Jarrett 6502 E. 57th Pl. 605-7771 DanceFocusAnywhere.com

James Meyer 8710 S. 71st E. Ave 409-4912 jimeyer@shcglobal.v

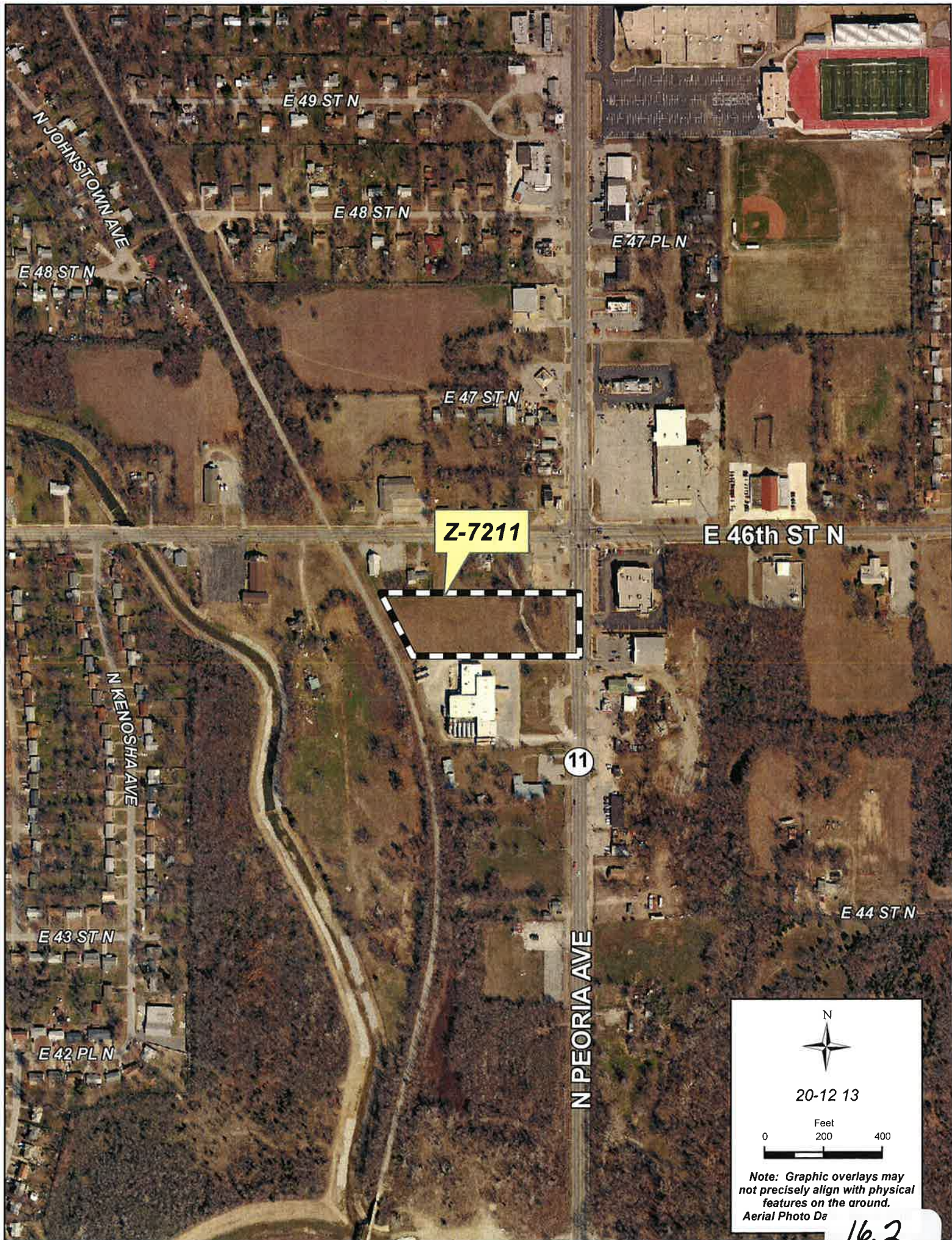
12 Rick Leary 2804 S. HUBBARD AVE 74137 409-4912

13 Hayden Moore 3637 S. Sandusky 313-0949  
works 4p til midnight call before 3pm  
Hayden Moore









20-12 13

Feet  
0 200 400

Note: Graphic overlays may  
not precisely align with physical  
features on the ground.  
Aerial Photo Data

16.2



**TULSA METROPOLITAN AREA PLANNING COMMISSION  
CASE REPORT**

**APPLICATION: Z-7211**

**TRS 0213**

**Atlas 716**

**CZM 3**

**CD-1**

**TMAPC Hearing Date:** September 19, 2012

**Applicant:** Sisemore, Weisz & Associates, Inc.

**Tract Size:** 2.8± acres

121,968± square feet

**ADDRESS/GENERAL LOCATION:** South of southwest corner of East 46<sup>th</sup> Street and North Peoria Avenue

**EXISTING ZONING:** RS-3/CS

**EXISTING USE:** Undeveloped

**PROPOSED ZONING:** CS

**PROPOSED USE:** Proposed retail store

**ZONING ORDINANCE:** Ordinance number 11914 dated September 1, 1970, established zoning for the subject property.

**RELEVANT ZONING HISTORY:**

**Z-6835 November 2001:** All concurred in approval of a request for rezoning a 6.6± acre tract of land from AG/ RS-3/ CS to CS, for mini-storage, on property located south of southeast corner East 46<sup>th</sup> Street North and North Peoria Avenue.

**Z-6743 February 2000:** All concurred in approval of a request to rezone a 4± acre tract of land from RS-3 to CS, located east of the southeast corner of East 46<sup>th</sup> Street North and North Peoria Avenue.

**Z-6575 February 1997:** All concurred in approval to rezone .4± acre tract from OL to CS located south of the southeast corner of East 46<sup>th</sup> Street North and North Peoria Avenue.

**AREA DESCRIPTION:**

**SITE ANALYSIS:** The subject property is approximately 2.8± acres in size and is located south of southwest corner of East 46<sup>th</sup> Street and North Peoria Avenue. The property appears to be vacant and is zoned RS-3/CS. The zoning line dividing the property between RS-3 and CS was apparently defined in the original zoning of the property in 1970 and no longer reflects the recommendations of the Comprehensive Plan. Changing the RS-3 section of the property will bring all of the site into a CS zoning classification and will provide a development opportunity consistent with the goals of the Comprehensive Plan for this area.

**SURROUNDING AREA:** The subject tract is abutted on the east by North Peoria, across the street the property is zoned CS; on the north and south the property is all zoned CS, the west

16.3

boundary is defined by the trail system in Tulsa and further west the property is zoned RS-3, southwest of the site some land still zoned AG.

**UTILITIES:** The subject tract has municipal water and sewer available.

**TRANSPORTATION VISION:**

The Comprehensive Plan designates North Peoria as a frequent bus street and a multi-modal corridor

**STREETS:**

<b><u>Exist. Access</u></b>	<b><u>MSHP Design</u></b>	<b><u>MSHP R/W</u></b>	<b><u>Exist. # Lanes</u></b>
North Peoria Avenue	Secondary Arterial	100'	4

**RELATIONSHIP TO THE COMPREHENSIVE PLAN:**

The Comprehensive Plan designates the site as part of a Regional Center Area and is considered an area of growth. One of the primary goals of the areas of growth in the comprehensive plan is to focus large scale development without being detrimental to existing neighborhoods.

Regional Centers are mid-rise mixed-use areas for large scale employment, retail, and civic or educational uses. These areas attract workers and visitors from around the region and are key transit hubs; station areas can include housing, retail, entertainment, and other amenities. Automobile parking is provided on-street and in shared lots.

**STAFF RECOMMENDATION:**

In keeping with the comprehensive plan vision for the area it is important to continue to re-zone land to accommodate the Regional Center Concept. This requested small area of CS zoning will reinforce the opportunity to create a Regional Center for future large scale development and is consistent with the stated goals and objectives in the comprehensive therefore the **Staff recommends approval for the requested CS zoning** application Z-7211

09/19/12

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