

# **TULSA METROPOLITAN AREA PLANNING COMMISSION**

## **Meeting No. 2657**

**September 4, 2013, 1:30 PM**

**175 East 2<sup>nd</sup> Street, 2<sup>nd</sup> Level, One Technology Center  
Tulsa City Council Chamber**

### **CONSIDER, DISCUSS AND/OR TAKE ACTION ON:**

Call to Order:

### **REPORTS:**

#### **Chairman's Report:**

#### **Work Session Report:**

Work Session to be held on September 18, 2013

#### **Director's Report:**

Review TMAPC Receipts for the month of July 2013

1. Minutes of August 21, 2013, Meeting No. 2656

### **CONSENT AGENDA:**

**All matters under "Consent" are considered by the Planning Commission to be routine and will be enacted by one motion. Any Planning Commission member may, however, remove an item by request.**

2. **LS-20636** (Lot-Split) (County) – Location: South of the Southeast corner of East 191<sup>st</sup> Street South and South Harvard Avenue
3. **LC-517** (Lot-Combination) (CD-5) – Location: West of the Southwest corner of East 15<sup>th</sup> Street South and South Sheridan Road (Related to: LC-518 & LS-20637)
4. **LS-20637** (Lot-Split) (CD-5) - Location: West of the Southwest corner of East 15<sup>th</sup> Street South and South Sheridan Road (Related to: LC-517 & LC-518)
5. **LC-518** (Lot-Combination) (CD-5) - Location: West of the Southwest corner of East 15<sup>th</sup> Street South and South Sheridan Road (Related to: LC-517 & LS-20637)
6. **LS-20638** (Lot-Split) (County) – Location: South of the Southwest corner of East 131<sup>st</sup> Street South and South Lewis Avenue
7. **LS-20639** (Lot-Split) (CD-4) – Location: East of the Southeast corner of East Admiral Place and North Harvard Avenue (Related to: LC-519)



8. **LC-519** (Lot-Combination) (CD-4) - Location: East of the Southeast corner of East Admiral Place and North Harvard Avenue (Related to: LS-20639)
9. **LC-520** (Lot-Combination) (CD-9) – Location: South of the Southwest corner of East 61<sup>st</sup> street South and South Sheridan Road
10. **LC-521** (Lot-Combination) (CD-2) – Location: North of the Northwest corner of West 81<sup>st</sup> Street South and South 33<sup>rd</sup> West Avenue
11. **LC-522** (Lot-Combination) (CD-9) – Location: North of the Northeast corner of West 36<sup>th</sup> Street South and South Yorktown Avenue
12. **PUD-531-2/Z-6034-SP-1b – Roy D. Johnsen**, Location: Southwest corner of East 79th Street South and South Mingo Road., Requesting a **Minor Amendment** to adjust development area boundaries to establish one development area to be identified as Revised Development Area C and to increase permitted dwelling units by 15% from 375 to 431 dwelling units, (CD-7)
13. **PUD-531-2/Z-6034-SP-1b – Sisemore Weisz & Associates, Mark B. Capron**, Location: Northeast corner of South Mingo Road and East 81<sup>st</sup> Street South, Requesting a Requesting a **Detail Site Plan** approval for a retail commercial development containing 2 new buildings, (CD-7)
14. **PUD-196-A – Vasquez Engineering, LLC, Discount Tire**, Location: South of the Southwest corner of South Memorial Drive and East 71st Street South, 7188 South Memorial Drive, Requesting a **Detail Site Plan** approval for a proposed Tire Store, (CD-8)
15. **Dirty Butter-Heritage Hills Extension** – Final Plat, Location: Southwest corner of East Virgin Street and North Hartford Avenue, (0225) (CD-1)

#### **CONSIDERATION OF ITEMS REMOVED FROM THE CONSENT AGENDA:**

##### **PUBLIC HEARINGS:**

16. **The Estates at Chelsea Pond** – Preliminary Plat, Location: South of East 101<sup>st</sup> Street South, east of South Harvard Avenue (8328) (CD-2)

##### **OTHER BUSINESS**

17. **TMAPC 2014 Meeting Schedule**
18. **Resolutions to adopt new/revised Land Development Fees**
19. **Commissioners' Comments**

## ADJOURN

CD = Council District

**NOTE: If you require special accommodation pursuant to the Americans with Disabilities Act, please notify INCOG (918) 584-7526. Exhibits, Petitions, Pictures, etc., presented to the Planning Commission may be received and deposited in case files to be maintained at Land Development Services, INCOG. Ringing/sound on all cell phones and paggers must be turned off during the Planning Commission.**

Visit our website at [www.tmapc.org](http://www.tmapc.org)

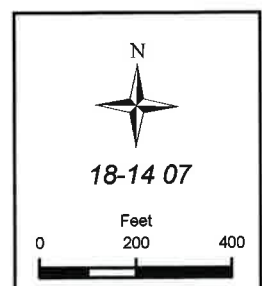
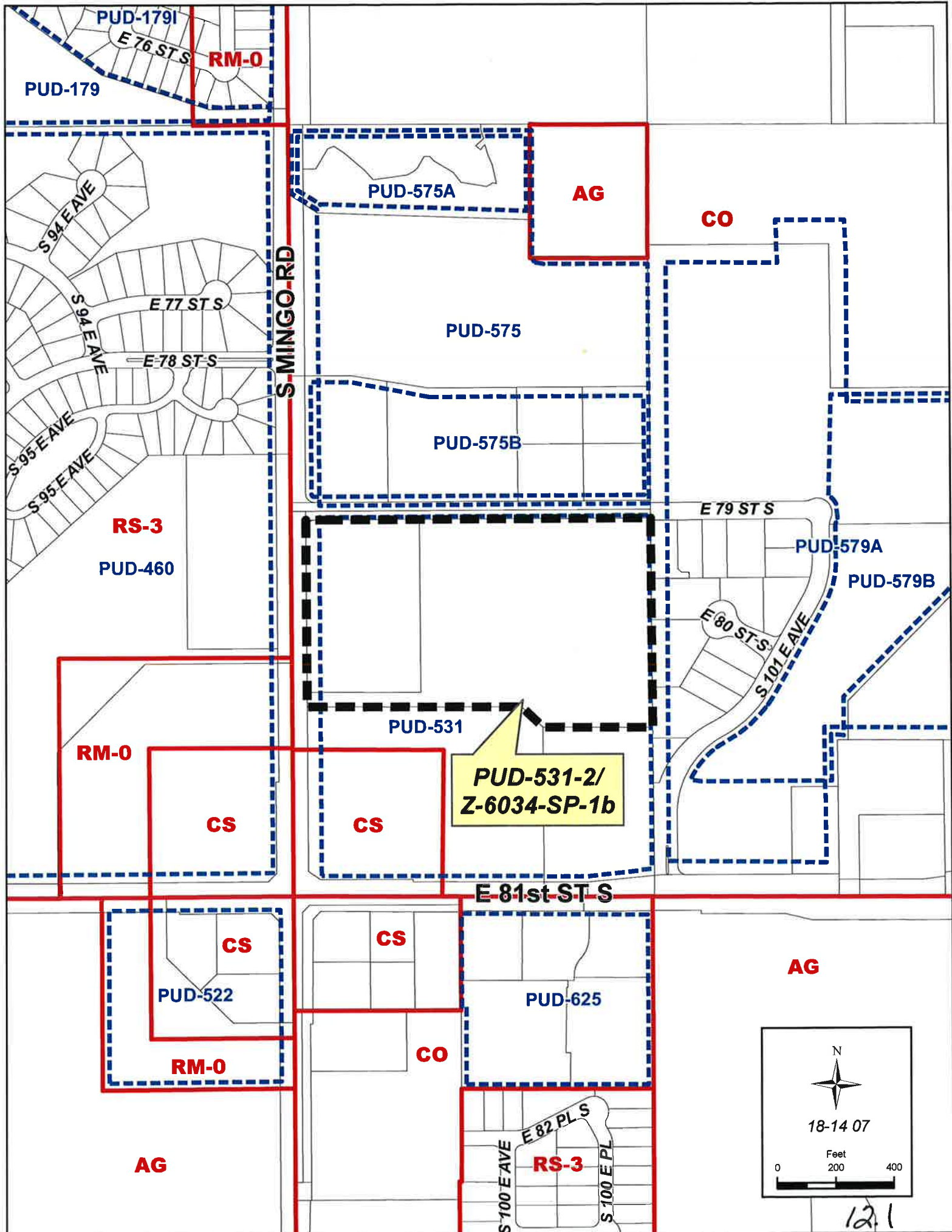
**TMAPC Mission Statement:** The Mission of the Tulsa Metropolitan Area Planning Commission (TMAPC) is to provide unbiased advice to the City Council and the County Commissioners on development and zoning matters, to provide a public forum that fosters public participation and transparency in land development and planning, to adopt and maintain a comprehensive plan for the metropolitan area, and to provide other planning, zoning and land division services that promote the harmonious development of the Tulsa Metropolitan Area and enhance and preserve the quality of life for the region's current and future residents.

**TMAPC RECEIPTS**  
**Month of July 2013**

----- Current Period -----					----- Year To Date -----			
	ITEM	CITY	COUNTY	TOTAL RECEIVED	ITEM	CITY	COUNTY	TOTAL RECEIVED
<b>ZONING</b>								
Zoning Letters	20	\$100.00	\$100.00	\$200.00	20	\$100.00	\$100.00	\$200.00
Zoning	2	950.00	950.00	1,900.00	2	950.00	950.00	1,900.00
PUDs & Plan Reviews	31	3,411.25	3,411.25	6,822.50	31	3,411.25	3,411.25	6,822.50
Refunds		0.00	0.00	0.00	0	0.00	0.00	0.00
Fees Waived		<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	0	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
		<u>\$4,461.25</u>	<u>\$4,461.25</u>	<u>\$8,922.50</u>		<u>\$4,461.25</u>	<u>\$4,461.25</u>	<u>\$8,922.50</u>
<b>LAND DIVISION</b>								
Minor Subdivisions	0	\$0.00	\$0.00	\$0.00	0	\$0.00	\$0.00	\$0.00
Preliminary Plats	4	1,550.75	1,550.75	3,101.50	4	1,550.75	1,550.75	3,101.50
Final Plats	3	1,245.00	1,245.00	2,490.00	3	1,245.00	1,245.00	2,490.00
Plat Waivers	2	250.00	250.00	500.00	2	250.00	250.00	500.00
Lot Splits	5	241.50	241.50	483.00	5	241.50	241.50	483.00
Lot Combinations	6	300.00	300.00	600.00	6	300.00	300.00	600.00
Access Changes	0	0.00	0.00	0.00	0	0.00	0.00	0.00
Other		0.00	0.00	0.00	0	0.00	0.00	0.00
NSF		0.00	0.00	0.00	0	0.00	0.00	0.00
Refunds		(5.00)	(5.00)	(10.00)	0	(5.00)	(5.00)	(10.00)
Fees Waived		<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>		<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
		<u>\$3,582.25</u>	<u>\$3,582.25</u>	<u>\$7,164.50</u>		<u>\$3,582.25</u>	<u>\$3,582.25</u>	<u>\$7,164.50</u>
<b>BOARDS OF ADJUSTMENT</b>								
Fees	23	7,650.00	150.00	7,800.00	0	\$7,650.00	\$150.00	\$7,800.00
Refunds		(50.00)	0.00	(50.00)	23	(50.00)	\$0.00	(50.00)
NSF Check		\$0.00	\$0.00	\$0.00	0	\$0.00	\$0.00	0.00
Fees Waived		<u>\$0.00</u>	<u>\$0.00</u>	<u>\$0.00</u>		<u>\$0.00</u>	<u>\$0.00</u>	<u>0.00</u>
		<u>\$7,600.00</u>	<u>\$150.00</u>	<u>\$7,750.00</u>		<u>\$7,600.00</u>	<u>\$150.00</u>	<u>\$7,750.00</u>
<b>TOTAL</b>		<b>\$15,643.50</b>	<b>\$8,193.50</b>	<b>\$23,837.00</b>		<b>\$15,643.50</b>	<b>\$8,193.50</b>	<b>\$23,837.00</b>
<b>LESS WAIVED FEES *</b>		<b>(\$65.14)</b>		<b>(\$65.14)</b>		<b>(\$65.14)</b>		<b>(\$65.14)</b>
<b>GRAND TOTALS</b>		<b>\$15,578.36</b>	<b>\$0.00</b>	<b>\$23,771.86</b>		<b>\$15,578.36</b>	<b>\$8,193.50</b>	<b>\$23,771.86</b>

\* Advertising, Signs & Postage Expenses for City of Tulsa Applications with Fee Waivers for Tulsa Development Authority, Tulsa Airport Authority, Pearl District Form Based Code & Reinstating Previous Zoning of Recently Annexed Territory





12.1





18-14 07

0 200 400  
Feet

Note: Graphic overlays may not precisely align with physical features on the ground.  
Aerial Photo Date: March 2012

12.2



September 4, 2013

## STAFF RECOMMENDATION

**PUD-531-2/Z-6034-SP-1b:** Minor Amendment to adjust development area boundaries to establish one development area to be identified as Revised Development Area C and to increase permitted dwelling units by 15% from 375 to 431 dwelling units. The site is located at the Southwest corner of East 79<sup>th</sup> Street South and South Mingo Road. TRS 18-14-07; CZM 54; Atlas 1413; CD-7

The applicant is requesting a Minor Amendment to adjust development area boundaries to establish one development area by combining Development Areas C-1 (Lot-1) and C-2 (Lot-2) into one Revised Development Area C and increase the permitted dwelling units by 15% from 375 to 431 dwelling units. The proposed amendment would put the development areas back together as the initial PUD-531 had originally intended.

Between the existing development areas 375 dwelling units are currently allowed. Through the Minor Amendment process an increase in dwelling units is allowed provided that the approved number of dwelling units is permitted by the underlying zoning and the density is not increased by more than 15%.

As part of the request to modify the development area boundaries there will be the deletion of building setbacks applicable to the common boundaries of Lot 1, Block 1 and Lot 2, Block 1 Meadowbrook Chase.

Below are the new development area standards.

### **Development Standards for Revised Development Area C**

#### **Lot 1, Block 1 Meadowbrook Chase**

<b>Land Area Net:</b>	5.208 acres
<b>Permitted Uses:</b>	Use Unit 8 - Multifamily Dwellings and customary accessory uses.
<b>Maximum Dwelling Units:</b>	145 dwelling units (DUs)
<b>Minimum Livability Space:</b>	600 sf / DU
<b>Maximum Building Height:</b>	3 stories not to exceed 45 ft.
<b>Minimum Building Setbacks:</b>	
From centerline of Mingo Road:	85 ft.
From centerline of 79 <sup>th</sup> Street:	
two-story buildings -	47.5 ft.
three-story buildings -	80 ft.
From east boundary of Lot 1, Block 1:	None
From south boundary of Lot 1, Block 1:	None

12.3

**Ground signs:** One monument sign identifying the multifamily project located within Lot 1, Block 1, Meadowbrook Chase shall be permitted. Additionally, one monument sign is allowed to identify the multifamily project in Lot 2, Block 1, Meadowbrook along Mingo Road and within a Lot 1, Block 1, Meadowbrook Chase, shall not exceed 10 feet in height nor 35 square feet in display surface area. Additional signage shall be determined by subsequent minor or major amendment.

**Wall Signs:** Per the Planned Unit Development chapter of the City of Tulsa Zoning Code

#### **Lot 2, Block 1 Meadowbrook Chase**

<b>Land Area Net:</b>	12.6 acres
<b>Permitted Uses:</b>	Use Unit 8 - Multifamily Dwellings and customary accessory uses.
<b>Maximum Dwelling Units:</b>	286 dwelling units (DUs)
<b>Minimum Livability Space:</b>	600 sf / DU
<b>Maximum Building Height:</b>	3 stories not to exceed 45 ft.
<b>Minimum Building Setbacks:</b>	
From centerline of Mingo Road:	85 ft.
From centerline of 79 <sup>th</sup> Street:	
Two-story buildings -	47.5 ft.
Three-story buildings -	80 ft.
From east boundary of Lot 2, Block 1*	
Two-story buildings:	11 ft.
Three story buildings:	50 ft.
From south boundary of Lot 2, Block 1:	35 ft.

*\* Within the east 75' of Area Lot-2, buildings shall be limited to 2-stories not exceeding 30' in height.*

**Screening:** A 6-foot screening fence shall be erected and maintained along the east boundary of Area Lot-2.

**Ground Signs:** Ground signs shall be limited to one monument-style sign located along Mingo Rd. within Lot 1, Block 1, Meadowbrook Chase identifying the multi-family project located within Lot 2, Block 1, Meadowbrook Chase. The monument sign shall not exceed 10-feet in height nor 35 s/f in display area.

**Wall Signs:** Per the Planned Unit Development chapter of the City of Tulsa Zoning Code

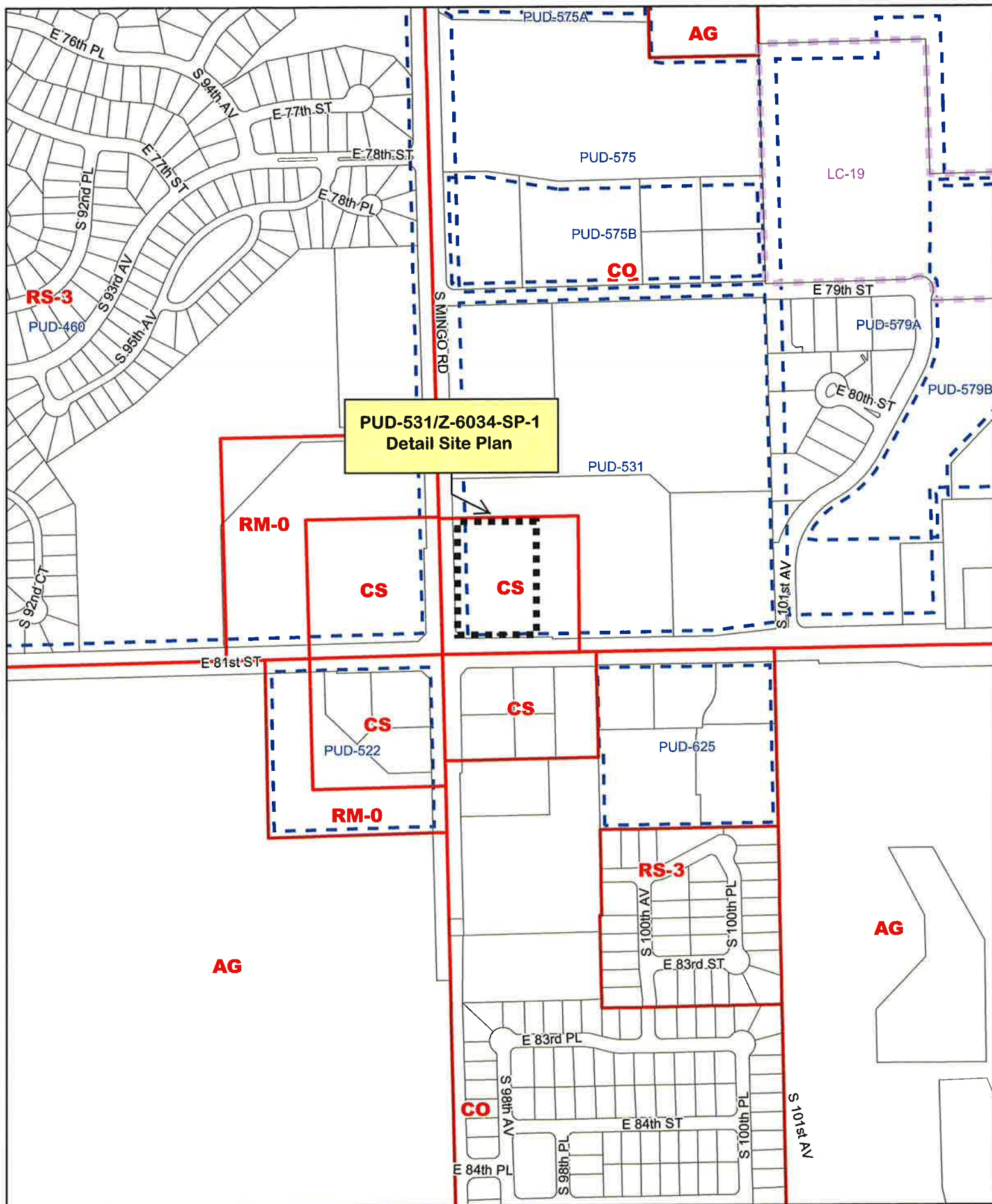
The minor amendment request is consistent with the PUD Section of the Zoning Code as defined in Section 1107.H.1 and 1107.4.3.

The minor amendment request is consistent with the existing and anticipated development pattern of the surrounding area and is in harmony with the original Planned Unit Development and underlying zoning.

Therefore, Staff recommends **Approval** of minor amendment PUD-531-2/Z-6034-SP-1b.

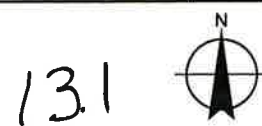






Feet  
0 100 200

TRS







Feet  
0 100 200

TRS

13.2







MAP DISCLAIMER:  
This product is for informational purposes and may not have been prepared for, or be suitable for legal, engineering or surveying purposes. Users of this information should review or consult the primary data and information sources to ascertain the usability of the information.



September 4, 2013

## **STAFF RECOMMENDATION**

**PUD-531/Z-6034-SP-1:**     **PUD Detailed Site Plan** – A 3.25-acre tract that is part of, Section 07, T-18-N, R-14-E, Part of Lot 3, Block 1, Meadowbrook Chase a subdivision in the City of Tulsa, located at the Northeast corner of South Mingo Road and East 81<sup>st</sup> Street South. CZM 54; Atlas 1413; CD-7

---

### **CONCEPT STATEMENT:**

The applicant is requesting detail site plan approval for a retail commercial development containing 2 new buildings. The proposed development is located in Development Area A of PUD-531.

### **PERMITTED USES:**

Allowed uses are per the CS district section of the City of Tulsa Zoning Code (Section 701). Any additional uses that are not allowed within the CS district would require an amendment to the PUD to be allowed.

### **DIMENSIONAL REQUIREMENTS:**

The submitted site plan meets all applicable building height, floor area, density, open space, and setback limitations. No modifications of the previously approved Planned Unit Development are required for approval of this site plan.

### **ARCHITECTURAL GUIDELINES:**

The new buildings are not limited by architectural style in the Planned Unit Development.

### **OFF-STREET PARKING AND VEHICULAR CIRCULATION:**

The site plan exceeds the minimum parking defined in the Tulsa Zoning Code and the Planned Unit Development.

### **LIGHTING:**

Site lighting plans and details are provided. The plan illustrates a design that meets the minimum standards outlined in the Planned Unit Development and in the Zoning Code.

### **SIGNAGE:**

The site plan does not illustrate ground, monument or wall sign locations which require a separate permit. All signage will be required to be per the PUD Standards for Development Area A. Any ground or monument signs placed in an easement will require a license agreement with the City prior to receiving a sign permit. This staff report does not remove the requirement for a separate sign plan review process.

13.4



#### SITE SCREENING AND LANDSCAPING:

The open space, landscape area and screening is consistent with the Planned Unit Development requirements and it meets the minimum standards of the Landscape portion of the Tulsa Zoning Code. All trash, mechanical and equipment areas shall be screened from public view by persons standing at ground level in Development area A and B. This staff report does not remove the requirement for a separate landscape plan review process.

#### PEDESTRIAN ACCESS AND CIRCULATION:

Appropriate sidewalk improvements are shown in the street right-of-way on East 81<sup>st</sup> Street South and on South Mingo Road. Additionally, the site plan displays adequate pedestrian circulation interior to the development.

#### MISCELLANEOUS SITE CONSIDERATIONS:

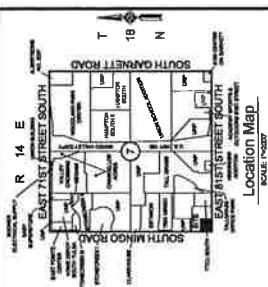
There are no concerns regarding the development of this area as it relates to the terrain modifications.

#### SUMMARY:

Staff has reviewed the applicant's submittal of the site plan as it relates to the approved PUD-531/Z-6034-SP-1. The site plan submittal meets or exceeds the minimum requirements of the PUD. Staff finds that the uses and intensities proposed with this site plan are consistent with the approved PUD, and the stated purposes of the Planned Unit Development Section of the Zoning Code.

Therefore, staff recommends **APPROVAL** of the detail site plan for the proposed retail commercial development containing 2 new buildings.

*(Note: Detail site plan approval does not constitute sign plan or landscape plan approval.)*



# Legend

- 8 PARCELS FILL COUNTS
- 10 BUILDING SETBACK LINE
- 10 UTILITY EASEMENT
- 10 WATER LINE
- 10 SANITARY SEWER
- 10 SANITARY WATER
- 10 GAS LINE
- 10 ROAD LANDSCAPE AREA
- 10 LIGHT POLE REFER TO LOTTING PLAN
- 10 PEDESTRIAN SIDEWALK
- 10 PEDESTRIAN CIRCULATION

## PUD 531 CORRIDOR SITE PLAN Z-6034-SP-1 DEVELOPMENT AREA "A"

NET LAND AREA LOT 3, BLOCK 15: 48,716 SF, 1.12 ACRES  
PROJECT LIMITS: 141,622 SF, 3.23 ACRES

### PERMITTED USES:

USES PERMITTED BY RIGHT WITHIN A CD DISTRICT:

### PROPOSED USE:

CONVENIENCE GOODS AND SERVICES (USE UNIT 13)  
RETAIL COMMERCIAL (USE UNIT 14)

### MAXIMUM BUILDING FLOOR AREA:

PROPOSED: 21,182 SF

### MAXIMUM BUILDING COVERAGE (CO):

PROPOSED: 30%

### PERMITTED PROJECT LIMITS:

PROPOSED: 21,182 SF

### MAXIMUM BUILDING HEIGHT:

PROPOSED: 20 FEET

### MINIMUM BUILDING SETBACKS:

FROM CENTERLINE OF S. MINCO RD: 100'

FROM CENTERLINE OF E. 1ST ST: 100'

FROM EAST BOUNDARY OF DEVELOPMENT AREA: 10'

### OFF-STREET PARKING:

1 PER 125 SF OF FLOOR AREA

PROPOSED: 142 PARKING SPACES

### MINIMUM LANDSCAPED AREA:

TO BE PROVIDED: 10% OF LOT AREA (48,716 SF)

PROPOSED: 77% OF LOT AREA (48,716 SF)

PROPOSED: 12.0% OF PROJECT AREA (18,076 SF)

### LANDSCAPED STREET VAND PARK STREET FRONTAGE:

SOUTH MINCO ROAD (21,081 SF)

PROPOSED: 25.2% (5,301 SF)

EAST 1ST STREET SOUTH (11,706 SF)

PROPOSED: 19.1% (1,706 SF)

PROPOSED: 15.9% (1,058 SF)

## DSP-1 DETAIL SITE PLAN Lot 3, Block 1 Meadowbrook Chase

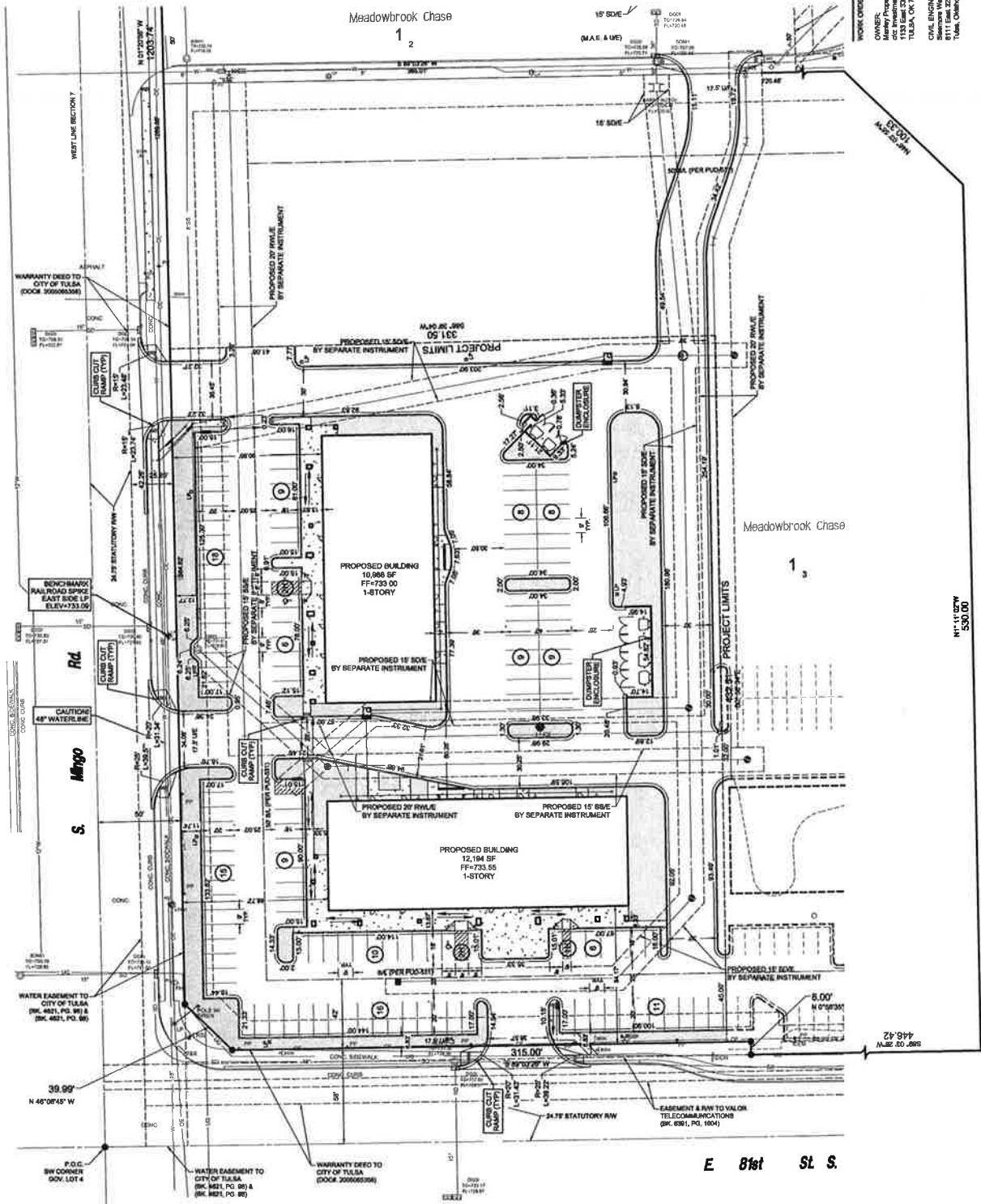
FILE NUMBER: 154-127

DRAWING DATE: 05/17/15

OWNER:  
Meadowbrook Chase, LP  
c/o Investment Real Estate, LLC  
1133 East 33rd Place  
TULSA, OK 74112

CIVIL ENGINEER:  
Steven Weisz & Associates, Inc.  
8111 East 33rd Place  
Tulsa, Oklahoma 74135

SCALE: 1" = 30'



E 8th St S

13.6



 <b>CITY OF TULSA</b>		<b>Stewart, Weiss &amp; Associates, Inc.</b> 414 E. 10th St. Suite 200 Tulsa, Oklahoma 74103 Tel: (918) 591-1111 Fax: (918) 591-1112		<b>PLAN SCALE:</b> 1"=30'		<b>WORK ORDER NO.</b> 1800010		<b>TYPE OF WORK:</b> PHASE N/A		<b>DATE</b> 5/20/2013	
<b>REVISIONS</b>		<b>DATE</b>		<b>PLAN SCALE:</b> 1"=30'		<b>WORK ORDER NO.</b> 1800010		<b>TYPE OF WORK:</b> PHASE N/A		<b>DATE</b> 5/20/2013	
<b>REVISIONS</b>		<b>DATE</b>		<b>PLAN SCALE:</b> 1"=30'		<b>WORK ORDER NO.</b> 1800010		<b>TYPE OF WORK:</b> PHASE N/A		<b>DATE</b> 5/20/2013	

13.7





JAMES CAMPBELL &  
ASSOCIATES, INC.  
1716 E. MINOR STREET  
BROCKTON, ARK. 74602  
870.918.806.2669  
870.918.255.2863  
JC@jamescampbell.com

ARCHITECTURE  
INTERIOR DESIGN  
SPACE PLANNING  
ON 4/20/15 8:00-3:00 PM  
PROFESSIONAL SEAL



CONSULTANT  
Theresa F. Kester  
TFA 17759  
TFA 17759  
CGA 2008  
exp. 6/2015

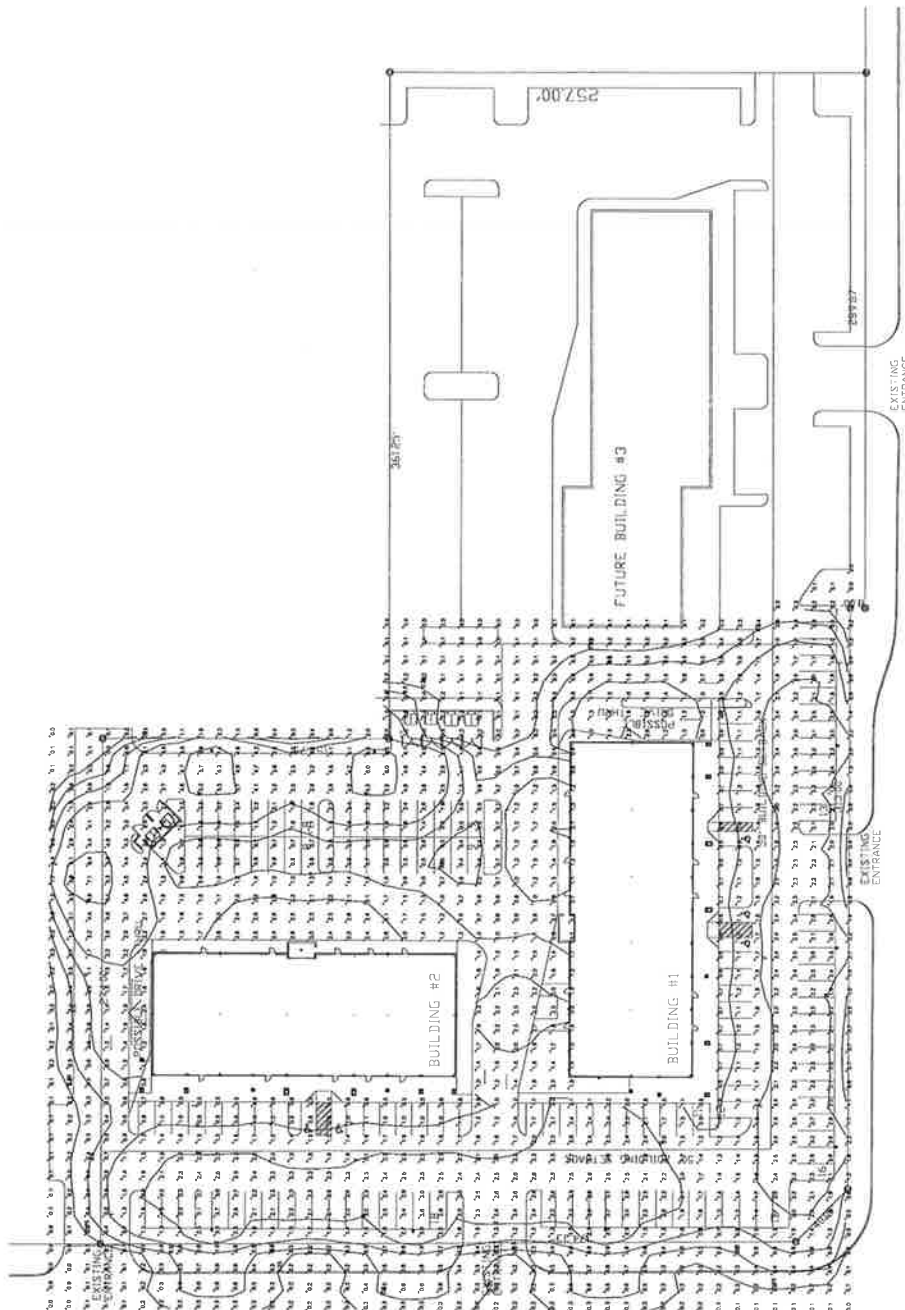
PROJECT  
NEW RETAIL CENTER  
MEADOWBROOK CHASE  
NEC E. 81st STREET S. & S. MINGO RD.  
TULSA, OK

COPYRIGHT NOTICE  
THIS DOCUMENT IS THE PROPERTY OF JAMES CAMPBELL & ASSOCIATES, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JAMES CAMPBELL & ASSOCIATES, INC.

PROJECT NUMBER  
PENDING RTT  
JULY 1, 2013  
NEWBORN

SITE PHOTOMETRIC

E1.2



SITE PHOTOMETRIC PLAN  
1/16" = 1'-0"



# CSX2 LED LED Area Luminaire



Catalog Number **SITE LIGHT, TYPE P**

Notes **to have full cutoff**

Type

## Introduction

The Contour® Series luminaires offer traditional square dayforms with softened edges for a versatile look that complements many applications.

The CSX2 combines the latest in LED technology with the familiar aesthetic of the Contour® Series for stylish, high-performance illumination that lasts. It is ideal for replacing traditional metal halide in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

## Specifications

**EPA:** 1.2 ft<sup>2</sup>  
(0.11 m<sup>2</sup>)

**Length:** 35-3/8"  
(89.7 cm)

**Width:** 18-1/2"  
(46.9 cm)

**Height:** 5-7/8"  
(14.9 cm)

**Weight (max):** 59 lbs  
(26.8 kg)



## Ordering Information

**EXAMPLE:** CSX2 LED 4 30B700/40K SR5 MVOLT SPA DDBXD

CSX2 LED							
Series	Light Engines	Performance Package <sup>1</sup>	Distribution	Voltage	Mounting	Options	Finish (required)
CSX2 LED	3 Three engines (90 LEDs)	<b>530 mA options:</b> 30B530/30K 3000K 30B530/40K 4000K 30B530/50K 5000K	SR2 Type II	MVOLT <sup>2</sup>	<b>Shipped included</b>	<b>Shipped installed</b>	DDBXD Dark bronze
	4 Four engines (120 LEDs)	<b>700 mA options:</b> 30B700/30K 3000K 30B700/40K 4000K 30B700/50K 5000K	SR3 Type III SR4 Type IV SR5 Type V FT Forward throw	120 <sup>2</sup> 208 <sup>2</sup> 240 <sup>2</sup> 277 <sup>2</sup> 347 480	SPA Square pole mounting RPA Round pole mounting	PER NEMA twist-lock receptacle only (no controls) DCR Dimmable and controllable via ROAM® (no controls) <sup>3</sup> DMG 0-10V dimming driver (no controls) <sup>4</sup> HS House-side shield <sup>5</sup> SF Single fuse (120, 277, 347V) <sup>6</sup> DF Double fuse (208, 240, 480V) <sup>6</sup> WTB Utility terminal block UT Utility terminal block and closing screws DS Dual switching <sup>7,8</sup>	DBLXD Black DNAXD Natural aluminum DWHXD White DDBTXD Textured dark bronze DBLBXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white
						<b>Shipped separately</b> VG Vandal guard <sup>5</sup> BS Bird-deterrent spikes <sup>5</sup>	

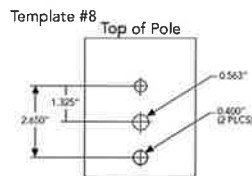
## Accessories

Ordered and shipped separately.

DSS124N 1.5 TJJE U	Photocell - SSL twist-lock (120-277V) <sup>9</sup>
DLL347 1.5 CUL JU	Photocell - SSL twist-lock (347V) <sup>9</sup>
DLL480 1.5 CUL JU	Photocell - SSL twist-lock (480V) <sup>9</sup>
SC U	Shorting cap <sup>9</sup>
SPA19/MR2 DDBXD U	Square pole DM19 to DM19AS adapter (specify finish)
RPA19/MR2 DDBXD U	Round pole DM19 to DM19AS adapter (specify finish)
CSXHS U	House-side shield (one per light engine)
CSX2VG U	Vandal guard accessory
CSX2BS U	Bird-deterrent spikes accessory

For more control options, visit [DTL](#) and [ROAM](#).

## Drilling



CSX2 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles.

**DM19AS** Single unit  
**DM29AS** 2 at 180°  
**DM28AS** 2 at 180°  
**DM38AS** 3 at 90°  
**DM48AS** 4 at 90°  
**DM32AS** 3 at 120° <sup>1</sup>

**Example:** SSA 20 4C DM19AS DDBXD

## Tenon Mounting Slipfitter \*

Tenon O.D.	Single Unit	2 at 180°	2 at 90°	3 at 120°	3 at 90°	4 at 90°
2-3/8"	AST20-190	AST20-280	AST20-290	AST20-320	AST20-390	AST20-480
2-7/8"	AST25-190	AST25-280	AST25-290	AST25-320	AST25-390	AST25-480
4"	AST35-190	AST35-280	AST35-290	AST35-320	AST35-390	AST35-480

\* For round pole mounting (RPA) only.

## NOTES

- Configured with 4000K (40K) provides the shortest lead times. Consult factory for 3000K (30K) and 5000K (50K) lead times.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SF, DF options).
- Specifies a ROAM® enabled luminaire with 0-10V dimming capability; PER option required. Not available with 347 or 480V. Additional hardware and services required for ROAM® deployment; must be purchased separately. Call 1-800-442-6745 or email: [sales@roamservices.net](mailto:sales@roamservices.net).
- Not available with 347 or 480V.
- Also available as a separate accessory; see Accessories information at left.
- Single fuse (SF) requires 120, 277 or 347 voltage option. Double fuse (DF) requires 208, 240 or 480 voltage option.
- Provides 50% dimming capability via two independent drivers, each operating half the luminaire. N/A with PER, DCR, DMG or WTB.
- Requires an additional switched line.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item.



One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8041 • Fax: 770.918.1209 • [www.lithonia.com](http://www.lithonia.com)  
© 2012-2013 Acuity Brands Lighting, Inc. All rights reserved.

13.10

## Performance Data

### Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Actual wattage may differ by +/- 8% when operating between 120-480V +/- 10%. Contact factory for performance data on any configurations not shown here.

Light Engines	Drive Current (mA)	Performance Package	System Watts	Dist. Type	40K (4000K, 67 CRI)				
					Lumens	B	U	G	LPW
3 (90 LEDs)	530	30B530/-K	168W	SR2	13,503	2	0	2	80
				SR3	13,295	2	0	2	79
				SR4	13,504	2	0	2	80
				SR5	14,785	3	0	2	88
				FT	13,779	2	0	2	82
	700	30B700/-K	210W	SR2	16,499	2	0	2	79
				SR3	16,139	2	0	2	77
				SR4	16,451	3	0	3	78
				SR5	18,021	4	0	2	86
				FT	16,846	2	0	2	80
4 (120 LEDs)	530	30B530/-K	222W	SR2	18,004	2	0	2	81
				SR3	17,727	2	0	2	80
				SR4	18,005	2	0	2	81
				SR5	19,714	3	0	2	89
				FT	18,372	2	0	2	83
	700	30B700/-K	292W	SR2	21,999	2	0	2	75
				SR3	21,518	2	0	2	74
				SR3 HS	16,651	1	0	4	57
				SR4	21,935	3	0	4	75
				SR5	24,029	4	0	2	82
				FT	22,460	2	0	2	77

### Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier
0°C	1.02
10°C	1.01
20°C	1.00
25°C	1.00
30°C	1.00
40°C	0.99

### Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the **CSX2 LED 4 30B700** platform in a **40°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	0.95	0.92	0.87

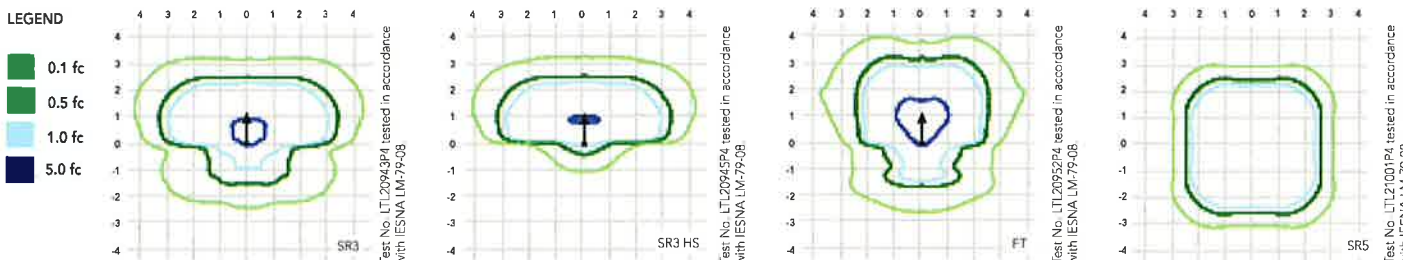
### Electrical Load

Light Engines	Drive Current (mA)	System Watts	Current (A)					
			120	208	240	277	347	480
3	530	168W	1.56	0.90	0.78	0.67	0.54	0.39
	700	210W	1.94	1.12	0.97	0.84	0.67	0.49
4	530	222W	2.06	1.19	1.03	0.89	0.71	0.51
	700	292W	2.70	1.56	1.35	1.17	0.93	0.68

## Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [CSX2 homepage](#).

Isofootcandle plots for the CSX2 LED 4 30B700/40K. Distances are in units of mounting height (20').



## FEATURES & SPECIFICATIONS

### INTENDED USE

The Contour Series LED area luminaire is ideal for streets, walkways, parking lots, and surrounding areas that call for high-performance LED lighting in a transitional dayform.

### CONSTRUCTION

Single-piece die cast housing has a unique flow-through design that allows for optimized thermal management through convective cooling. A metallic screen covers the top of the housing, preventing debris build-up while allowing natural cleaning of the heat sinks. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver(s) and electronics are thermally isolated from the light engines, ensuring long life. Housing is completely sealed against moisture and environmental contaminants.

### FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling.

### OPTICS

Precision-molded acrylic lenses provide optimal luminaire spacing and improved uniformity. Lenses are indexed to the circuit board to ensure consistent optical alignment and delivering repeatable photometric performance. Light engines are available in standard 4000K (67 CRI) or optional 3000K (80 CRI) or 5000K (67 CRI) configurations. **The CSX2 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™**

criteria for eliminating wasteful uplight.

### ELECTRICAL

Light engines consist of 30 high-efficacy LEDs mounted to a metal-core circuit board to maximize heat dissipation and promote long life (100,000 hrs at 40°C, L87). Class 1 electronic driver has a power factor >90%, THD <20%, and has an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

### INSTALLATION

Integral arm provides easy installation to a pole and assists in alignment and leveling. Secure connection withstands up to 2.0 G vibration load rating per ANSI C136.31. The CSX2 utilizes the AERIS™ series pole drilling pattern for SPA and RPA options.

### LISTINGS

CSA Certified to U.S. and Canadian standards. Light engines are IP66 rated, Luminaire is IP65 rated. **U.S. Patent No. D632830. U.S. Patent No. D653,382 S.**

### WARRANTY

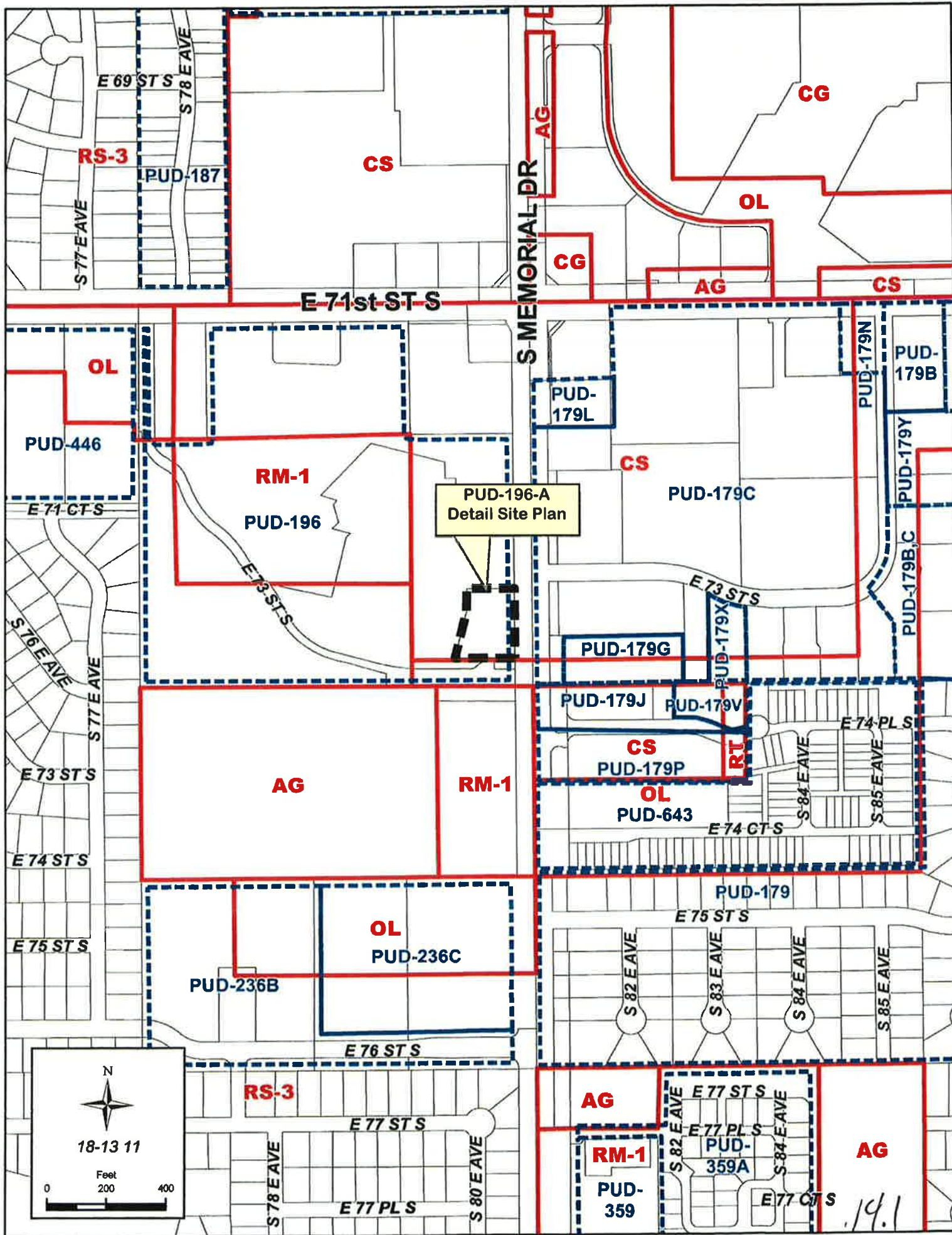
Five year limited warranty. Full warranty terms located at [www.acuitybrands.com/CustomerResources/Terms\\_and\\_conditions.aspx](http://www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx).

**Note:** Specifications subject to change without notice.













E 69 ST S  
S 78 E AVE

S 77 E AVE

E 71st ST S

PUD-196-A  
Detail Site Plan

E 71 CT S

E 73 ST S

E 73 ST S

S MEMORIAL DR

E 74 PL S

S 84 E AVE

S 85 E AVE

E 74 CT S

E 75 ST S

S 82 E AVE

S 83 E AVE

S 84 E AVE

S 85 E AVE

E 76 ST S

E 77 ST S

E 77 PL S

S 78 E AVE

S 80 E AVE

S 82 E AVE

E 77 ST S

E 77 PL S

S 84 E AVE

S 85 E AVE

E 77 CT S

14.2



18-13 11

0 200 400  
Feet

Note: Graphic overlays may not precisely align with physical features on the ground.  
Aerial Photo Date: March 2012



September 4, 2013

## **STAFF RECOMMENDATION**

**PUD-196-A:**                      **PUD Detailed Site Plan** – A 1+/- acre tract that is part of, Section 11, T-18-N, R-13-E, Part of Lot , Block 1, Raphael Plaza a subdivision in the City of Tulsa, located at the South of the Southwest Corner of South Memorial Drive and East 71<sup>st</sup> Street South, 7188 S. Memorial Dr. CZM 53; Atlas 1130; CD-8

---

### **CONCEPT STATEMENT:**

The applicant is requesting detail site plan approval for a proposed Tire Store. The proposed development is located in Development Area C-3 of PUD-196-A.

### **PERMITTED USES:**

Those uses permitted by right within a CS District and Use Unit 17: In Use Unit 17 the only use allowed will be a Tire Store providing sales, service of automobile tires. Minor vehicular repair such as oil changes, brakes, batteries replacement is not allowed in this request. All work performed on vehicles will be conducted inside the building.

### **DIMENSIONAL REQUIREMENTS:**

The submitted site plan meets all applicable building height, floor area, density, open space, and setback limitations. No modifications of the previously approved Planned Unit Development are required for approval of this site plan.

### **ARCHITECTURAL GUIDELINES:**

The front of the building shall be facing north or east with all access drives located on the north side of the building.

All service doors will be limited to the north side of the building. Pedestrian access doors are the only doors allowed on the South, West or East side of the building.

All mechanical equipment will either be roof mounted or ground mounted on the north, west or east side of the building.

All building walls shall be masonry construction except at door openings and glass store front.

### **OFF-STREET PARKING AND VEHICULAR CIRCULATION:**

The site plan exceeds the minimum parking defined in the Tulsa Zoning Code and the Planned Unit Development.

14.3

#### LIGHTING:

Site lighting plans and details are provided. Wall mounted lighting on the south and east side of the building shall be directed down and the light element shall be shielded so that it cannot be seen from the adjacent residential properties south of this site. Parking lot pole lighting is not allowed. The plan illustrates a design that meets the minimum standards outlined in the Planned Unit Development and in the Zoning Code. All lighting shall be wall mounted.

#### SIGNAGE:

The site plan does illustrate ground, monument or wall sign locations which require a separate permit. Display surface area of wall signage shall not exceed 1.5 square feet per each lineal foot of the building wall to which the sign is affixed. No wall signage is allowed on the south or west side of the building. Any ground or monument signs placed in an easement will require a license agreement with the City prior to receiving a sign permit. This staff report does not remove the requirement for a separate sign plan review process.

#### SITE SCREENING AND LANDSCAPING:

The open space, landscape area and screening is consistent with the Planned Unit Development requirements and it meets the minimum standards of the Landscape portion of the Tulsa Zoning Code. This staff report does not remove the requirement for a separate landscape plan review process.

#### PEDESTRIAN ACCESS AND CIRCULATION:

Appropriate sidewalk improvements are shown in the street right-of-way on South Memorial Drive. Additionally, the site plan displays adequate pedestrian circulation interior to the development.

#### MISCELLANEOUS SITE CONSIDERATIONS:

There are no concerns regarding the development of this area as it relates to the terrain modifications.

#### SUMMARY:

Staff has reviewed the applicant's submittal of the site plan as it relates to PUD-196-A. The site plan submittal meets or exceeds the minimum requirements of the PUD. Staff finds that the uses and intensities proposed with this site plan are consistent with the approved PUD, and the stated purposes of the Planned Unit Development Section of the Zoning Code.

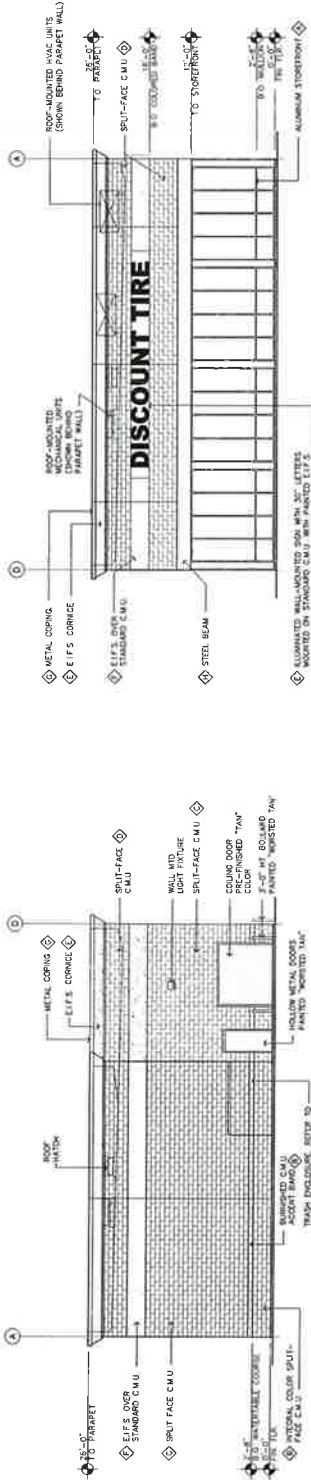
Therefore, staff recommends **APPROVAL** of the detail site plan for the proposed Tire Store, subject to City Council Approval of PUD-196-A.

*(Note: Detail site plan approval does not constitute sign plan or landscape plan approval.)*

14.4

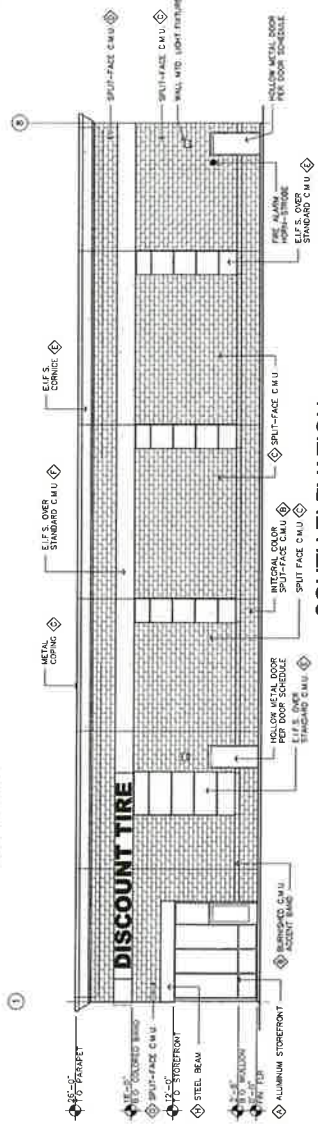
14.5



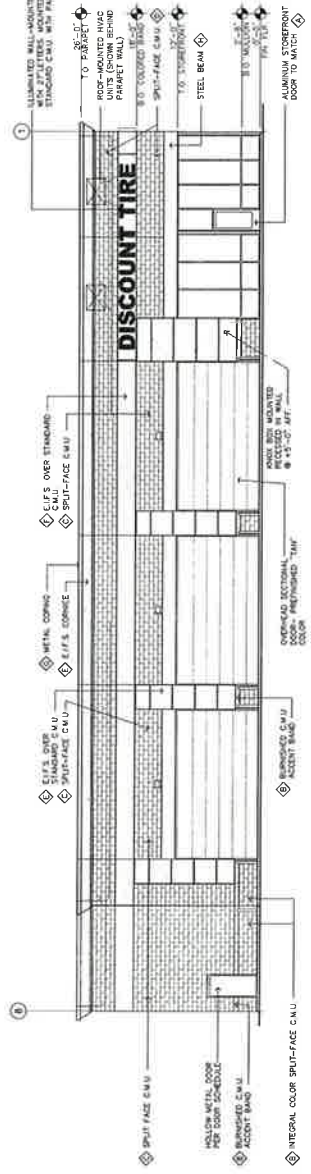


**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

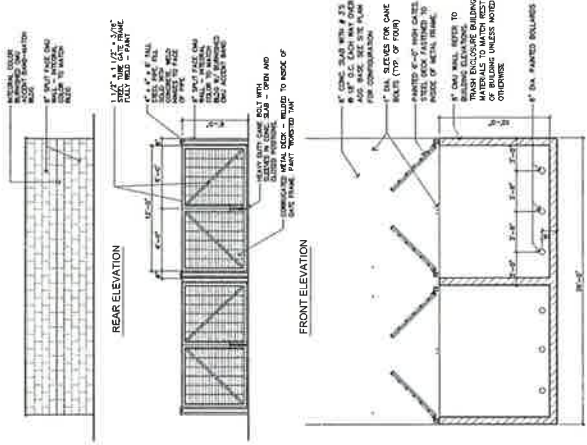
**EAST ELEVATION (S. Memorial Dr.)**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**TRASH ENCLOSURE PLANE/ELEVATIONS**  
SCALE: NOT TO SCALE

- FINISH LEGEND**
- ADDRESSED ALUMINUM STOREFRONT SYSTEM MANUFACTURED'S STANDARD COLOR TO MATCH "BANNER RED"
  - INTERIOR COLOR CMU (SPUT-FACE OR BURNISHED AS NOTED) TO MATCH "WORSTED TAN"
  - GRAY SPUT-FACE CMU PAINTED TO MATCH "WORSTED TAN"
  - GRAY SPUT-FACE CMU PAINTED TO MATCH "PEACH LIGHT"
  - PAINT - SHERRIN WILLIAMS TO MATCH "PEACH LIGHT"
  - EIFS BAND PAINTED TO MATCH "BURNISHED"
  - METAL COPING - FACTORY PAINTED / INTERIOR COLOR TO MATCH "TEAL" COLOR
  - EXPOSED STEEL PAINTED TO MATCH "WORSTED TAN"
  - EIFS PAINTED TO MATCH "WORSTED TAN"

REV: ALT - 1L  
DATE: 05.06.13  
JOB # A.130XXX

**CONCEPTUAL ELEVATIONS**

**7188 South Memorial Drive  
TULSA, OK 74133**

Sheet No.



5415 KATELLA AVENUE, ANNAPOLIS, MD 21403  
P (410) 385-1835 F (410) 385-1834  
www.plumpgroup.com

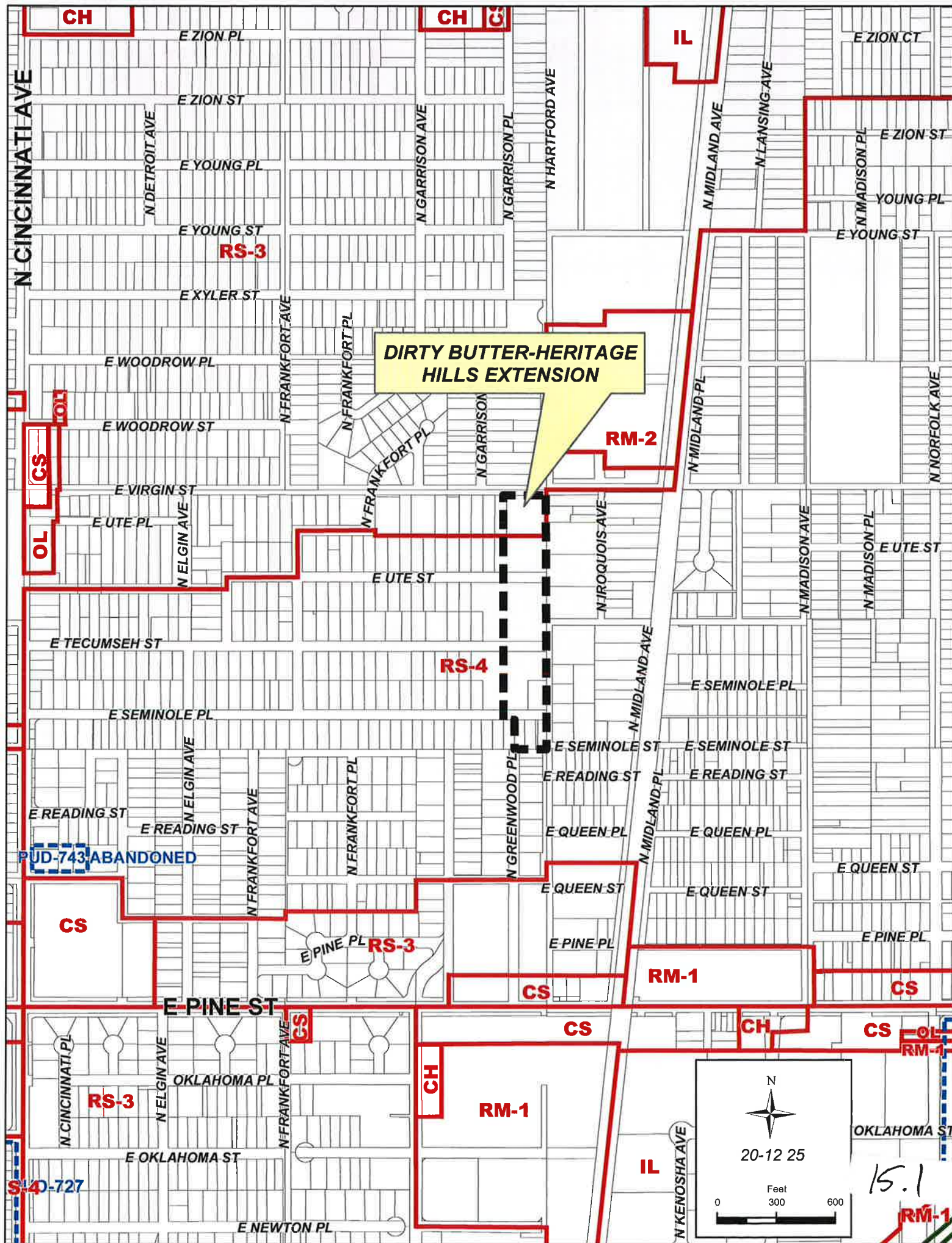
**A.2**



14.6







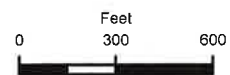




**DIRTY BUTTER-  
HERITAGE HILLS  
EXTENSION**



20-12 25



Note: Graphic overlays may  
not precisely align with physical  
features on the ground.  
Aerial Photo Date: March 2012

15.2



## Final Subdivision Plat

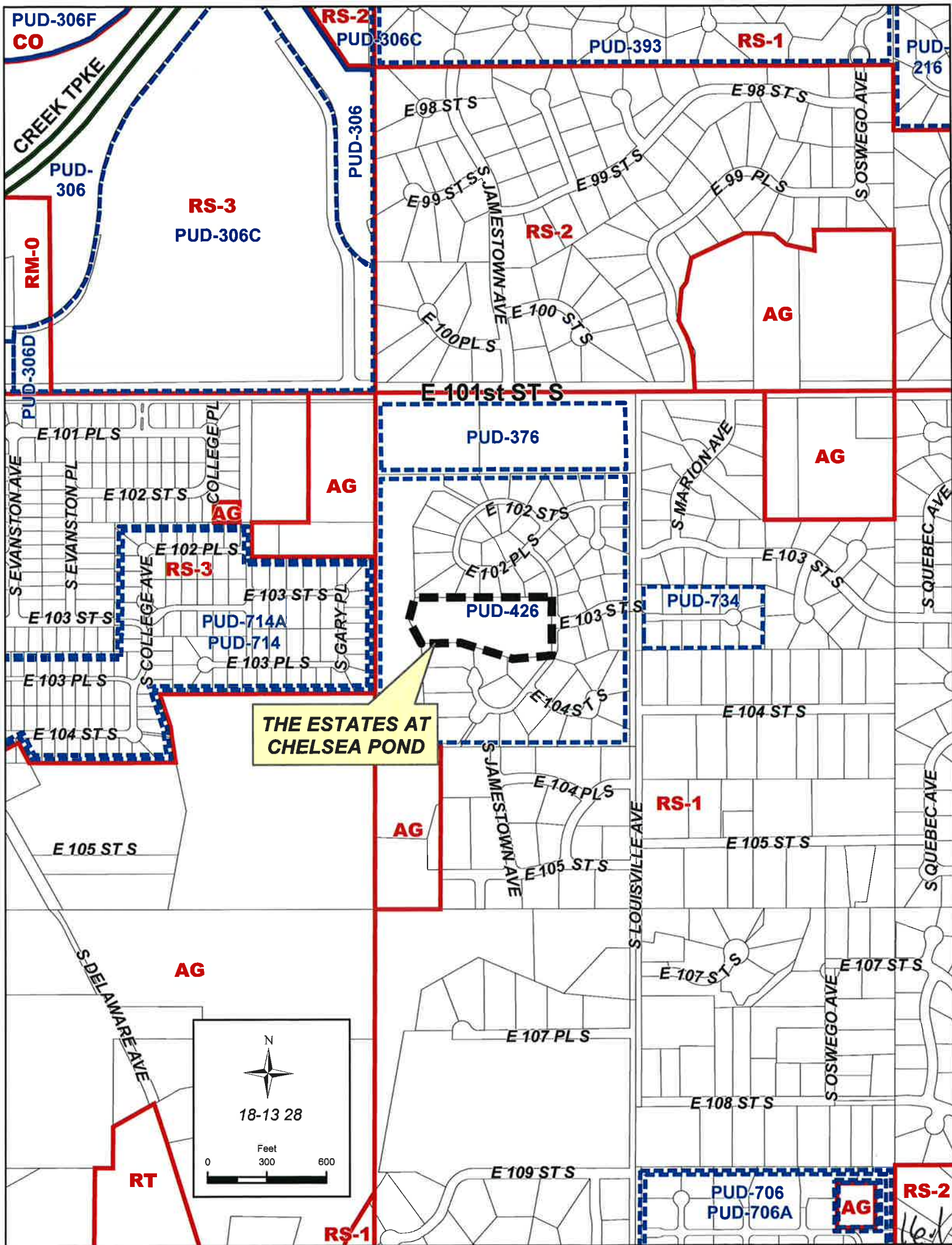
**Dirty Butter-Heritage Hills Extension - (0225) (CD 1)**  
Southwest corner of East Virgin Street and North Hartford Avenue

This plat consists of 15 Lots, 4 Blocks, on 6.17 acres.

Staff has received release letters for this plat and can recommend approval of the final plat.











18-13 28

Feet  
0 300 600

Note: Graphic overlays may not precisely align with physical features on the ground.  
Aerial Photo Date: March 2012



## PRELIMINARY SUBDIVISION PLAT

### The Estates at Chelsea Pond - (8328) (CD 2)

South of East 101<sup>st</sup> Street South, East of South Harvard Avenue

This plat consists of 5 Lots, 1 Block, on 4.4 acres.

The following issues were discussed September 5, 2013, at the Technical Advisory Committee (TAC) meetings:

1. **Zoning:** The property is zoned Planned Unit Development 426.
2. **Streets:** With dimension lines show right-of-way on Knoxville Avenue and provide reference such as plat number and book and page number. Why is the property line shown extending into the roadway/roadway easement in the southeast corner of lot 1? Provide section on sidewalks.
3. **Sewer:** The 15 foot utility easement between lots 3 and 4 should be increased to a total width of 22 feet or make it a 15 foot sanitary sewer easement, with the sewer pipe centered within the easement.
4. **Water:** The waterline is only 2 feet off the back of curb so we would recommend 4 feet off back of curb to allow for constructability. Instead of 8 feet between waterline and RWE (restricted waterline easement) would recommend 6 feet between waterline and RWE. Recommend adding an inline gate valve next to the fire hydrant. Also placing valves on the branch of the tees would allow for the loop to be isolated in the future. Show the development calculations for restraining pipe. Where the waterline crosses the storm sewer twice why are you switching from DIP (ductile iron pipe) to PVC instead of making the entire length DIP?
5. **Storm Drainage:** Storm sewer system in lot 3 should be in a storm sewer easement and not a 15 foot utility easement. It appears that the developer is planning on using Chelsea Pond for detention. Document that the pond was designed to serve this development. If detention is being proposed, the additional drainage should be conveyed to a detention facility that is placed in a reserve, unless the owners of lot 3 intend to maintain the pond themselves. Overland drainage easements are required to convey the runoff from the back of lots 1, 2, 4, and 5 to the detention pond. Use standard covenant language for stormwater detention easement in a reserve for Section I.1.7. All references to the "Department of Public works of the City of Tulsa" must be changed to "City of Tulsa" only. Add standard language for the maintenance of the overland drainage easement. Building lines and utility easements cannot be located within the detention easements.
6. **Utilities: Telephone, Electric, Gas, Cable, Pipeline, Others:** No comment. The PSO easement running through the lots is planned to be moved (per consulting engineer).
7. **Other: Fire:** No comment.



8. **Other: GIS:** South Lewis Avenue is mislabeled. Show project location. Dimension lines and show bearings properly. Show all property pins. Submit subdivision control data sheet. Complete legal description properly. Add standard language for Certificate of Occupancy Restrictions and easement dedication.

Staff recommends **APPROVAL** of the preliminary subdivision plat with the TAC recommendations and the special and standard conditions listed below.

**Waivers of Subdivision Regulations:**

1. None requested.

**Special Conditions:**

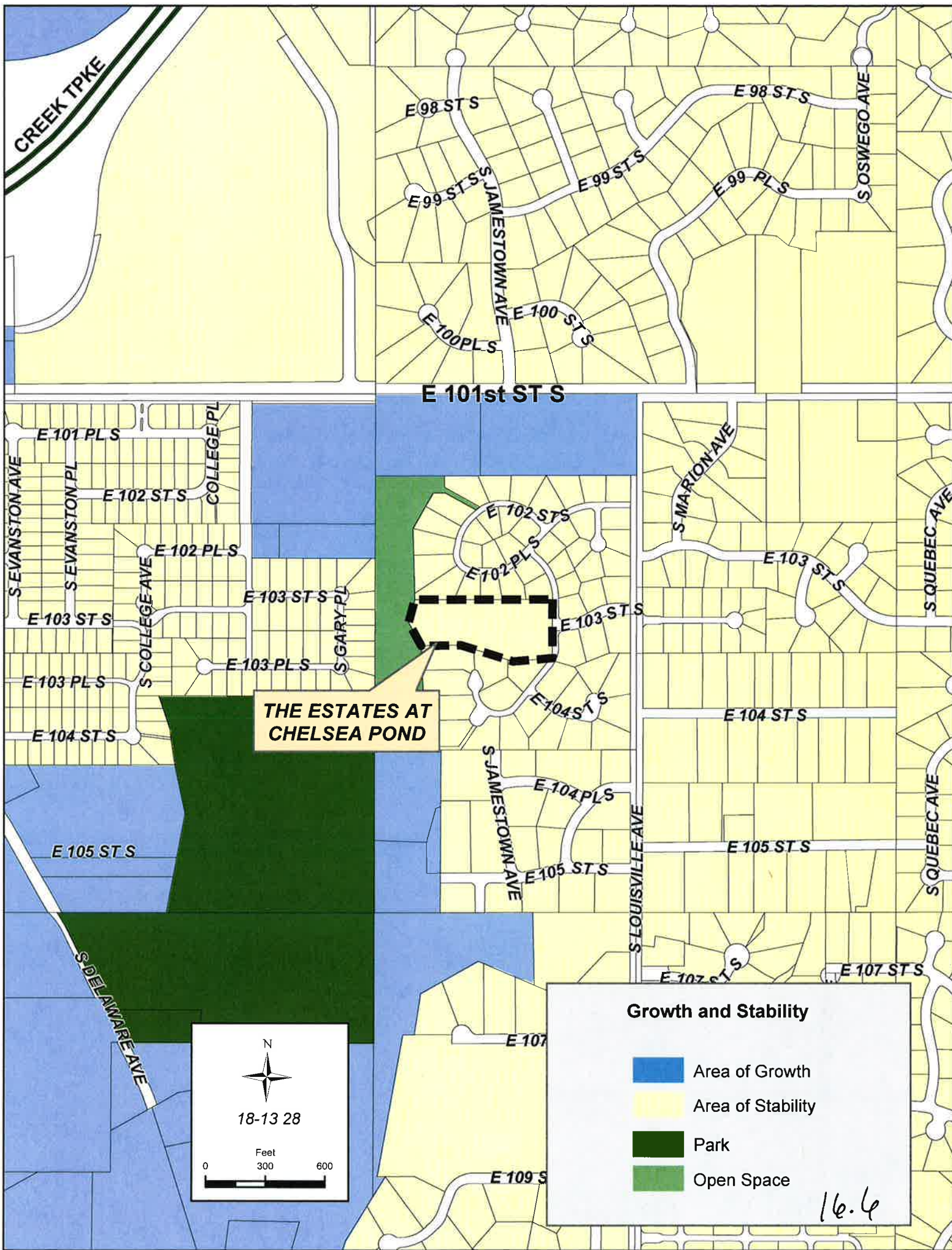
1. The concerns of the Development Services and Engineering Services staffs must be taken care of to their satisfaction.

**Standard Conditions:**

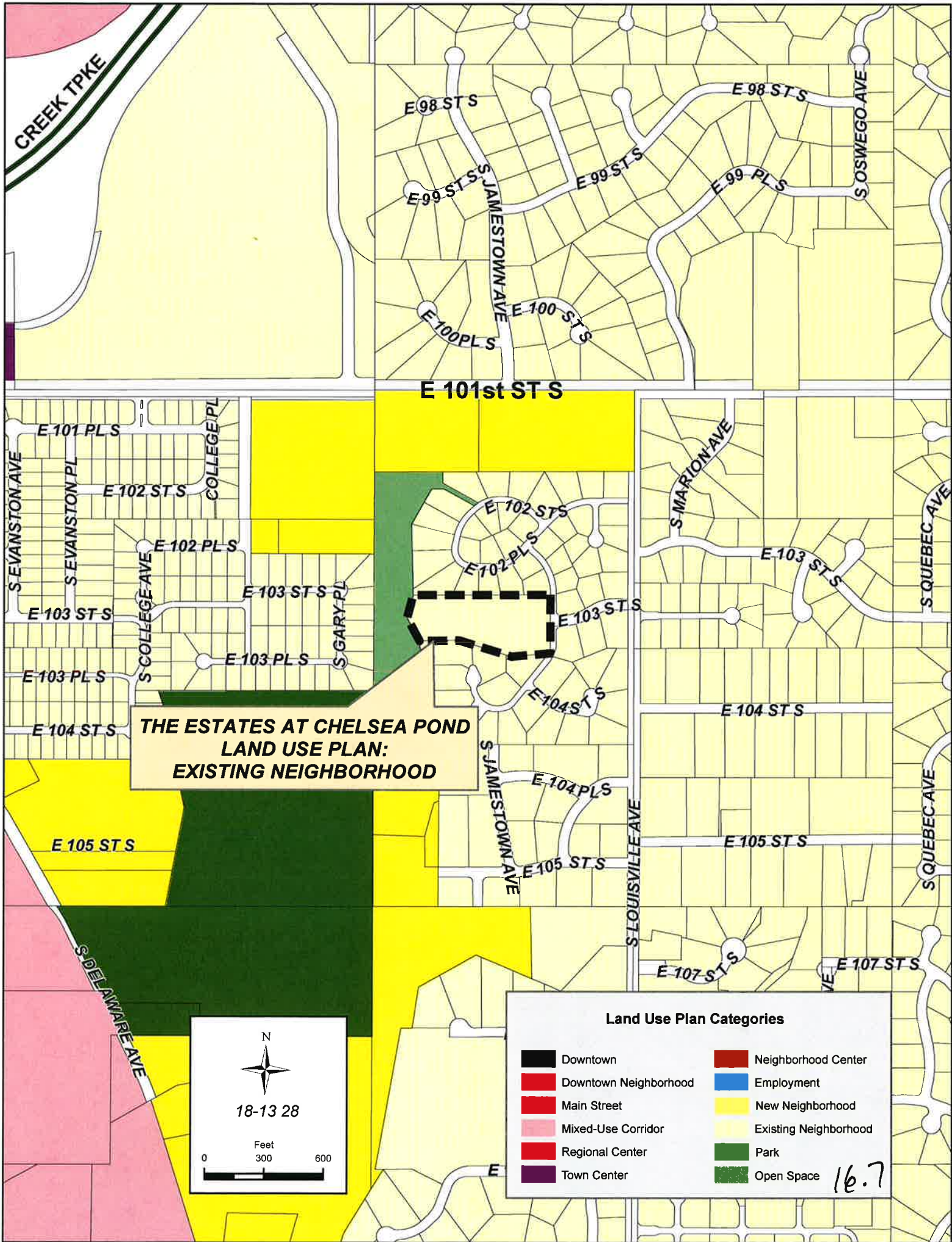
1. Utility easements shall meet the approval of the utilities. Coordinate with Subsurface Committee if underground plant is planned. Show additional easements as required. Existing easements shall be tied to or related to property line and/or lot lines.
2. Water and sanitary sewer plans shall be approved by the Public Works Department prior to release of final plat. (Include language for W/S facilities in covenants.)
3. Pavement or landscape repair within restricted water line, sewer line, or utility easements as a result of water or sewer line or other utility repairs due to breaks and failures shall be borne by the owner(s) of the lot(s).
4. Any request for creation of a Sewer Improvement District shall be submitted to the Public Works Department Engineer prior to release of final plat.
5. Paving and/or drainage plans (as required) shall be approved by the Public Works Department.
6. Any request for a Privately Financed Public Improvement (PFPI) shall be submitted to the Public Works Department.
7. A topography map shall be submitted for review by TAC (Subdivision Regulations). (Submit with drainage plans as directed.)
8. Street names shall be approved by the Public Works Department and shown on plat.
9. All curve data, including corner radii, shall be shown on final plat as applicable.
10. Bearings, or true N/S, etc., shall be shown on perimeter of land being

platted or other bearings as directed by the County Engineer.

11. All adjacent streets, intersections and/or widths thereof shall be shown on plat.
12. It is recommended that the developer coordinate with the Public Works Department during the early stages of street construction concerning the ordering, purchase and installation of street marker signs. (Advisory, not a condition for plat release.)
13. It is recommended that the applicant and/or his engineer or developer coordinate with the Tulsa City/County Health Department for solid waste disposal, particularly during the construction phase and/or clearing of the project. Burning of solid waste is prohibited.
14. The method of sewage disposal and plans therefor shall be approved by the City/County Health Department. [Percolation tests (if applicable) are required prior to preliminary approval of plat.]
15. The owner(s) shall provide the following information on sewage disposal system if it is to be privately operated on each lot: type, size and general location. (This information to be included in restrictive covenants on plat.)
16. The method of water supply and plans therefor shall be approved by the City/County Health Department.
17. All lots, streets, building lines, easements, etc., shall be completely dimensioned.
18. The key or location map shall be complete.
19. A Corporation Commission letter, Certificate of Non-Development, or other records as may be on file, shall be provided concerning any oil and/or gas wells before plat is released. (A building line shall be shown on plat on any wells not officially plugged. If plugged, provide plugging records.)
20. A "Letter of Assurance" regarding installation of improvements shall be provided prior to release of final plat. (Including documents required under 3.6.5 Subdivision Regulations.)
21. Applicant is advised of his responsibility to contact the U.S. Army Corps of Engineers regarding Section 404 of the Clean Waters Act.
22. All other Subdivision Regulations shall be met prior to release of final plat.
23. All PUD standards and conditions shall be included in the covenants of the plat and adequate mechanisms established to assure initial and continued compliance with the standards and conditions.
24. Private streets shall be built to City or County standards (depending upon the jurisdiction in which the plat is located) and inspected and accepted by same prior to issuance of any building permits in the subdivision.



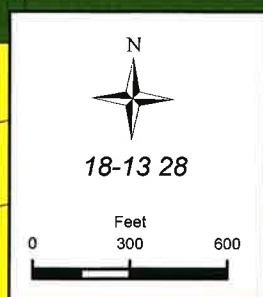




**THE ESTATES AT CHELSEA POND  
LAND USE PLAN:  
EXISTING NEIGHBORHOOD**

**Land Use Plan Categories**

- |                       |                       |
|-----------------------|-----------------------|
| Downtown              | Neighborhood Center   |
| Downtown Neighborhood | Employment            |
| Main Street           | New Neighborhood      |
| Mixed-Use Corridor    | Existing Neighborhood |
| Regional Center       | Park                  |
| Town Center           | Open Space            |



16.7

16.8

PUD 426

Preliminary Plat

# The Estates at Chelsea Pond

OWNER / DEVELOPER

Chelsea Pond Block 5, LLC  
4208 South 12th East Avenue  
Tulsa, Oklahoma 74125  
918.252.5000  
jared@normalassociates.com

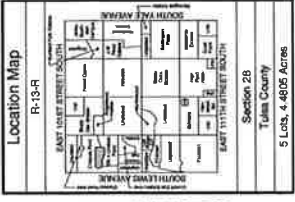
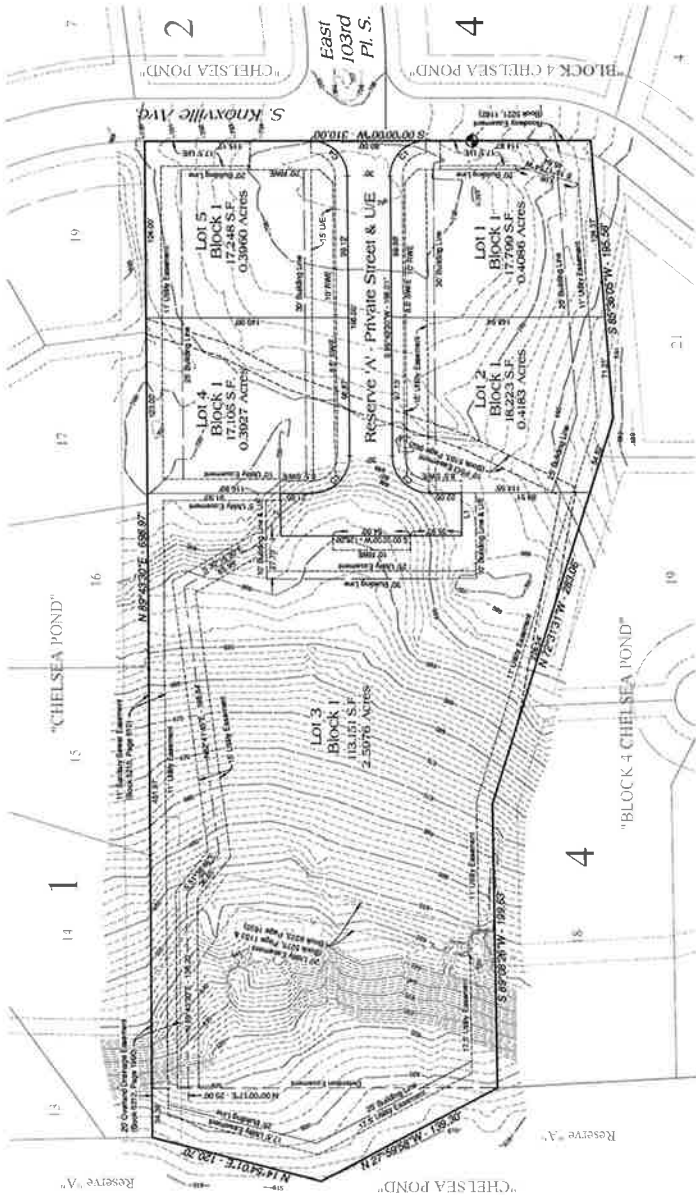
ENGINEER / SURVEYOR

Tulsa Engineering & Planning Associates, Inc.  
2000 South 10th East Avenue, Suite 302  
Tulsa, Oklahoma 74125  
918.252.5861  
tula@tulsaengineers.com  
CERTIFICATE OF PROFESSIONAL REGISTRATION  
NUMBER: 6412 - RENEWED: 08/01/2010

A re-plat of Lots 1 and 2, Block 5, Chelsea Pond, Plat No. 6352 being a subdivision in the City of Tulsa, being a part of the NW/4 of Section 28, Township 18 North, Range 13 East, of the Indian Meridian, Tulsa County, State of Oklahoma



Legend		USE	LINE
LINE	Boundary (Main Lot Element)	USE	Utility Easement
LINE	Boundary (Sublot Element)	USE	Sublot Element
Lot Address/Square Footage (S.F.)		Lot Address/Square Footage (S.F.)	
Lot 1	17,105 S.F.	Lot 2	17,105 S.F.
Lot 3	17,105 S.F.	Lot 4	17,105 S.F.
Lot 5	17,105 S.F.	Lot 6	17,105 S.F.
Lot 7	17,105 S.F.	Lot 8	17,105 S.F.
Lot 9	17,105 S.F.	Lot 10	17,105 S.F.
Lot 11	17,105 S.F.	Lot 12	17,105 S.F.
Lot 13	17,105 S.F.	Lot 14	17,105 S.F.
Lot 15	17,105 S.F.	Lot 16	17,105 S.F.
Lot 17	17,105 S.F.	Lot 18	17,105 S.F.
Lot 19	17,105 S.F.	Lot 20	17,105 S.F.
Lot 21	17,105 S.F.	Lot 22	17,105 S.F.
Lot 23	17,105 S.F.	Lot 24	17,105 S.F.
Lot 25	17,105 S.F.	Lot 26	17,105 S.F.
Lot 27	17,105 S.F.	Lot 28	17,105 S.F.
Lot 29	17,105 S.F.	Lot 30	17,105 S.F.
Lot 31	17,105 S.F.	Lot 32	17,105 S.F.
Lot 33	17,105 S.F.	Lot 34	17,105 S.F.
Lot 35	17,105 S.F.	Lot 36	17,105 S.F.
Lot 37	17,105 S.F.	Lot 38	17,105 S.F.
Lot 39	17,105 S.F.	Lot 40	17,105 S.F.
Lot 41	17,105 S.F.	Lot 42	17,105 S.F.
Lot 43	17,105 S.F.	Lot 44	17,105 S.F.
Lot 45	17,105 S.F.	Lot 46	17,105 S.F.
Lot 47	17,105 S.F.	Lot 48	17,105 S.F.
Lot 49	17,105 S.F.	Lot 50	17,105 S.F.
Lot 51	17,105 S.F.	Lot 52	17,105 S.F.
Lot 53	17,105 S.F.	Lot 54	17,105 S.F.
Lot 55	17,105 S.F.	Lot 56	17,105 S.F.
Lot 57	17,105 S.F.	Lot 58	17,105 S.F.
Lot 59	17,105 S.F.	Lot 60	17,105 S.F.
Lot 61	17,105 S.F.	Lot 62	17,105 S.F.
Lot 63	17,105 S.F.	Lot 64	17,105 S.F.
Lot 65	17,105 S.F.	Lot 66	17,105 S.F.
Lot 67	17,105 S.F.	Lot 68	17,105 S.F.
Lot 69	17,105 S.F.	Lot 70	17,105 S.F.
Lot 71	17,105 S.F.	Lot 72	17,105 S.F.
Lot 73	17,105 S.F.	Lot 74	17,105 S.F.
Lot 75	17,105 S.F.	Lot 76	17,105 S.F.
Lot 77	17,105 S.F.	Lot 78	17,105 S.F.
Lot 79	17,105 S.F.	Lot 80	17,105 S.F.
Lot 81	17,105 S.F.	Lot 82	17,105 S.F.
Lot 83	17,105 S.F.	Lot 84	17,105 S.F.
Lot 85	17,105 S.F.	Lot 86	17,105 S.F.
Lot 87	17,105 S.F.	Lot 88	17,105 S.F.
Lot 89	17,105 S.F.	Lot 90	17,105 S.F.
Lot 91	17,105 S.F.	Lot 92	17,105 S.F.
Lot 93	17,105 S.F.	Lot 94	17,105 S.F.
Lot 95	17,105 S.F.	Lot 96	17,105 S.F.
Lot 97	17,105 S.F.	Lot 98	17,105 S.F.
Lot 99	17,105 S.F.	Lot 100	17,105 S.F.



16.9





# 2014 SCHEDULE

## Tulsa Metropolitan Area Planning Commission (TMAPC)

Regular meetings of the TMAPC are held on the first and third Wednesday of each month at 1:30 p.m. in the One Technology Center, 175 E. 2<sup>nd</sup> Street, City Council Chambers, 2<sup>nd</sup> Level, Tulsa, Oklahoma.

Work sessions of the TMAPC are held, as necessary, on the third Wednesday of each month following regular TMAPC business in the One Technology Center, 175 E. 2<sup>nd</sup> Street, City Council Chambers, 2<sup>nd</sup> Level, Tulsa, Oklahoma.

**\*TMAPC Meetings for the months of January and July have been moved to the 2<sup>nd</sup> and 4<sup>th</sup> Wednesday at 1:30 p.m. in the One Technology Center, 175 E. 2<sup>nd</sup> Street, City Council Chambers, 2<sup>nd</sup> Level, Tulsa, Oklahoma due to the Holidays.**

<b>JANUARY</b> 8 <sup>th</sup> * 22 <sup>nd</sup> and work session*	<b>FEBRUARY</b> 5 <sup>th</sup> 19 <sup>th</sup> and work session	<b>MARCH</b> 5 <sup>th</sup> 19 <sup>th</sup> and work session
<b>APRIL</b> 2 <sup>nd</sup> 16 <sup>th</sup> and work session	<b>MAY</b> 7 <sup>th</sup> 21 <sup>st</sup> and work session	<b>JUNE</b> 4 <sup>th</sup> 18 <sup>th</sup> and work session
<b>JULY</b> 9 <sup>th</sup> * 23 <sup>rd</sup> and work session*	<b>AUGUST</b> 6 <sup>th</sup> 20 <sup>th</sup> and work session	<b>SEPTEMBER</b> 3 <sup>rd</sup> 17 <sup>th</sup> and work session
<b>OCTOBER</b> 1 <sup>st</sup> 15 <sup>th</sup> and work session	<b>NOVEMBER</b> 5 <sup>th</sup> 19 <sup>th</sup> meeting and work session	<b>DECEMBER</b> 3 <sup>rd</sup> 17 <sup>th</sup> meeting and work session

09-04-13

17.1





## RESOLUTION

### TULSA METROPOLITAN AREA PLANNING COMMISSION

**Resolution No.: 2657:910**

A RESOLUTION OF THE TULSA METROPOLITAN AREA PLANNING COMMISSION, ADOPTING AN AMENDED FEE SCHEDULE TO ESTABLISH NEW FEES AND REVISE EXISTING FEES IN THE CITY OF TULSA.

WHEREAS, the Tulsa Zoning Code (Title 42, Tulsa Revised Ordinances, Section 1703) provides for the establishment of filing and processing fees, the amount of which shall be established by Resolution adopted by the Tulsa Metropolitan Area Planning Commission and approved by the Tulsa City Council; and

WHEREAS, the Tulsa Metropolitan Area Planning Commission, after due study and deliberation did review and adopt on September 4, 2013, the schedule of fees attached hereto as Exhibit A.

NOW THEREFORE, BE IT RESOLVED, pursuant to the authorization set forth in the Tulsa Zoning Code (Title 42, Tulsa Revised Ordinances, Section 1703) that the schedule of fees as shown in Exhibit A, attached hereto and made a part hereof shall be paid by persons submitting the specified applications, and

BE IT FURTHER RESOLVED THAT this Resolution shall take effect immediately upon its adoption by the Tulsa Metropolitan Area Planning Commission and Tulsa City Council.

ADOPTED on this 4<sup>th</sup> day of September, 2013, by a majority of the full membership of the Tulsa Metropolitan Area Planning Commission, including its *ex officio* members.

---

Joshua Walker, Chairman  
Tulsa Metropolitan Area Planning Commission

ATTEST:

---

Michael Covey, Secretary  
Tulsa Metropolitan Area Planning Commission

STATE OF OKLAHOMA )  
 )  
COUNTY OF TULSA ) ss.

I, Joshua Walker, Chairman of the Tulsa Metropolitan Area Planning Commission, certify on this 4<sup>th</sup> day of September, 2013 that the foregoing Resolution was adopted, with a schedule of fees as shown in Exhibit A, by the Tulsa Metropolitan Area Planning Commission.

Subscribed and sworn to before me on this \_\_\_\_\_ day of \_\_\_\_\_ 2013.

My Commission Expires: \_\_\_\_\_

Commission No.: \_\_\_\_\_



## ATTACHMENT A

---

### New Fee

Demolition of Buildings in IDL (BOA)	\$500.00
Comprehensive Plan Amendment	\$200.00
+ newspaper notice fee	\$75.00
Form-Based Code Administrative Review	\$200.00
Maximum Application base fee	\$5,000.00
Minor Revision to Alternative Compliance Landscape Plan	\$50.00

### Revised Fees

Access point(s) changed on recorded plat	\$100.00
Extension of a preliminary or final plat	\$100.00
Appeal of Decision of Administrative Official (BOA)	\$250.00
BOA Agenda Fee (to place an item on agenda for which no fee is established)	\$50.00
Zoning Letter	\$50.00
Zoning Letter within a PUD or CO	\$75.00
TMAPC Agenda Fee (to place an item on agenda for which no fee is established)	\$50.00
PUD & CO Minor Revision to Detail Site Plan	\$50.00
PUD & CO Sign Plan – up to 2 signs	\$200.00
for each additional sign	\$25.00



## RESOLUTION

### TULSA METROPOLITAN AREA PLANNING COMMISSION

Resolution No.: 2657:911

A RESOLUTION OF THE TULSA METROPOLITAN AREA PLANNING COMMISSION, ADOPTING AN AMENDED FEE SCHEDULE TO ESTABLISH NEW FEES AND REVISE EXISTING FEES IN THE UNINCORPORATED AREAS OF TULSA COUNTY.

WHEREAS, the Tulsa County Zoning Code provides for the establishment of filing and processing fees, the amount of which shall be established by Resolution adopted by the Tulsa Metropolitan Area Planning Commission and approved by the Tulsa County Board of Commissioners; and

WHEREAS, the Tulsa Metropolitan Area Planning Commission, after due study and deliberation did review and adopt on September 4, 2013, the schedule of fees attached hereto as Exhibit A.

NOW THEREFORE, BE IT RESOLVED, pursuant to the authorization set forth in the Tulsa County Zoning Code that the schedule of fees as shown in Exhibit A, attached hereto and made a part hereof shall be paid by persons submitting the specified applications, and

BE IT FURTHER RESOLVED THAT this Resolution shall take effect immediately upon its adoption by the Tulsa Metropolitan Area Planning Commission and the Board of County Commissioners.

ADOPTED on this 4<sup>th</sup> day of September, 2013, by a majority of the full membership of the Tulsa Metropolitan Area Planning Commission, including its *ex officio* members.

---

Joshua Walker, Chairman  
Tulsa Metropolitan Area Planning Commission

ATTEST:

---

Michael Covey, Secretary  
Tulsa Metropolitan Area Planning Commission





## APPROVAL OF THE TULSA COUNTY BOARD OF COUNTY COMMISSIONERS

APPROVED by the Board of County Commissioners of Tulsa County, Oklahoma  
on this \_\_\_\_\_ day of \_\_\_\_\_ 2013.

Board of County Commissioners of  
Tulsa County, Oklahoma

Karen Keith, Chair

APPROVED AS TO FORM:

County Clerk

**ATTESTATION AND CERTIFICATION  
BOARD OF COUNTY COMMISSIONERS OF TULSA COUNTY**

STATE OF OKLAHOMA )  
 )  
 ) SS.  
COUNTY OF TULSA )

To The County Clerk of Tulsa County:

I, Karen Keith, Chair of Board of County Commissioners of Tulsa County, Oklahoma certify on this \_\_\_\_\_ day of \_\_\_\_\_ 2013 that the foregoing Resolution was approved, with a schedule of fees as shown in Exhibit A, by the Board of County Commissioners of Tulsa County.

Karen Keith  
Chair of Board of County Commissioners

Subscribed and sworn to before me on this                      day of                      2013.

Notary Public

My Commission Expires: \_\_\_\_\_

Commission No.: \_\_\_\_\_

## ATTACHMENT A

---

### New Fee

Maximum Application base fee	\$5,000.00
------------------------------	------------

### Revised Fees

Access point(s) changed on recorded plat	\$100.00
--	----------

Extension of a preliminary or final plat	\$100.00
--	----------

Appeal of Decision of Administrative Official (BOA)	\$250.00
--	----------

BOA Agenda Fee (to place an item on agenda for which no fee is established)	\$50.00
--	---------

Zoning Letter	\$50.00
---------------	---------

Zoning Letter within a PUD	\$75.00
----------------------------	---------

TMAPC Agenda Fee (to place an item on agenda for which no fee is established)	\$50.00
--	---------

PUD Minor Revision to Detail Site Plan	\$50.00
--	---------

PUD Sign Plan – up to 2 signs	\$200.00
for each additional sign	\$25.00