

**TULSA METROPOLITAN AREA PLANNING  
COMMISSION**

**Meeting No. 2634**

**September 19, 2012, 1:30 PM  
175 East 2<sup>nd</sup> Street, 2<sup>nd</sup> Level, One Technology Center  
Tulsa City Council Chamber**

**CONSIDER, DISCUSS AND/OR TAKE ACTION ON:**

Call to Order:

**REPORTS:**

**Chairman's Report:**

**Worksession Report:**

**Director's Report:**

1. Minutes of August 1, 2012, Meeting No. 2631

**CONSENT AGENDA:**

**All matters under "Consent" are considered by the Planning Commission to be routine and will be enacted by one motion. Any Planning Commission member may, however, remove an item by request.**

2. **LS-20542** (Lot-Split) (CD-3), Location: South of East Latimer Street and East of North 105<sup>th</sup> East Avenue (Related to LC-423)
3. **LC-423** (Lot-Combination) (CD-3), Location: South of the intersection of East Latimer Street and North 105<sup>th</sup> East Avenue (Related to LS-20542)
4. **LS-20545** (Lot-Split) (CD-4), Location: East of the Northeast corner of East 27<sup>th</sup> Place South and South Lewis Avenue (Related to LC-425)
5. **LC-425** (Lot-Combination) (CD-4), Location: North of Northeast corner of East 27<sup>th</sup> Place South and South Lewis Avenue (Related to LS-20545)
6. **LS-20546** (Lot-Split) (CD-1), Location: Northeast corner of North Madison Avenue and East 54<sup>th</sup> Street North
7. **LC-426** (Lot-Combination) (County), Location: East of the Southeast corner of North Trenton Avenue and East 73<sup>rd</sup> Street North
8. **LC-427** (Lot-Combination) (CD-4), Location: West of the Northwest corner of East 13<sup>th</sup> Place South and South Columbia Avenue



9. **LS-20547** (Lot-Split) (County), Location: North of the Northwest corner of North Yale Avenue and East Pine Street
10. **PUD-644-1 – Sack & Associates, Inc./Mark Capron** – Location: West and south of the southwest corner of East 56<sup>th</sup> Street North and North Peoria Avenue, Requesting a **Minor Amendment** to reallocate the maximum floor area into three parcels, **RS-3** (CD-1)
11. **Z-7008-SP-1 – Cedar Creek Consulting/Jason Emmett**, Location: North of West 81<sup>st</sup> Street South on the west side of South Olympia Avenue, Requesting a **Corridor Detail Site Plan** for a restaurant site in Development Area F of the Tulsa Hills Shopping Center Project, **CO**, (CD-2)
12. **PUD-790 – TUL ALF #2, LLC**, Location: North of West 71<sup>st</sup> Street South and East of South Olympia Avenue, Requesting a **Detail Site Plan** for a Life Care Retirement Center and Assisted Living Facility, **CO/OL/CS**, (CD-2)
13. **PUD-579-A – Madison Investments VI, LLC**, Location: North of East 81<sup>st</sup> Street South on the west side of South 101<sup>st</sup> East Avenue, Requesting a **Detail Site Plan** for a doctor's office in Development Area A of the PUD, **CO**, (CD-7)

**CONSIDERATION OF ITEMS REMOVED FROM THE CONSENT AGENDA:**

**PUBLIC HEARINGS:**

14. **South Mingo Plaza** – Preliminary Subdivision Plat, Location: 8165 South Mingo Road, South of the Southeast corner of East 81<sup>st</sup> Street South and South Mingo Road (8418) (CD 7)
15. **Z-7210 – Marcus Makar**, Location: North of the northwest corner of East 21<sup>st</sup> Street and South Boston Avenue, Requesting rezoning from **RM-2 to CS**, (CD-4)
16. **Z-7211 – Sisemore, Weisz & Assoc.**, Location: South of southwest corner of East 46<sup>th</sup> Street North and North Peoria Avenue, Requesting rezoning from **CS/RS-3 TO CS**, (CD-1)

**OTHER BUSINESS**

17. **Commissioners' Comments**

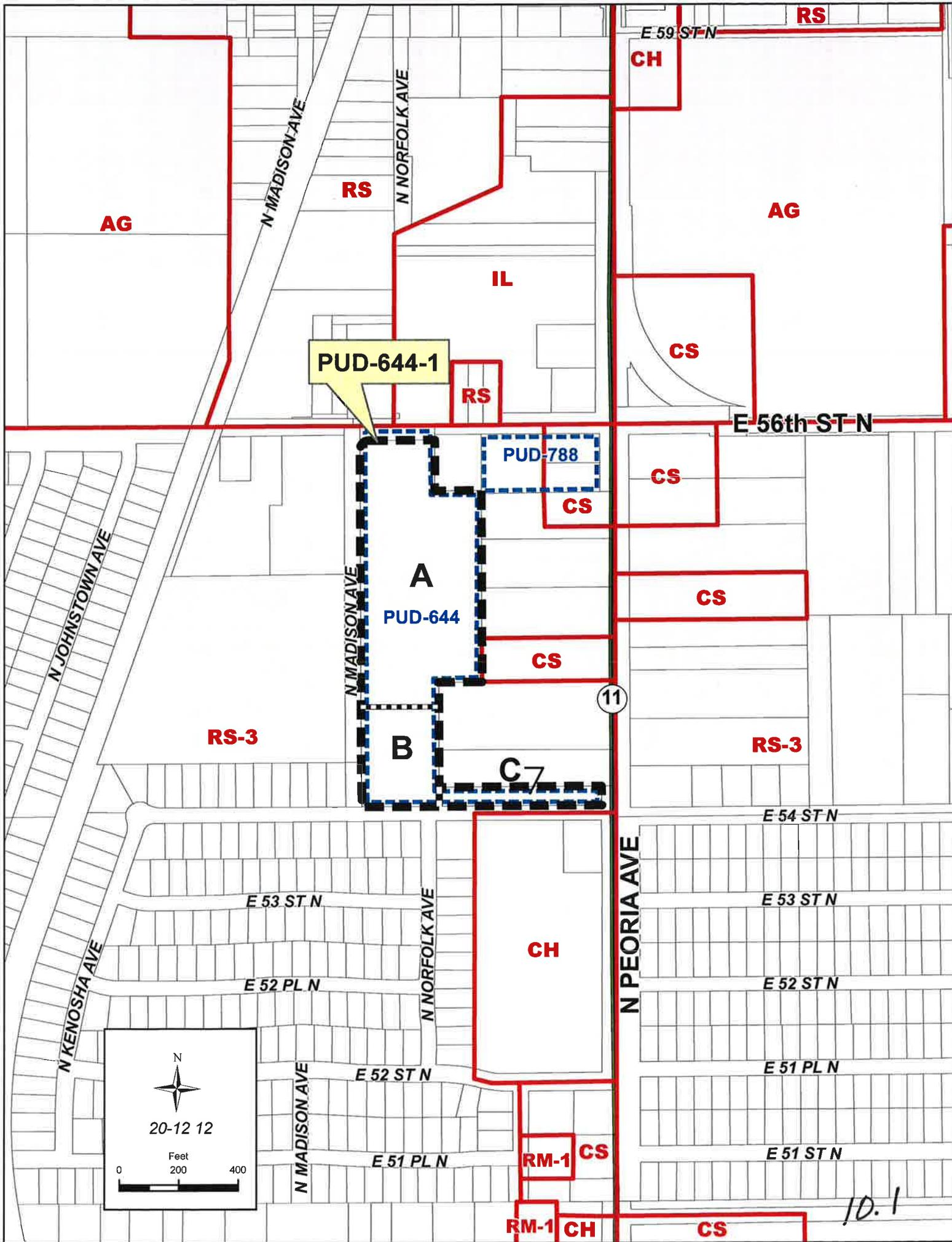
**ADJOURN**

CD = Council District

**NOTE: If you require special accommodation pursuant to the Americans with Disabilities Act, please notify INCOG (918) 584-7526. Exhibits, Petitions, Pictures, etc., presented to the Planning Commission may be received and deposited in case files to be maintained at Land Development Services, INCOG. Ringing/sound on all cell phones and paggers must be turned off during the Planning Commission.**

Visit our website at [www.tmapc.org](http://www.tmapc.org)

**TMAPC Mission Statement:** The Mission of the Tulsa Metropolitan Area Planning Commission (TMAPC) is to provide unbiased advice to the City Council and the County Commissioners on development and zoning matters, to provide a public forum that fosters public participation and transparency in land development and planning, to adopt and maintain a comprehensive plan for the metropolitan area, and to provide other planning, zoning and land division services that promote the harmonious development of the Tulsa Metropolitan Area and enhance and preserve the quality of life for the region's current and future residents.





**PUD-644-1**



N

20-12 12

Feet  
0 200 400

Note: Graphic overlays may not precisely align with physical features on the ground.  
Aerial Photo Date: March 2012

10.2

September 19,2012

**STAFF RECOMMENDATION**

**PUD 644-1:**            Minor Amendment – West and south of the southwest corner of East 56<sup>th</sup> Street North at North Peoria Ave.; TRS 20-12-12; CZM 02; Atlas 1073; CD 1.

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The applicant is requesting a minor amendment to reallocate the maximum floor area into three parcels. The original Planned Unit Development was prepared with three tracts which defined a maximum floor area allowed for the total development area a 100,000 square feet for Use Unit 5 (Community Services and Similar Uses).

When the original PUD was prepared and approved in February 2001 and later platted as Lot 1, Block 1 Greater Grace Apostolic Temple of Tulsa.

The applicant is planning to split the property into three lots which requires the allocation of the floor area. The applicant has requested floor area allocation as follows:

- Tract A 78,000 square feet
- Tract B 15,000 square feet
- Tract C 7,000 square feet

This request still meets the underlying RS-3 Zoning guidelines and is consistent with the intent and purpose of the Planned Unit Development.

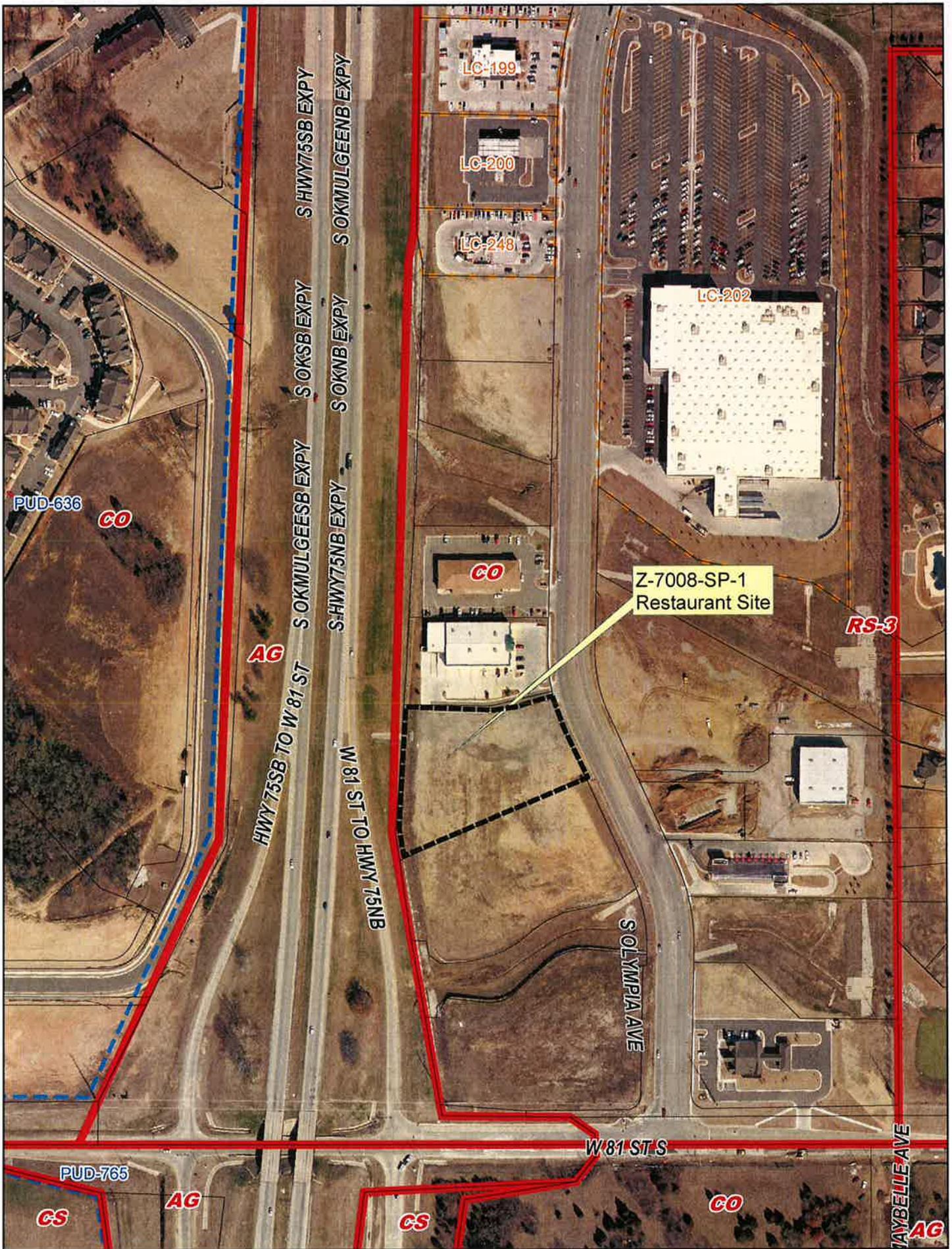
Therefore, Staff recommends **approval** of one monument sign not exceeding 32 square feet of display surface area and not exceeding 20' in height.

*Note: Approval of a minor amendment does not constitute detail site, landscape or sign plan approval.*









Part of Lot 11 Block 1 Tulsa Hills Subdivision //./

**STAFF RECOMMENDATION**

**Z-7008-SP-1**

**Detailed Site Plan** – A 2.07 acre tract that is part of the SW/4 of Section 11, T-18-N, R-12-E, Tract 2b, Lot-11, Block-1 Tulsa Hills Subdivision. North of W. 81<sup>st</sup> Street South on the west side of S. Olympia Ave. ; CZM 51; Atlas NA: CD 2;

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**CONCEPT STATEMENT:**

The applicant is requesting approval of a detail site plan for a Restaurant site in development area F of The Tulsa Hills Shopping Center Project. The site has been previously platted but not developed. All uses permitted by right in the CO zoning district are allowed in this development area.

**PERMITTED USES:**

The Site Plan provided as an attachment to this staff report illustrates a new restaurant site (Use Unit 12) which is permitted by right in Development Area F of the Corridor District Plan.

**DIMENSIONAL REQUIREMENTS:**

The submitted site plan meets all applicable building floor area, density, open space, and setback limitations. No modifications of the previously approved Corridor Plan guidelines are required for approval of this site plan.

**OFF-STREET PARKING AND VEHICULAR CIRCULATION:**

The Site Plan provides more parking spaces than the required minimum defined in the Tulsa Zoning Code.

**LIGHTING:**

Parking lot lighting will be directed down to help prevent light trespass into the adjacent properties. The photometric plan provides data that illustrates the lighting concept with no spillage onto adjacent properties.

**SIGNAGE:**

The site plan illustrates sign location along South Olympia and is placed appropriately for site plan review. This staff report does not remove the requirement for a separate sign plan review process.

**SITE SCREENING AND LANDSCAPING:**

The landscape plan will be submitted to staff for separate review as allowed in the Corridor Section of the Zoning Code.

The trash screening enclosure meets the minimum masonry standards defined in the Corridor Plan.

**PEDESTRIAN ACCESS AND CIRCULATION:**

Existing sidewalks will be installed internally and on the South Olympia frontage. Appropriate sidewalk plans have been provided on the site plan.

**MISCELLANEOUS SITE CONSIDERATIONS:**

The site slopes significantly from west to east toward the Olympia street right of way. Staff has been provided a site grading plan that is part of the IDP plans submitted to the City of Tulsa Development Services. There are no concerns regarding the development of this area as it relates to the terrain modifications.

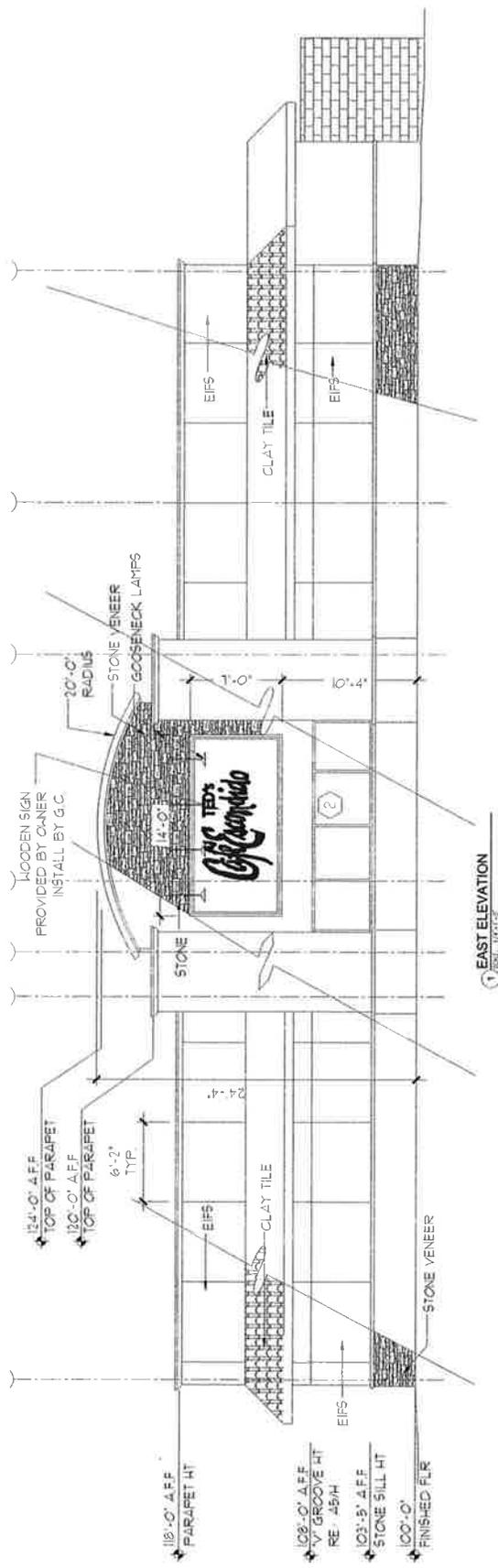
**SUMMARY:**

Staff has reviewed applicants' submittal of the Site Plan as it relates to the approved Corridor Plan Z-7008-SP-1. The applicant site plan submittal meets or exceeds the minimum requirements of the Corridor Plan. Staff finds that the uses and intensities proposed with this site plan are consistent with the approved Corridor Plan Z-7008-SP-1 and the stated purposes of the Corridor chapter of the Zoning Code.

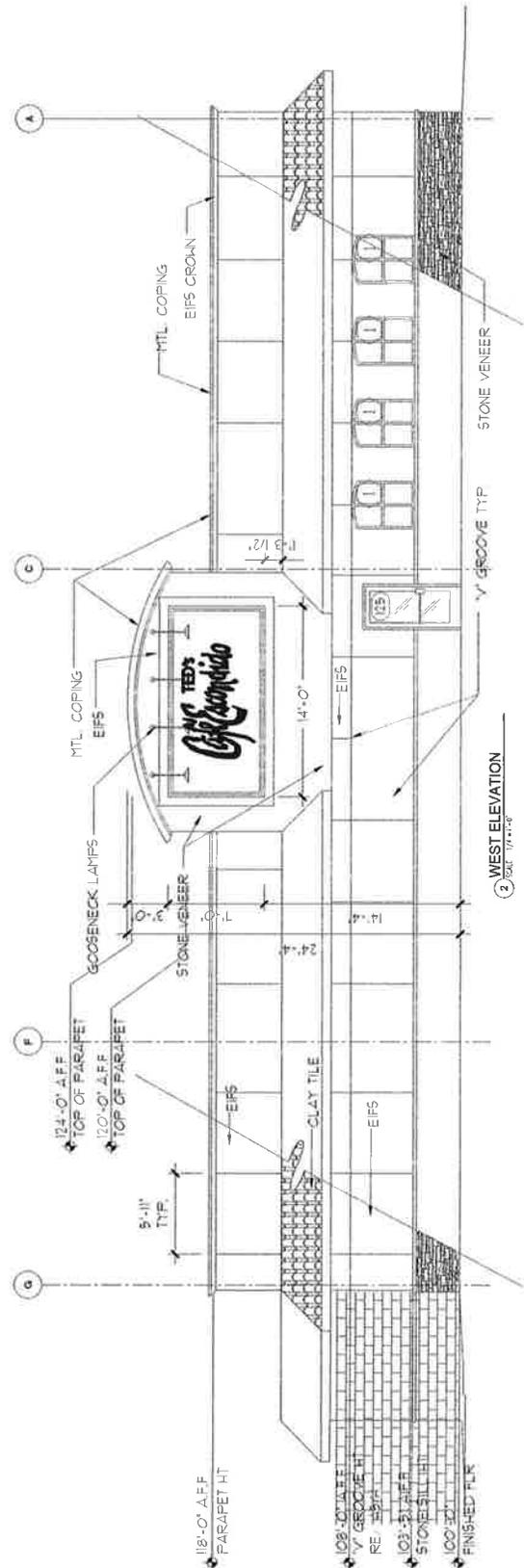
Therefore, staff recommends **APPROVAL** of the detail site plan for the proposed new commercial project.

*(Note: Detail site plan approval does not constitute sign plan or landscape plan approval.)*



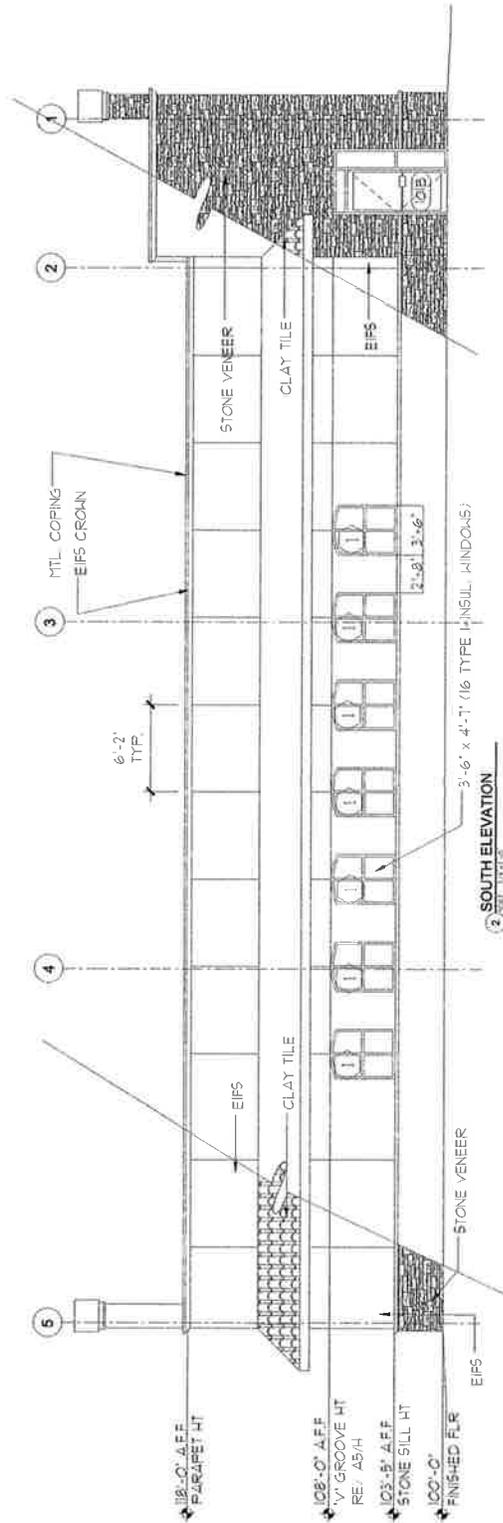
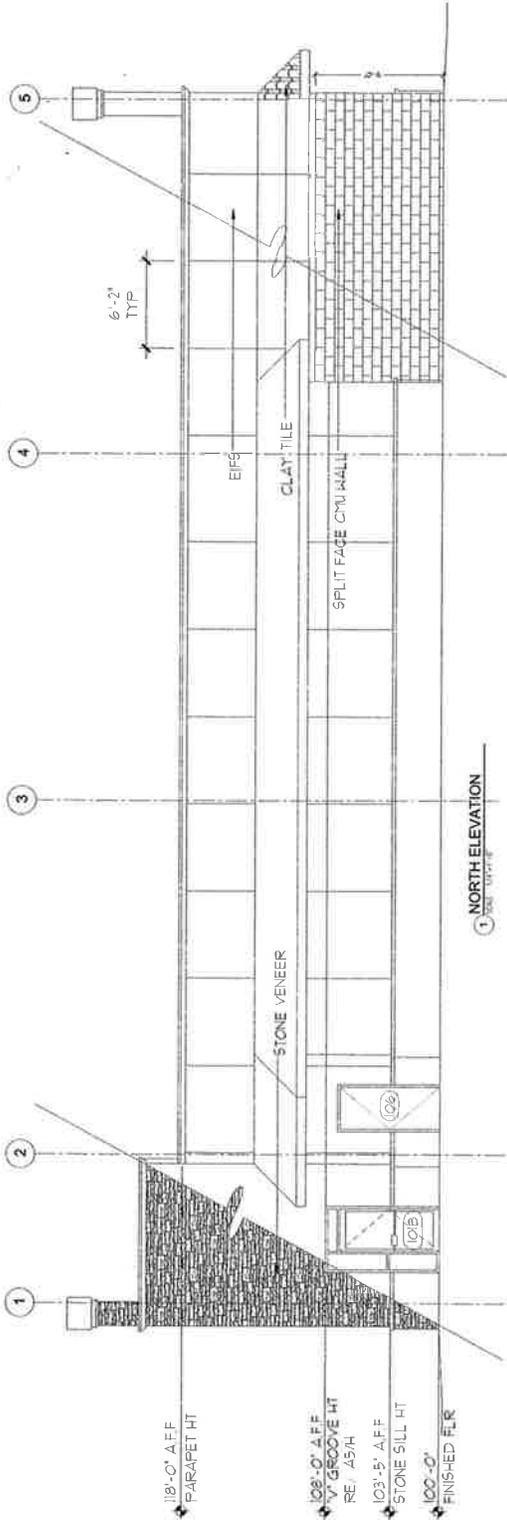


1 EAST ELEVATION  
100'-0" AFF



2 WEST ELEVATION  
100'-0" AFF

11.5



11.6

AG

CO

CO

RS-3

W 67 ST S

W 68 ST S

PUD-648  
PUD-648A

Z-7195/PUD-790

PUD-648B

OL  
PUD-783

PUD-783A

PUD-768

ABANDONED

CS

S SELWOOD AVE

75

75

CS

W 71st ST S

CS

AG

AG

CS

CS

RS-3

RM-0  
PUD-738

CO

W 73 ST S

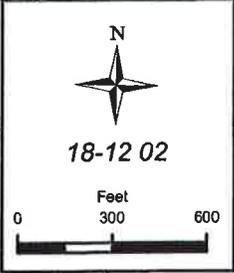
CO

PUD-636

S OLYMPIA AVE  
TULSA HILLS DR

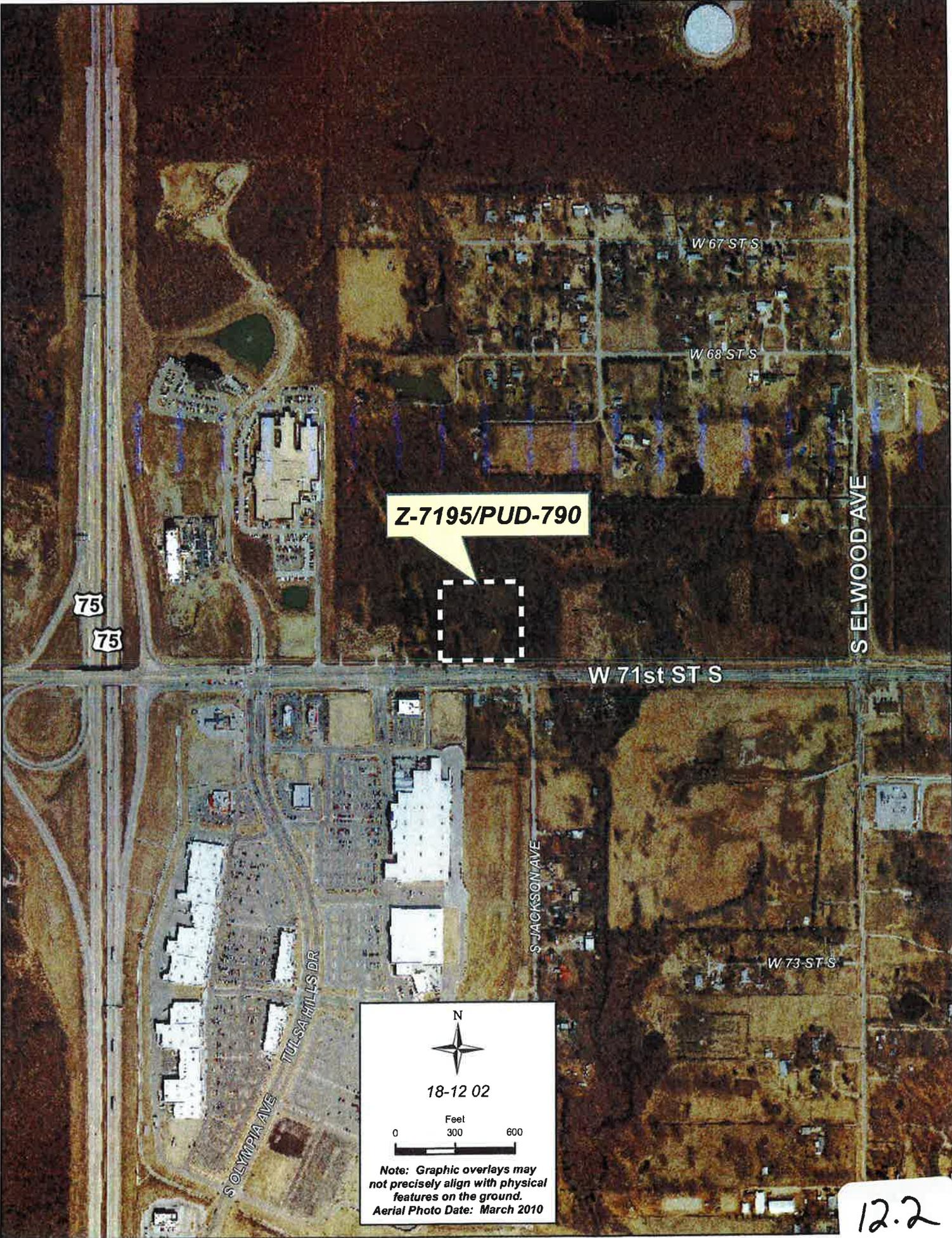
S JACKSON AVE

AG



12.1

OL  
PUD-742



Z-7195/PUD-790

75  
75

S ELWOOD AVE

W 71st ST S

S JACKSON AVE

W 73 ST S

S OLYMPIA AVE  
TULSA HILLS DR

N

18-12 02

Feet  
0 300 600

Note: Graphic overlays may not precisely align with physical features on the ground.  
Aerial Photo Date: March 2010

12.2

## STAFF RECOMMENDATION

### PUD-790

**Detailed Site Plan** – A 3.76 acre tract that is part of the SE/4 of Section 02, T-18-N, R-12-E, Currently being platted as Lot-1, Block-1 The Legend Senior Living a subdivision in the City of Tulsa, Tulsa County, OK., North of W. 71<sup>st</sup> Street South East of S. Olympia Ave.; CZM 51; Atlas 1012/1011: CD 2;

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### CONCEPT STATEMENT:

The applicant is requesting approval of a detail site plan for a Life Care Retirement Center and Assisted Living Facility in PUD 790. The site is currently working through the final plat process. The only use permitted in the PUD is Use Unit 8 (Multifamily & Similar Uses) and further limited to a Life Care Retirement Center and Assisted Living Facility.

### PERMITTED USES:

The Site Plan provided as an attachment to this staff report illustrates a new Retirement Community (Use Unit 8) which is the only use permitted by right in Development Area A of PUD 579-A.

### DIMENSIONAL REQUIREMENTS:

The submitted site plan meets all applicable, building height, floor area, density, open space, and setback limitations. No modifications of the previously approved PUD guidelines are required for approval of this site plan.

### OFF-STREET PARKING AND VEHICULAR CIRCULATION:

The site plan provides more parking spaces than the required minimum defined in the Tulsa Zoning Code.

### LIGHTING:

Parking lot lighting will be directed down and away from adjacent property to help prevent light trespass. Maximum height of light fixtures is 16' and below the 25' height limit allowed. The photometric plan provided provides sufficient data to insure that artificial light sources are arranged in a way that prohibits light trespass from this site.

### SIGNAGE:

The site plan does not illustrate a sign location. This staff report does not remove the requirement for a separate sign plan review process.

**SITE SCREENING AND LANDSCAPING:**

The landscape plan will be submitted to staff for separate review as allowed in the Planned Unit Development Section of the Zoning Code.

The trash screening enclosure meets the minimum masonry standards defined in the Corridor Plan.

**PEDESTRIAN ACCESS AND CIRCULATION:**

Sidewalks will be installed internally and connected to the existing sidewalks on the West 71st Street frontage. Appropriate sidewalk plans have been provided on the site plan.

**MISCELLANEOUS SITE CONSIDERATIONS:**

There are no concerns regarding the development of this area as it relates to the terrain modifications. The site slopes from the west toward the east and a retaining wall will be placed parallel to the west property line. The building floor elevation will be below the existing ground elevation and partially hidden from the west property line as a result of the excavation east of the wall.

**SUMMARY:**

Staff has reviewed applicants' submittal of the Site Plan as it relates to the approved Planned Unit Development 790. The applicant site plan submittal meets or exceeds the minimum requirements of the Planned Unit Development. Staff finds that the uses and intensities proposed with this site plan are consistent with the approved Planned Unit Development 790 and the stated purposes of the Planned Unit Development of the Zoning Code.

Therefore, staff recommends **APPROVAL** of the detail site plan for the proposed new commercial project.

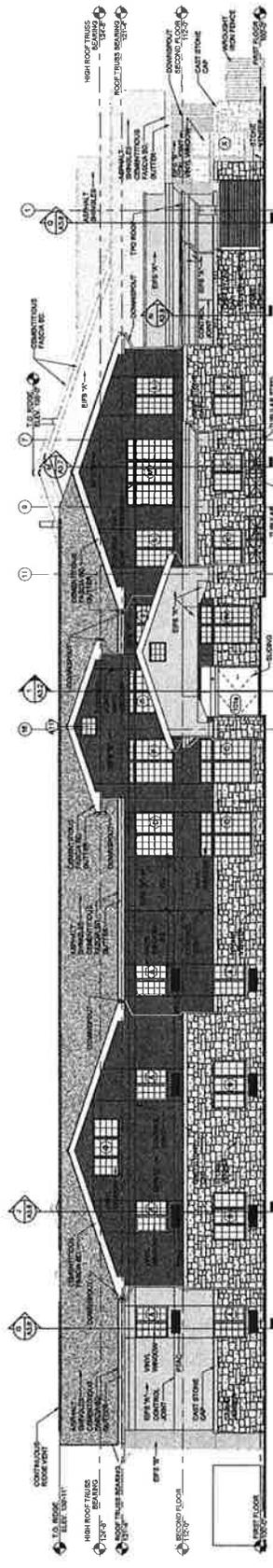
*(Note: Detail site plan approval does not constitute sign plan or landscape plan approval.)*



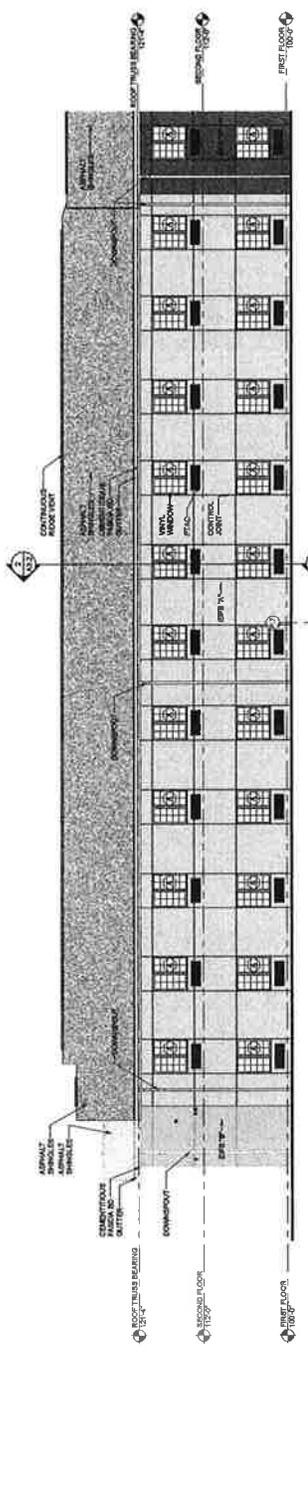
**THE LEGEND ON WEST 71ST**  
TULSA, OK

PROJECT NO. 118071  
DATE: SEPTEMBER 4, 2013  
SHEET: 118071-EX-001  
PROJECT: EXTERIOR ELEVATIONS

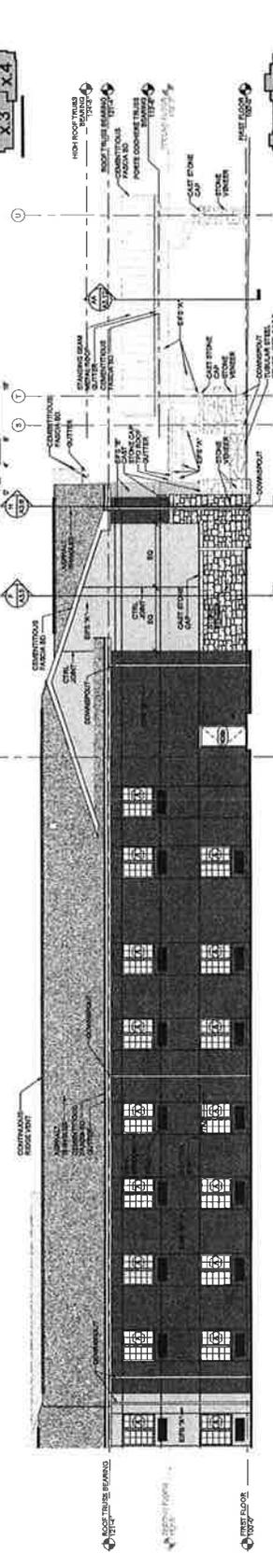
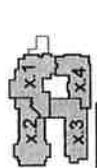
1



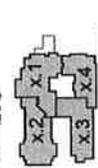
**1 SOUTH ELEVATION**  
1/8" = 1'-0"



**2 WEST ELEVATION - NORTH HALF**  
1/8" = 1'-0"

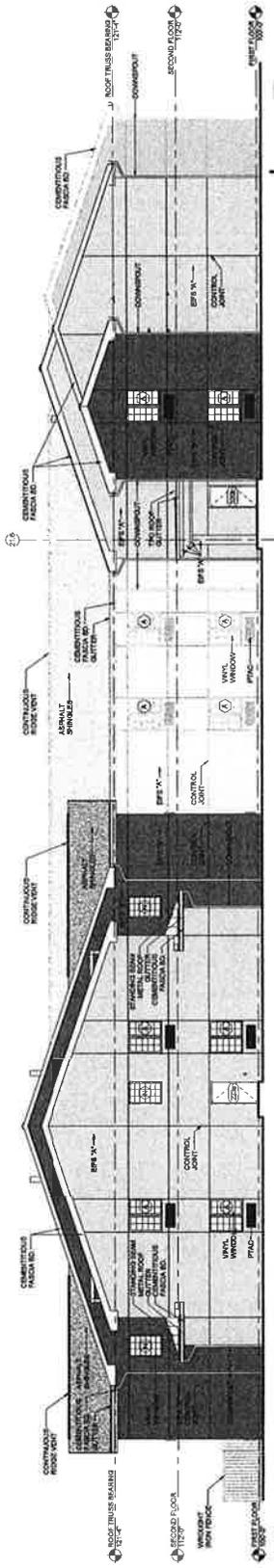


**3 WEST ELEVATION - SOUTH HALF**  
1/8" = 1'-0"

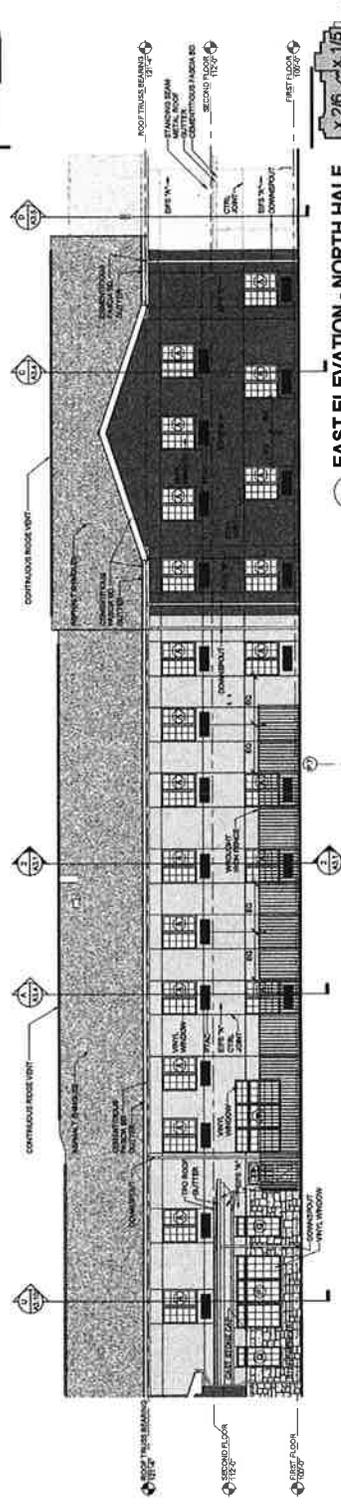
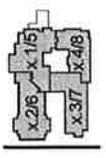


12.6

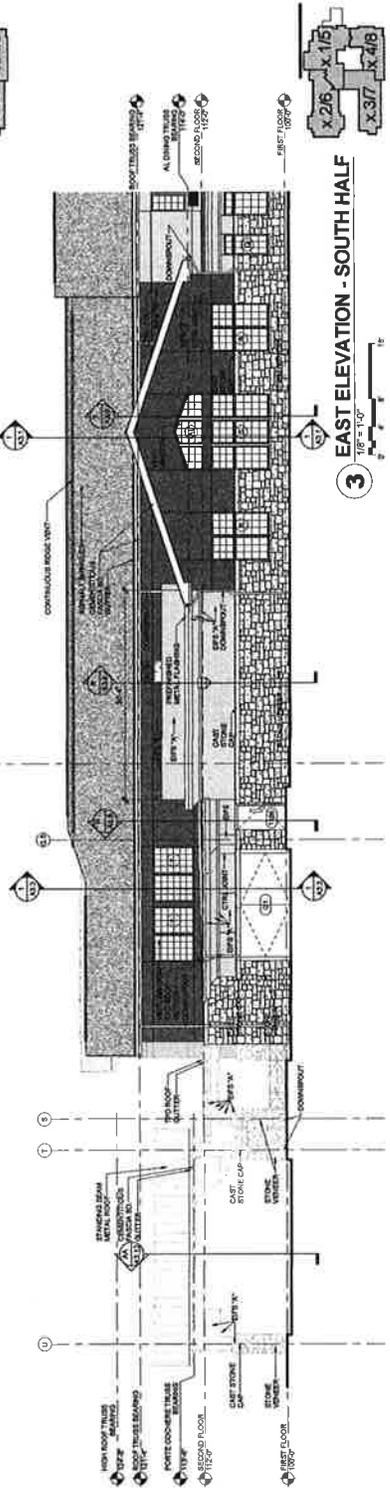
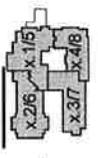
**THE LEGEND ON WEST 71ST**  
TULSA, OK



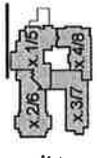
**1 NORTH ELEVATION**  
1/8" = 1'-0"



**2 EAST ELEVATION - NORTH HALF**  
1/8" = 1'-0"



**3 EAST ELEVATION - SOUTH HALF**  
1/8" = 1'-0"



12.7

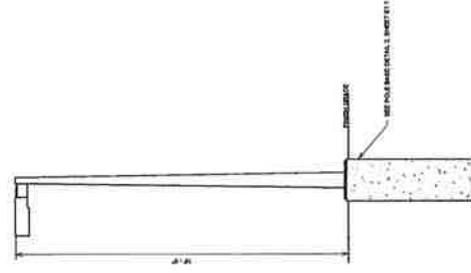
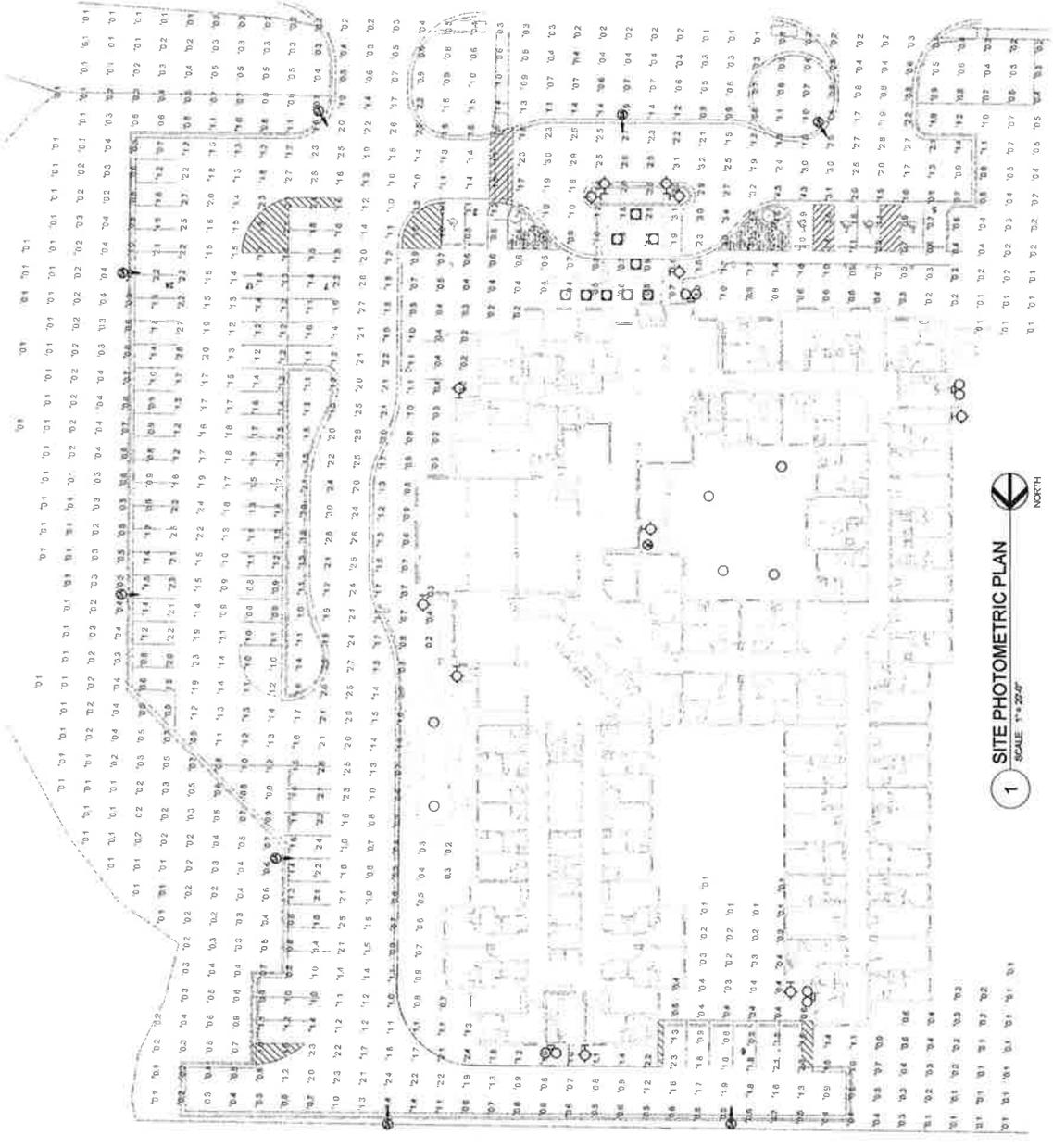


**WDM ARCHITECTS**  
 WDM Architects, P.A.  
 103 North Washington  
 Wichita, KS 67202-2815  
 P 316.262.0000  
 F 316.262.0000  
 wdmarchitects.com

**THE LEGEND ON WEST 71ST STREET S.**  
 TULSA, OK

PRINTS ISSUED  
 September 4, 2014 - PCR  
 SHEET NO. DATE REVISION  
 DRAWINGS ISSUED FOR PERMITS  
 COMPLIANCE REVIEW ONLY  
 12040.00 09/04/14  
 SITE PHOTOMETRIC PLAN

**E1.0**



**2 LIGHT POLE DETAIL**  
 SCALE: NTS

**1 SITE PHOTOMETRIC PLAN**  
 SCALE: 1"=20'-0"



12.8





**PUD 579-A Detailed Site Plan**

13.2

## STAFF RECOMMENDATION

### PUD-579-A

**Detailed Site Plan** – A 20,185 sq ft (0.46 acre) tract that is part of the SW/4 of Section 07, T-18-N, R-14-E, Lot-1, Block 1, Tallgrass Office Park, North of E. 81<sup>st</sup> Street South on the west side of S. 101<sup>st</sup> East Ave.; CZM 54; Atlas 1413: CD 7;

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#### CONCEPT STATEMENT:

The applicant is requesting approval of a detail site plan for a doctor's office in Development Area "A" of PUD 579-A. The site has been previously platted but not developed. All uses permitted by in Use Unit 11 (Offices, Studio and Support Services) are permitted in this development area.

#### PERMITTED USES:

The Site Plan provided as an attachment to this staff report illustrates a new Doctors Office (Use Unit 11) which is permitted by right in Development Area A of PUD 579-A.

#### DIMENSIONAL REQUIREMENTS:

The submitted site plan meets all applicable, building height, floor area, density, open space, and setback limitations. No modifications of the previously approved PUD guidelines are required for approval of this site plan.

#### OFF-STREET PARKING AND VEHICULAR CIRCULATION:

The Site Plan provides more parking spaces than the required minimum defined in the Tulsa Zoning Code.

#### LIGHTING:

Parking lot lighting will be directed down to help prevent light trespass into the adjacent properties. Maximum height of light fixtures is 18' and below the 25' height limit allowed.

#### SIGNAGE:

The site plan illustrates sign location along East 80<sup>th</sup> Street South and is placed appropriately for site plan review. This staff report does not remove the requirement for a separate sign plan review process. One ground sign is shown inside an existing easement and will require a license agreement with the City.

**SITE SCREENING AND LANDSCAPING:**

The landscape plan will be submitted to staff for separate review as allowed in the Planned Unit Development Section of the Zoning Code.

The trash screening enclosure meets the minimum screening standards defined in the PUD.

**PEDESTRIAN ACCESS AND CIRCULATION:**

Sidewalks will be installed internally and on the East 80<sup>th</sup> Street South frontage. Appropriate sidewalk plans have been provided on the site plan connecting to the building entrances.

**MISCELLANEOUS SITE CONSIDERATIONS:**

There are no concerns regarding the development of this area as it relates to the terrain modifications.

**SUMMARY:**

Staff has reviewed applicants' submittal of the Site Plan as it relates to the approved Planned Unit Development 579-A. The applicant site plan submittal meets or exceeds the minimum requirements of the Planned Unit Development. Staff finds that the uses and intensities proposed with this site plan are consistent with the approved Planned Unit Development 579-A, and the stated purposes of the Planned Unit Development of the Zoning Code.

Therefore, staff recommends **APPROVAL** of the detail site plan for the proposed new commercial project.

*(Note: Detail site plan approval does not constitute sign plan or landscape plan approval.)*





PUD-460 **RM-0**

PUD-531

PUD-579A

**CS**

**CO**

**CS**

**E 81st ST**

**CS**

PUD-522

**CS**

PUD-625

**CO**

**RM-0**

**AG**

**AG**

**RS-3**

**SOUTH MINGO PLAZA**

S 100 E AVE

E 82 PL S

E 83 ST S

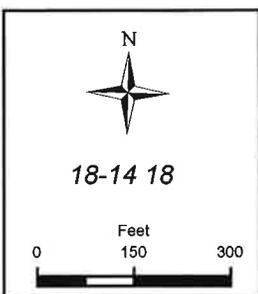
E 83 PL S

E 84 ST S **CO**

S 98 E AVE

S 100 E PL

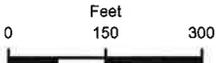
E 85 ST S



14.1



18-14 18



Note: Graphic overlays may not precisely align with physical features on the ground.  
Aerial Photo Date: March 2012

14.2

## PRELIMINARY SUBDIVISION PLAT

### **South Mingo Plaza (revised) - (8418) (CD 7)**

South of the southeast corner of East 81<sup>st</sup> Street South and South Mingo Road

This plat consists of 4 Lots, 1 Block, on 7.68 acres.

The following issues were discussed September 19, 2012, at the Technical Advisory Committee (TAC) meetings:

1. **Zoning:** The property is zoned CO 6051-SP-2(Corridor District Site Plan). The plat for this addition was almost finished in 2008 and most infrastructure is in place. There will be a gated emergency access knox box between the existing neighborhood and the development on East 82<sup>nd</sup> Place.
  
2. **Streets:** Provide reference for right-of-way. Include section on sidewalks. Section I.I is about private streets. Where is the private street on the plat? Mutual access easement must terminate at boundary of Lot 4. No connection will be allowed to East 82<sup>nd</sup> Place.
  
3. **Sewer:** Provide the document number for the 11 foot sanitary sewer easement shown on the face of the plat if it presently exists. Include the sanitary sewer easement in the legend. The 11 foot x 20 foot sanitary sewer easement scales at 11 feet x 25 feet. The off-site 11 foot utility easement located adjacent to Lot 4, Block 1, plat 5660, scales at 22 feet. Use standard language for the covenants. Especially for Section 1-B. Ground elevations within easements containing City Utilities can not be altered without prior approval from the City. Add Language restricting the use of the sanitary sewer easement. Include the existing sanitary sewer line located adjacent to the proposed plat, since that is what gives Lot 4 access to the main for service.
  
4. **Water:** Add bearings and distances to the proposed 20 foot restrictive waterline easement. Use standard covenant language for the waterline service section. Include the restrictive water line easement covenant language. An additional valve and hydrant may be required to be installed on the proposed water line.
  
5. **Storm Drainage:** Drainage easement is not included in the legend. It should be storm sewer easement. The D/E and restrictive water line easement should not overlap the Mutual Access Easement. Drainage runoff from multiple lots in the addition is conveyed to the stormwater detention

facility; therefore that facility must be placed in a Reserve to be maintained by the Owners' Association. Replace Section 1.B with standard language for "water, sanitary sewer and storm sewer service". Replace Section 1.C with standard language for "Reserve – Stormwater Detention Easement". In Section 1.F, use standard language for "Surface Drainage". Add standard language for roof drainage to Section 1. Section 2 should contain language defining the Reserve Area, and the Maintenance Responsibilities for that Reserve Area. Add both existing and proposed contours to this plan.

6. **Utilities: Telephone, Electric, Gas, Cable, Pipeline, Others:** No comments.
  
7. **Other: Fire:** the conceptual drawing indicates the building on Lot 4 that will need fire department access along the east side due to the length of the building. The requirement is to provide fire department access within 150 feet of any portion of a non-sprinkled building or 200 feet of any portion of a sprinkled building. Also, if this building is not sprinkled an additional fire hydrant will be required. The requirement is to provide a fire hydrant within 400 feet of any portion of a non-sprinkled building or 600 feet of a sprinkled building. **GIS:** Fix the numerous location map errors. Show proper sections. Use actual bearings. Submit a subdivision control data form.

Staff recommends **APPROVAL** of the preliminary subdivision plat with the TAC recommendations and the special and standard conditions listed below.

**Waivers of Subdivision Regulations:**

1. None requested.

**Special Conditions:**

1. The concerns of the public works staff and development services staff must be taken care of to their satisfaction.

**Standard Conditions:**

1. Utility easements shall meet the approval of the utilities. Coordinate with Subsurface Committee if underground plant is planned. Show additional easements as required. Existing easements shall be tied to or related to property line and/or lot lines.
2. Water and sanitary sewer plans shall be approved by the Public Works Department prior to release of final plat. (Include language for W/S facilities in covenants.)
3. Pavement or landscape repair within restricted water line, sewer line, or utility easements as a result of water or sewer line or other utility repairs due

14.4

to breaks and failures shall be borne by the owner(s) of the lot(s).

4. Any request for creation of a Sewer Improvement District shall be submitted to the Public Works Department Engineer prior to release of final plat.
5. Paving and/or drainage plans (as required) shall be approved by the Public Works Department.
6. Any request for a Privately Financed Public Improvement (PFPI) shall be submitted to the Public Works Department.
7. A topography map shall be submitted for review by TAC (Subdivision Regulations). (Submit with drainage plans as directed.)
8. Street names shall be approved by the Public Works Department and shown on plat.
9. All curve data, including corner radii, shall be shown on final plat as applicable.
10. Bearings, or true N/S, etc., shall be shown on perimeter of land being platted or other bearings as directed by the County Engineer.
11. All adjacent streets, intersections and/or widths thereof shall be shown on plat.
12. It is recommended that the developer coordinate with the Public Works Department during the early stages of street construction concerning the ordering, purchase and installation of street marker signs. (Advisory, not a condition for plat release.)
13. It is recommended that the applicant and/or his engineer or developer coordinate with the Tulsa City/County Health Department for solid waste disposal, particularly during the construction phase and/or clearing of the project. Burning of solid waste is prohibited.
14. The method of sewage disposal and plans therefor shall be approved by the City/County Health Department. [Percolation tests (if applicable) are required prior to preliminary approval of plat.]
15. The owner(s) shall provide the following information on sewage disposal system if it is to be privately operated on each lot: type, size and general location. (This information to be included in restrictive covenants on plat.)
16. The method of water supply and plans therefor shall be approved by the City/County Health Department.
17. All lots, streets, building lines, easements, etc., shall be completely dimensioned.
18. The key or location map shall be complete.
19. A Corporation Commission letter, Certificate of Non-Development, or other records as may be on file, shall be provided concerning any oil and/or gas

wells before plat is released. (A building line shall be shown on plat on any wells not officially plugged. If plugged, provide plugging records.)

20. A "Letter of Assurance" regarding installation of improvements shall be provided prior to release of final plat. (Including documents required under 3.6.5 Subdivision Regulations.)
21. Applicant is advised of his responsibility to contact the U.S. Army Corps of Engineers regarding Section 404 of the Clean Waters Act.
22. All other Subdivision Regulations shall be met prior to release of final plat.
23. All PUD standards and conditions shall be included in the covenants of the plat and adequate mechanisms established to assure initial and continued compliance with the standards and conditions.
24. Private streets shall be built to City or County standards (depending upon the jurisdiction in which the plat is located) and inspected and accepted by same prior to issuance of any building permits in the subdivision.

**SOUTH MINGO PLAZA**

**E 81st ST**

**E 82 PL S**

**S 100 EAVE**

**E 83 ST S**

**E 83 PL S**

**E 84 ST S**

**S MINGO RD**

**S 98 EAVE**

**Growth and Stability**

-  Area of Growth
-  Area of Stability
-  Park
-  Open Space

14.7



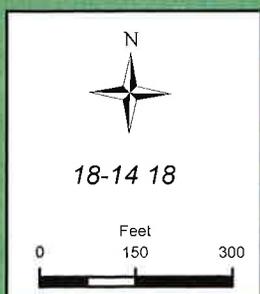
18-14 18

Feet

0 150 300



**SOUTH MINGO PLAZA  
LAND USE PLAN:  
MIXED-USE CORRIDOR**



**S MINGO RD**

**S 98 E AVE**

**E 84 ST S**

**E 83 PL S**

**E 83 ST S**

**S 100 E AVE**

**E 82 PL S**

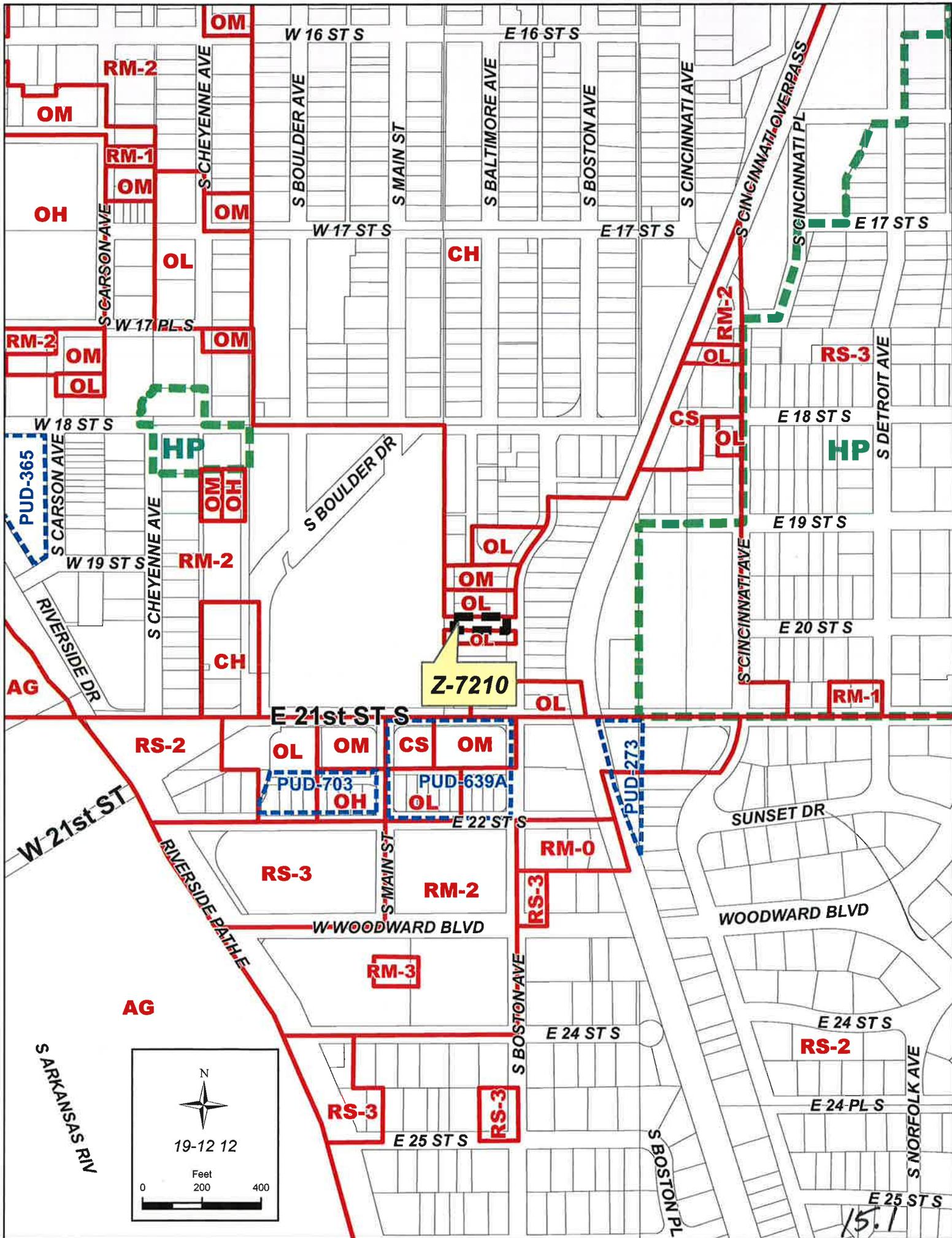
**E 81st ST**

Land Use Plan Categories			
	Downtown		Neighborhood Center
	Downtown Neighborhood		Employment
	Main Street		New Neighborhood
	Mixed-Use Corridor		Existing Neighborhood
	Regional Center		Park
	Town Center		Open Space

14.8









Z-7210

N



19-12 12

Feet

0 200 400

Note: Graphic overlays may not precisely align with physical features on the ground.  
Aerial Photo Date: March 2010

15.2



**Z-7210**

**S BOSTON AVE**

**E 21st ST S**

**S MAIN ST**



19-12 12

0 Feet 100  
50

*Note: Graphic overlays may not precisely align with physical features on the ground.*  
Aerial Photo Date: March 2010

15.3

**TULSA METROPOLITAN AREA PLANNING COMMISSION  
CASE REPORT**

**APPLICATION: Z-7210**

**TRS 9212**

**Atlas 35**

**CZM 36**

**CD-4**

**TMAPC Hearing Date:** September 19, 2012

**Applicant:** Marcs Makar

**Tract Size:** 7992<sub>±</sub> square feet

**ADDRESS/GENERAL LOCATION:** North of northwest corner of East 21<sup>st</sup> Street and South Boston Avenue

**EXISTING ZONING:** RM-2

**EXISTING USE:** Residential

**PROPOSED ZONING:** CS

**PROPOSED USE:** Commercial/ trapeze facility

**ZONING ORDINANCE:** Ordinance number 11814 dated June 26, 1970, established zoning for the subject property.

***RELEVANT ZONING HISTORY:***

No relevant history.

***AREA DESCRIPTION:***

**SITE ANALYSIS:** The subject property is approximately 7992<sub>±</sub> square feet in size and is located north of northwest corner of East 21<sup>st</sup> Street and South Boston Avenue. The property appears to be residentially used and is zoned RM-2. During the building life an office style addition has been added to the front of the original structure and may have been used as an office. The front yard is essentially covered in concrete and serves as a parking area and is a non conforming use in the current Zoning Code. The existing RM-2 zoning does not allow any commercial use.

**SURROUNDING AREA:** The subject tract is abutted on the east by South Boston Avenue and across the street to the east the property is zoned RM-2; on the North and South the site is abutted by small offices and are both zoned OL. The property abutting the site on the west is Veterans Park, and also zoned RM-2.

**UTILITIES:** The subject tract has municipal water and sewer available.

**TRANSPORTATION VISION:**

The Comprehensive Plan does not specifically identify Boston Avenue.

**STREETS:**

15.4

<u>Exist. Access</u>	<u>MSHP Design</u>	<u>MSHP R/W</u>	<u>Exist. # Lanes</u>
South Boston Avenue	n/a	60'	2

**RELATIONSHIP TO THE COMPREHENSIVE PLAN:**

The Comprehensive Plan designates the site as a Downtown Neighborhood and in an area of growth.

A Downtown Neighborhood is defined as areas “located outside but are tightly integrated with the Downtown Core. These areas are comprised of university and higher educational campuses and their attendant housing and retail districts, former warehousing and manufacturing areas that are evolving into areas where people both live and work, and medium to high-rise mixed –use residential areas. Downtown Neighborhoods are primarily pedestrian oriented and are well connected to the Downtown Core via local transit. They feature parks and open space, typically at the neighborhood scale.”

**STAFF RECOMMENDATION:**

This site is in a neighborhood which has been accurately identified in the comprehensive plan as an area which has evolved into a mixed use area where people live, work and play in a unique mix of multifamily and single family residential uses, mixed with small offices, large office buildings, parks, and schools. This site is one of the most diverse use neighborhoods in the south side of the Central Business District Area and is identified as an area of growth in the comprehensive plan. The Comprehensive Plan could support a retail/commercial use in this area if a larger more comprehensive development including urban neighborhood retail component..

In this particular instance there is no other commercial use in the immediate area and staff believes that the CS zoning request constitutes spot zoning and therefore **recommends DENIAL of the requested CS zoning.**

09/19/12

15.5





CHUCK LANGE  
ZONING OFFICIAL  
PLANS EXAMINER

TEL (918)596-9688  
clange@cityoftulsa.org



## DEVELOPMENT SERVICES

175 EAST 2<sup>nd</sup> STREET, SUITE 450  
TULSA, OKLAHOMA 74103

### ZONING CLEARANCE PLAN REVIEW

LOD Number: 672626-1

July 06, 2012

MARCUS MAKAR  
PO BOX 103  
TULSA, OK 74101-

Phone: (918)260-9880

APPLICATION NO: **6258** (PLEASE REFERENCE THIS NUMBER WHEN CONTACTING OUR OFFICE)  
Location: **1918 S BOSTON AV E**  
Description: **FLYING TRAPEZE**

#### INFORMATION ABOUT SUBMITTING REVISIONS

OUR REVIEW HAS IDENTIFIED THE FOLLOWING CODE OMISSIONS OR DEFICIENCIES IN THE PROJECT APPLICATION FORMS, DRAWINGS, AND/OR SPECIFICATIONS. THE DOCUMENTS SHALL BE REVISED TO COMPLY WITH THE REFERENCED CODE SECTIONS.

#### REVISIONS NEED TO INCLUDE THE FOLLOWING:

1. A COPY OF THIS DEFICIENCY LETTER
2. A WRITTEN RESPONSE AS TO HOW EACH REVIEW COMMENT HAS BEEN RESOLVED
3. THE COMPLETED REVISED/ADDITIONAL PLANS FORM (SEE ATTACHED)

REVISIONS SHALL BE SUBMITTED DIRECTLY TO THE CITY OF TULSA PERMIT CENTER LOCATED AT 175 EAST 2<sup>nd</sup> STREET, SUITE 450, TULSA, OKLAHOMA 74103, PHONE (918) 596-9601. THE CITY OF TULSA WILL ASSESS A \$25 RESUBMITTAL FEE PLUS ONE DOLLAR PER SUBMITTED PAGE. DO NOT SUBMIT REVISIONS TO THE PLANS EXAMINERS.

**SUBMITTALS FAXED TO PLANS EXAMINERS WILL NOT BE ACCEPTED.**

#### IMPORTANT INFORMATION

1. SUBMITTAL OF REVISED/ADDITIONAL PLANS MUST BE SUBMITTED WITH TWO (2) SETS [4 SETS IF HEALTH DEPARTMENT REVIEW IS REQUIRED] OF REVISED OR ADDITIONAL PLANS. REVISIONS SHALL BE NOTED WITH CLOUDS AND REVISION MARKS.
2. THE FULL TEXT OF THE ZONING CODE, INFORMATION ABOUT INDIAN NATION COUNCIL OF GOVERNMENT (INCOG), BOARD OF ADJUSTMENT (BOA), AND TULSA METROPOLITAN AREA PLANNING COMMISSION (TMAPC) IS AVAILABLE ONLINE AT [WWW.INCOG.ORG](http://WWW.INCOG.ORG) OR AT INCOG OFFICES AT WILLIAMS TOWER II, 2 W. 2<sup>nd</sup> ST., 8<sup>th</sup> FLOOR, TULSA, OK, 74103, PHONE 918-584-7526.
3. QUESTIONS CONCERNING VARIANCES, SPECIAL EXCEPTIONS, APPEALS OF AN ADMINISTRATIVE OFFICIAL, PLANNED UNIT DEVELOPMENTS (PUD), ZONING CHANGES, PLATTING, LOT SPLITS, LOT COMBINATIONS, AND ALTERNATIVE COMPLIANCE LANDSCAPE PLANS SHOULD BE DIRECTED TO AN INCOG REPRESENTATIVE.

(continued)

15.8

## REVIEW COMMENTS

SECTIONS REFERENCED BELOW ARE FROM THE CITY OF TULSA ZONING CODE TITLE 42 AND CAN BE VIEWED AT [WWW.CITYOFTULSA-BOA.ORG](http://WWW.CITYOFTULSA-BOA.ORG)

Application No. 6258

1918 S BOSTON AV E

July 06, 2012

**This letter of deficiencies covers Zoning plan review items only. You may receive additional letters from other disciplines such as Building or Water/Sewer/Drainage for items not addressed in this letter.**

**Sec.401 Table 1 Permitted Uses in Residential Districts:** Use Unit 20 – Commercial Recreation, which includes Outdoor Recreation Not Elsewhere Classified (NEC), is not a permitted use in an RM-2 district.

**Review Comments:** The proposed trapeze is located in an RM-2 district and is designated a Use Unit 20 Outdoor Recreation NEC. This requires rezoning to a district that allows a Use Unit 20 either by Special Exception or by Right. All Commercial districts (CS, CG, CH and CBD) and Industrial Light (IL) will require a Board of Adjustment Special Exception after rezoning. Use Unit 20 is allowed by Right in the Industrial Districts IM and IH.

**NOTE: Please direct all questions concerning Zoning changes to Mindi Mariboho and Special Exceptions to Carolyn Back at 918-584-7526. It is your responsibility to keep our office advised of any action by the BOA and TMAPC affecting the status of your application for a Zoning Clearance Permit.**

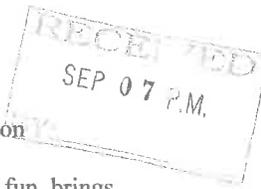
## END – ZONING CODE REVIEW

**NOTE:** THIS CONSTITUTES A PLAN REVIEW TO DATE IN RESPONSE TO THE SUBMITTED INFORMATION ASSOCIATED WITH THE ABOVE REFERENCED APPLICATION. ADDITIONAL ISSUES MAY DEVELOP WHEN THE REVIEW CONTINUES UPON RECEIPT OF ADDITIONAL INFORMATION REQUESTED IN THIS LETTER OR UPON ADDITIONAL SUBMITTAL FROM THE APPLICANT.

KEEP OUR OFFICE ADVISED OF ANY ACTION BY THE CITY OF TULSA BOARD OF ADJUSTMENT OR TULSA METROPOLITAN AREA PLANNING COMMISSION AFFECTING THE STATUS OF YOUR APPLICATION FOR A ZONING CLEARANCE PERMIT.

15.9

Re: case # Z-7210



Petition Re: Approving the rezoning to install Flying trapeze at 1918 S Boston

Trapeze is good for the City. It is conducive to improving health, incredibly fun, brings people together, and is relatively new, novel activity only available in about two handfuls of cities in this country. Please grant this approval.

Sat. Sep 8-11-12

592-4421

~~Suzanne Stone~~ 1915 S. Boston 74119 ~~annerorange@aol.com~~  
(aol.com)

~~Noelle Stone~~

~~Nancy Hood~~ 630-2246 1922 S Boston 74119 NRH1914@aol.com

~~Nancy Hood~~

DAVID HARP 1933 S. Boston Apt. D 74119 harp.david@aol.com

David Harp

SUSAN GUNN 101 E 21 street apt 1 gunnsw1@rocketmail.com

KATE HAMERNIK 101 E 21 St apt 3 hamernik@okstarede.com

Kate Hamernik

JUSTIN BANNEY 112 E 21ST APT 5 MRBANNEY@YAHOO.COM

Justin Banney

AMELIA WILLIAMSON 105 E 21st Apt 7

Amelia Williamson

DR. MALINI CHINTAPALLI 745-7559 1907 G. BOSTON AVE malini.c@aol.com

Malini Chintapalli

DR. SCOTT HANCOCK 587-5877 same 1933 S Boston 584-3100

John Rucker JLRANCH@aol.com

DOUG CAMPBELL Doug Campbell 1927 S. BOSTON

doug@CDATOLSA.COM 583-6071

CHEIRSTA LIERMAN Cheriana@aol.net Cheirsta Lieman 1927 S. Boston

Tony Harris

LARRY D. HEARNED Larry D. Hearn 583-5700 19215 Boston

FRANCINE ROBINSON Francine Robinson 1919 S Boston

(A)

15.10

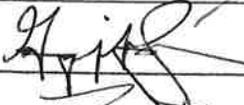
Petition Re: Approving the rezoning to install Flying trapeze at 1918 S Boston

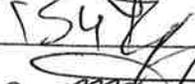
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Ar.

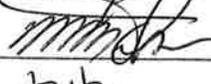
Trapeze is good for the City. It is conducive to improving health, incredibly fun, brings people together, and is relatively new, novel activity only available in about two hundred cities in this country. Please grant this approval.

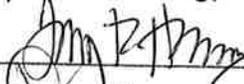
Party Architecture Firm Knights of Columbus Bldg, 1836 S. Balt,

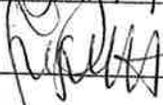
16 Buck Bartole  7415  
Att'y at Law 1910 S. Boston, Tulsa, OK  
582-1986 buck@bwbpc.org

GEORGE SAUM  7419  
UNITY CENTER 1830 S. BOSTON AVE. TULSA  
OF TULSA unitytulsa@sbcglobal.net  
Att'y at Law 583-8732

BILL RAYBOLDS  582-8888  
1914 S. Boston  
BILL RAYBOLDS

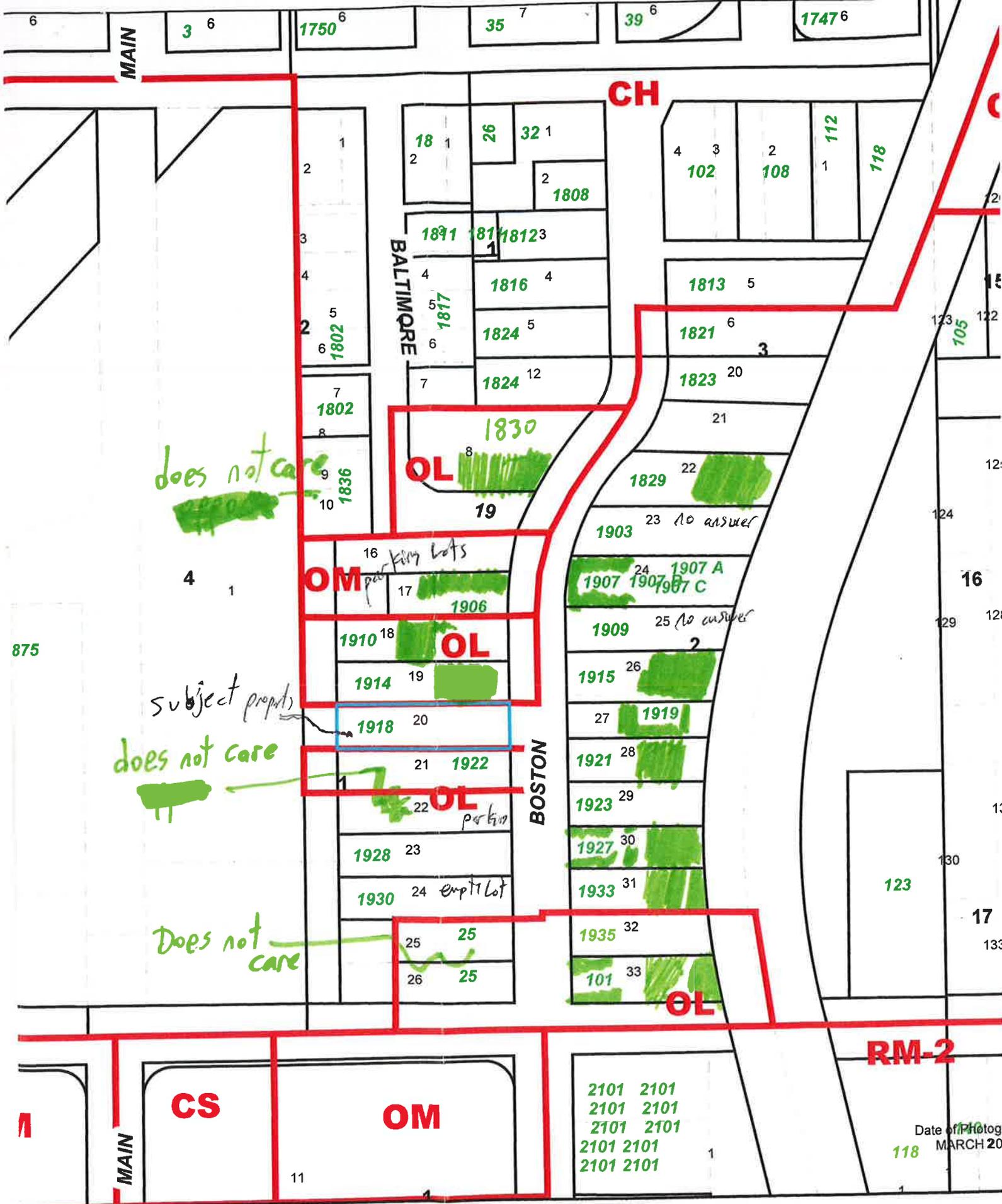
Michael B. Elson, PC  582-8888  
Michael B. Elson 1900 S. Boston Ave. Tulsa, OK

TONY HENRY  918-592-9111  
1927 S. Boston TULSA, OK

USAN FARHING  918-282-6883  
1829 S. BOSTON TULSA OK 74119

(B)

15.11



to match the aerial photography  
and using the County Assessor

# 1918 S BOSTON

15, 12

Date of Photo  
118 MARCH 20

8-10-12

RECEIVED  
SEP 07 P.M.  
BY:

Petition Re: Approving the rezoning to install Flying trapeze at 1918 S Boston

Trapeze is good for the City. It is conducive to improving health, incredibly fun, brings people together, and is a relatively new, novel activity only available in about two handfuls of cities in this country. Please grant this approval.



- |          | Name Print       | Addr                          | Signature   |
|----------|------------------|-------------------------------|-------------|
|          | Scott Carr       | 5406 E 19th St                | [Signature] |
| 2        | Angie Gregory    | 4372 E 58th St                | [Signature] |
|          | Karis Jackson    | 218 S. 18th E. Ave            | [Signature] |
| 4        | Kari Murphy      | 5335 E. 20 St                 | [Signature] |
|          | James White      | 6934 E 46 Pl                  | [Signature] |
| 6        | Delaney Grain    | 20302 E 33rd Pl N             | [Signature] |
|          | Sham Teigler     | 12328 E 25th Pl               | [Signature] |
| 8        | Jody Bud         | 22326 E 31 Ave                | [Signature] |
|          | Jordan [unclear] | 1435 S. Birmingham Pl.        | [Signature] |
| 10       | Em Bud           | 1414 S. Quincy Ave.           | [Signature] |
|          | Rebecca Griggs   | 1537 S. Indianapolis Ave      | [Signature] |
| 12       | Derek Samp       | P.O. Box 14514 Tulsa, OK      | [Signature] |
|          | [unclear]        | P.O. Box 14514 Tulsa, OK      | [Signature] |
| 14       | Chip Blue        | 200 main St # 107 RC          | [Signature] |
|          | Patrick Makamara | 1412 S Trenton Ave            | [Signature] |
| 16       | Gregg Talley     | 3409 E 32nd Pl                | [Signature] |
|          | Amanda Nagy      | 709 W. Utica St               | [Signature] |
| 18       | Julie Brucato    | 2109 E. Concord St.           | [Signature] |
|          | Sam Philbeck     | 10304 E 12th Tulsa, OK        | [Signature] |
| 20       | William Meredith | 1152 W Hickory Pl, Bart 74101 | [Signature] |
|          | Whitney Martin   | 517 S Cedar Ave, BA 74011     | [Signature] |
| 21       | Andra Martin     | 1121 N Hickory Pl 74012       | [Signature] |
| Pg 1. 21 | John Erno        | 5768 E 62nd E Agleton Law     | [Signature] |
| 2. 22    |                  |                               |             |
| Pg 3. 23 |                  |                               |             |
| 4 20     |                  |                               |             |
| Pg 5 13  |                  |                               |             |

Abickford

Neighbors Pg A B  
14 signatures

15.13

Petition Re: Approving the rezoning to install Flying trapeze at 1918 S Boston

Trapeze is good for the City. It is conducive to improving health, incredibly fun, brings people together, and is relatively new, novel activity only available in about two handfuls of cities in this country. Please grant this approval.

- NATHAN Buck  
Nathan Buck 5221 Haverhill Rd
- 1 Shannon Wolf 12207 E 82nd Pl Shamrock, MO
  - 2 Malinda Petherick 6622 E 88th Pl Malinda Petherick
  - 3 Edward Petherick 6622 E 88th Pl E.P.
  - 4 Paula Salazar 8522 E. 161st Paula Salazar
  - 5 Beth Taruseo 11206 S. 107th Beth Taruseo
  - 6 Travis Forest 1222 S. Birmingham Pl. Travis Forest
  - 7 Makelle Sevenson 2506 W. Creston St BA Makelle Sevenson
  - 8 ~~R. Brown~~ 1010 S. Federal Ave BA Lisa Brown
  - 9 Jeff Brown 14715 E 171st S Bixby, OK Jeff Brown
  - 10 Brandie Davenport 12201 E 82nd Pl Brandie Davenport
  - 11 Regina Pulliam 14744 E 74th R. C. P.
  - 12 Brian Fortner 104 E Kent BA OK 74012 Brian Fortner
  - 13 RICHONNA ALVAREZ 104 E Kent BA OK 74012 RICHONNA ALVAREZ
  - 14 Brandon Miller 4648 S Trenton Ave Tulsa OK 74022 Brandon Miller
  - 15 Leticia Alvarez 104 E Kent BA OK 74012 Leticia Alvarez
  - 16 Candace Hodin 3546 E. Ladimore Pl Tulsa, OK 74115 Candace Hodin
  - 17 Shawn D. Reiss 2813 N. 112th E Ave Okemore, OK 74055 Shawn D. Reiss
  - 18 Leslie McCollum 11905 E Tenth St M, Okemore, OK 74055 Leslie McCollum
  - 19 Jessica Foster 11237 Kingsgate Dr OK, OK 73170 Jessica Foster
  - 20 Grady Shook 1414 E. Lindsey Apt. A Norman, OK 73072 Grady Shook
  - 21 ZYAN REIF 4705 W 124th Pl OK Okemore, OK 74055 ZYAN REIF



Petition Re: Approving the rezoning to install Flying trapeze at 1918 S Boston

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- 8-10-12
- |    | Print Name        | Address             | City         | State | Zip   | Signature         |
|----|-------------------|---------------------|--------------|-------|-------|-------------------|
| 1  | Terese Lake       | 9207 Riverside      | Tulsa        | OK    | 74114 | Terese Lake       |
| 2  | Rusty Wilson      | 1261 Forest Lane    | Catawba      | OK    | 74008 | Rusty Wilson      |
| 3  | Robert White      | 24 Lake             | Tulsa        | OK    | 74104 | Robert White      |
| 4  | Rebekah Moore     | 9944 E. 124th St.   | Pixie        | OK    | 74114 | Rebekah Moore     |
| 5  | Van Horen Straite | 3163 E 89th St      | Tulsa        | OK    | 74114 | Van Horen Straite |
| 6  | Aaron Walton      | 1306 S Rockford Ave | Tulsa        | OK    | 74120 | Aaron Walton      |
| 7  | Matt Cannizzaro   | 6921 E 20th St      | Tulsa        | OK    | 74112 | Matt Cannizzaro   |
| 8  | William Dennis    | 5932 E. 27th Pl.    | Tulsa        | OK    | 74111 | William Dennis    |
| 9  | Joe Green         | 1421 E Habera       | Broken Arrow | OK    | 74014 | Joe Green         |
| 10 | Richard Rodriguez | 6150 S 35th W. Ave  | Tulsa        | OK    | 74114 | Richard Rodriguez |
| 11 | LISA ALEXANDER    | 1219 S. TULSA AVE.  | TULSA        | OK    | 74106 | LISA ALEXANDER    |
| 12 | D. CLAY ROESLE    | 1408 STROOST APT#3  | TULSA        | OK    | 74104 | D. CLAY ROESLE    |
| 13 | Charlie Green     | 9316 E 56th St.     | Tulsa        | OK    | 74145 | Charlie Green     |
| 14 | Matthew Safa P    | 9043 E 29th pl.     | Tulsa        | OK    | 74129 | Matthew Safa P    |
| 15 | Thomas Nichols    | 3810 S 124 E AVE    | Tulsa        | OK    | 74114 | Thomas Nichols    |
| 16 | Erica Baker       | 3810 S 124 E AVE    | Tulsa        | OK    | 74114 | Erica Baker       |
| 17 | Tiffany Lane      | 5800 W. 14th Pl 301 | Tulsa        | OK    | 74119 | Tiffany Lane      |
| 18 | Mark Pinkstaff    | 7435 E 59th Pl      | Tulsa        | OK    | 74133 | Mark Pinkstaff    |
| 19 | Carey Cloud       | 316 W 13th St #1    | Tulsa        | OK    | 74119 | Carey Cloud       |
| 20 | SARAH LINDR       | 2419 E 24th St      | Tulsa        | OK    | 74114 | SARAH LINDR       |

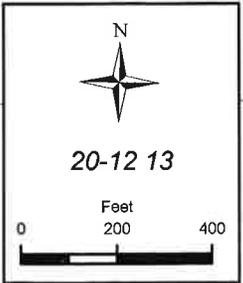
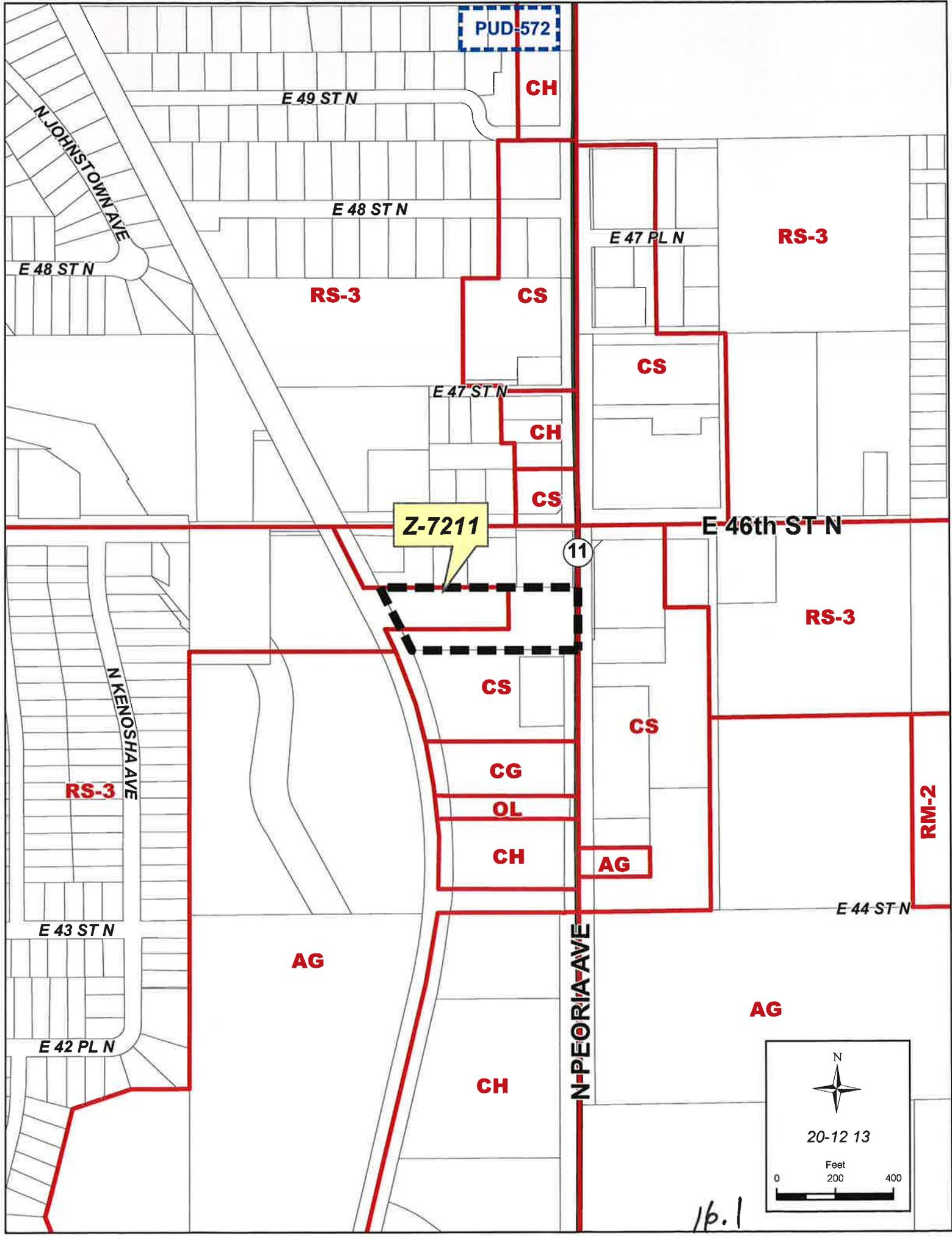
15.16

Petition Re: Approving the rezoning to install Flying trapeze at 1918 S Boston

Trapeze is good for the City. It is conducive to improving health, incredibly fun, brings people together, and is relatively new, novel activity only available in about two handfuls of cities in this country. Please grant this approval.

- crispy knight - rte 66 circus - freak show - performer. Kinda Route 66 museum.  
Lieberman
- 1 Chris Lieberman 10774 E. 103rd Ave  
2 Kim Hann 10254 S. 6th E. Apt 74/33 Kih  
Daniel Pascucci M.P. 2114 S. Birmingham Ct 74114 513-1198  
4 Amy S. Fuller 1366 E. 26th St 74111 645-74111  
Brad Fuller 1366 E 26th 74114 695-5134  
6 Todd Arnold, Ph.D. 1415 S. St. Louis Ave 74120 994-9170  
Olga Arnold Ph.D 1415 S St Louis Ave 994-9170  
8 NANCY LOCKWOOD MAKAR 1412 East 31st Place 743-3945  
Nancy Lockwood Makar nancylm123@yahoo.com 625-2579  
Ann Hughes Ann Hughes 3626 E 40th St mommyhughes@yahoo.com 630-5563  
10 Dan Jarrett Dan Jarrett 6502 E. 57th Pl. Dan@FocusAnywhere.com 605-7771  
James Meyer James Meyer 8710 S. 71st E. Ave jimeyer@shcglobal.v 409-4912  
12 Rick Leary Rick Leary 2804 S. HUBBARD AVE 74137
- 13 Hayden Moore 3637 S. Sandusky  
works 4p til midnight 313-0949  
call before 3pm  
Hayden Moore





16.1



Z-7211

N



20-12 13

Feet

0 200 400



Note: Graphic overlays may not precisely align with physical features on the ground.  
Aerial Photo De

16.2

**TULSA METROPOLITAN AREA PLANNING COMMISSION  
CASE REPORT**

**APPLICATION: Z-7211**

**TRS 0213**

**Atlas 716**

**CZM 3**

**CD-1**

**TMAPC Hearing Date:** September 19, 2012

**Applicant:** Sisemore, Weisz & Associates, Inc.

**Tract Size:** 2.8± acres

121,968± square feet

**ADDRESS/GENERAL LOCATION:** South of southwest corner of East 46<sup>th</sup> Street and North Peoria Avenue

**EXISTING ZONING:** RS-3/CS

**EXISTING USE:** Undeveloped

**PROPOSED ZONING:** CS

**PROPOSED USE:** Proposed retail store

**ZONING ORDINANCE:** Ordinance number 11914 dated September 1, 1970, established zoning for the subject property.

***RELEVANT ZONING HISTORY:***

**Z-6835 November 2001:** All concurred in approval of a request for rezoning a 6.6± acre tract of land from AG/ RS-3/ CS to CS, for mini-storage, on property located south of southeast corner East 46<sup>th</sup> Street North and North Peoria Avenue.

**Z-6743 February 2000:** All concurred in approval of a request to rezone a 4± acre tract of land from RS-3 to CS, located east of the southeast corner of East 46<sup>th</sup> Street North and North Peoria Avenue.

**Z-6575 February 1997:** All concurred in approval to rezone .4± acre tract from OL to CS located south of the southeast corner of East 46<sup>th</sup> Street North and North Peoria Avenue.

***AREA DESCRIPTION:***

**SITE ANALYSIS:** The subject property is approximately 2.8± acres in size and is located south of southwest corner of East 46<sup>th</sup> Street and North Peoria Avenue. The property appears to be vacant and is zoned RS-3/CS. The zoning line dividing the property between RS-3 and CS was apparently defined in the original zoning of the property in 1970 and no longer reflects the recommendations of the Comprehensive Plan. Changing the RS-3 section of the property will bring all of the site into a CS zoning classification and will provide a development opportunity consistent with the goals of the Comprehensive Plan for this area.

**SURROUNDING AREA:** The subject tract is abutted on the east by North Peoria, across the street the property is zoned CS; on the north and south the property is all zoned CS, the west

16.3

boundary is defined by the trail system in Tulsa and further west the property is zoned RS-3, southwest of the site some land still zoned AG.

**UTILITIES:** The subject tract has municipal water and sewer available.

**TRANSPORTATION VISION:**

The Comprehensive Plan designates North Peoria as a frequent bus street and a multi-modal corridor

**STREETS:**

<b><u>Exist. Access</u></b>	<b><u>MSHP Design</u></b>	<b><u>MSHP R/W</u></b>	<b><u>Exist. # Lanes</u></b>
North Peoria Avenue	Secondary Arterial	100'	4

**RELATIONSHIP TO THE COMPREHENSIVE PLAN:**

The Comprehensive Plan designates the site as part of a Regional Center Area and is considered an area of growth. One of the primary goals of the areas of growth in the comprehensive plan is to focus large scale development without being detrimental to existing neighborhoods.

Regional Centers are mid-rise mixed-use areas for large scale employment, retail, and civic or educational uses. These areas attract workers and visitors from around the region and are key transit hubs; station areas can include housing, retail, entertainment, and other amenities. Automobile parking is provided on-street and in shared lots.

**STAFF RECOMMENDATION:**

In keeping with the comprehensive plan vision for the area it is important to continue to re-zone land to accommodate the Regional Center Concept. This requested small area of CS zoning will reinforce the opportunity to create a Regional Center for future large scale development and is consistent with the stated goals and objectives in the comprehensive therefore the **Staff recommends approval for the requested CS zoning** application Z-7211

09/19/12

16.4

**Z-7211 LAND USE PLAN:  
REGIONAL CENTER**

**Land Use Plan Categories**

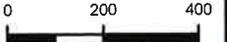
	Downtown		Neighborhood Center
	Downtown Neighborhood		Employment
	Main Street		New Neighborhood
	Mixed-Use Corridor		Existing Neighborhood
	Regional Center		Park
	Town Center		Open Space

N

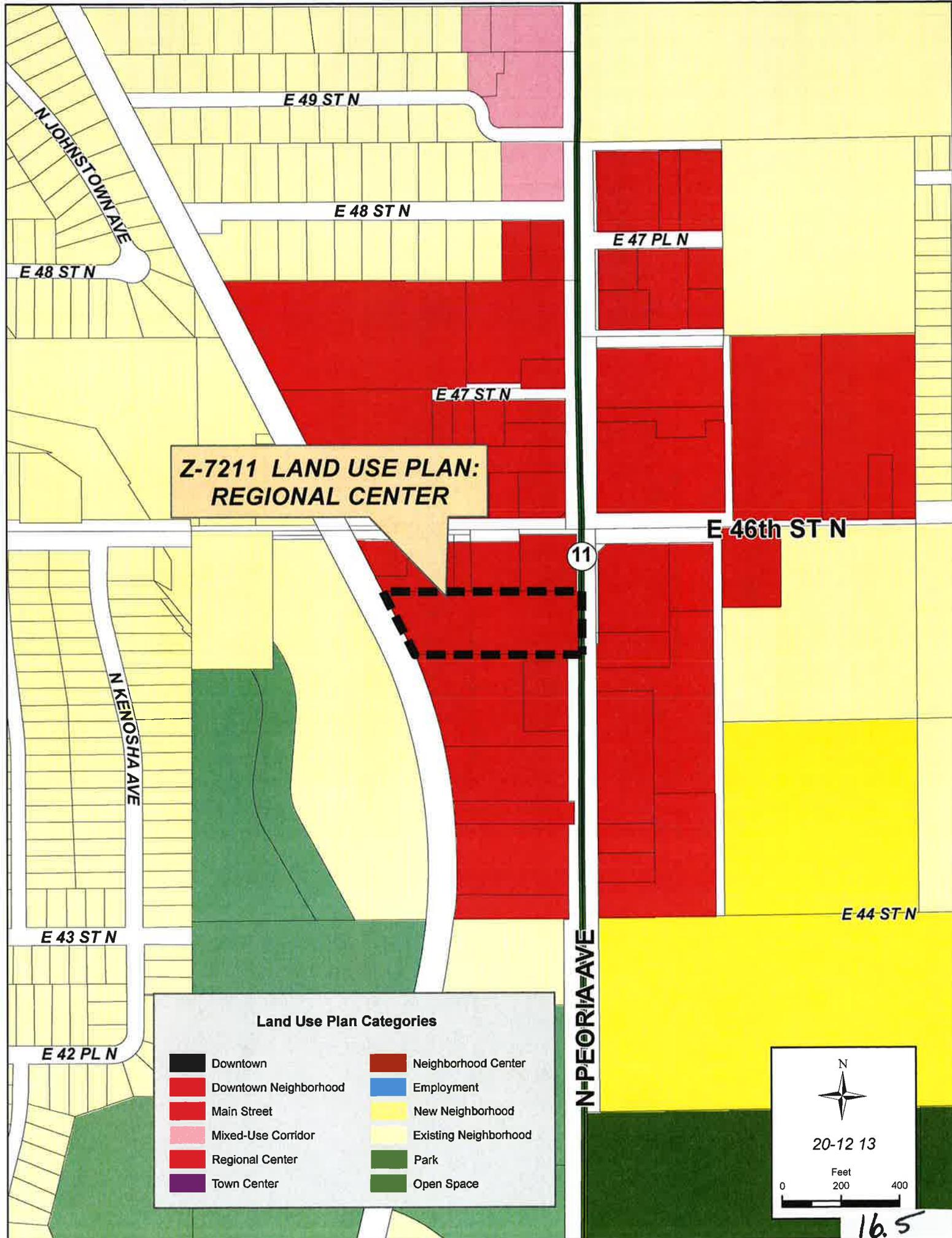


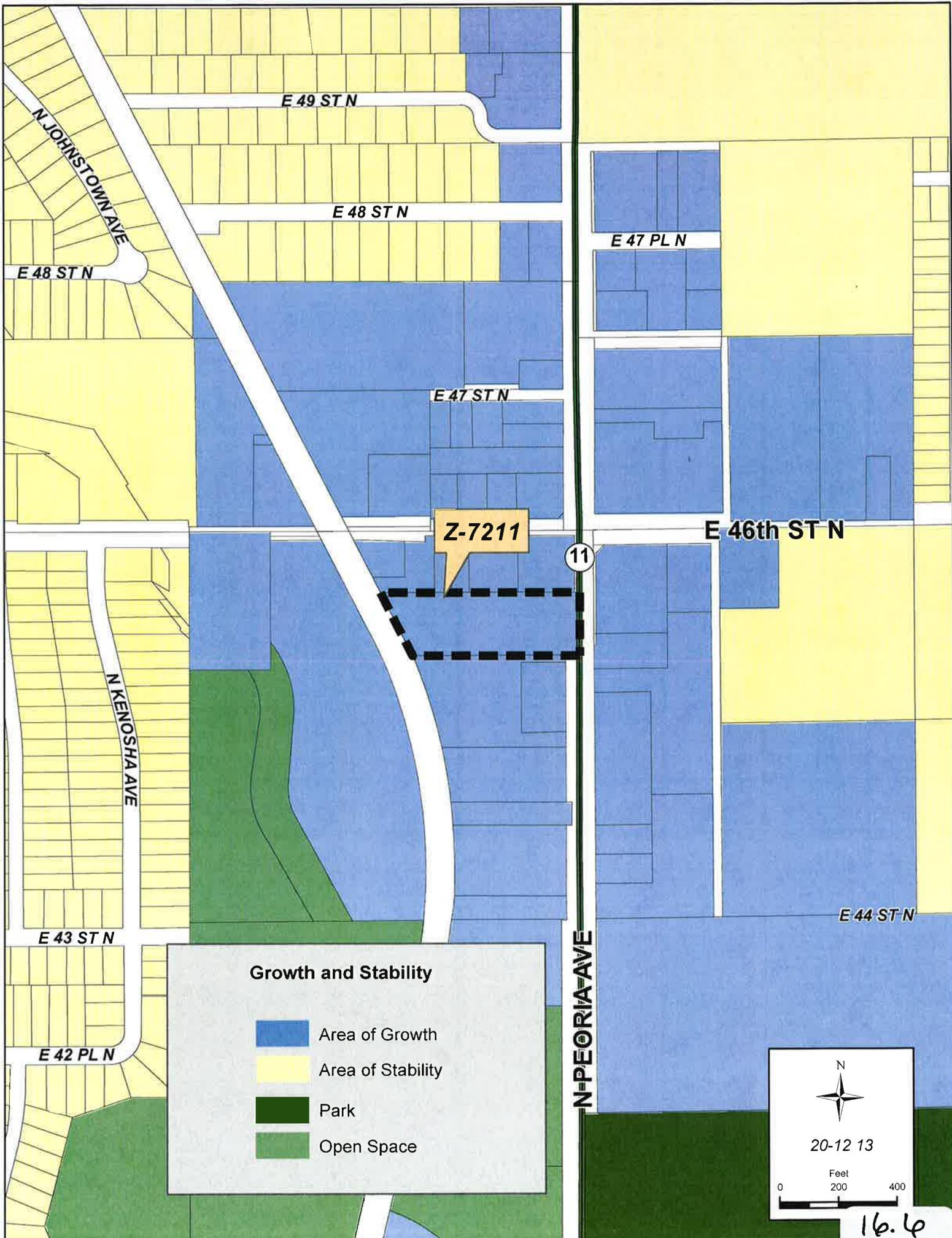
20-12 13

Feet  
0 200 400



16.5





**Growth and Stability**

-  Area of Growth
-  Area of Stability
-  Park
-  Open Space



20-12 13

Feet  
0 200 400

16.6