

**TULSA METROPOLITAN AREA PLANNING
COMMISSION**

Meeting No. 2683

October 1, 2014, 1:30 PM

**175 East 2nd Street, 2nd Level, One Technology Center
Tulsa City Council Chamber**

CONSIDER, DISCUSS AND/OR TAKE ACTION ON:

Call to Order:

REPORTS:

Chairman's Report:

Worksession Report:

Director's Report:

1. Minutes of September 17, 2014, Meeting No. 2682

CONSENT AGENDA:

All matters under "Consent" are considered by the Planning Commission to be routine and will be enacted by one motion. Any Planning Commission member may, however, remove an item by request.

2. **LC-611** (Lot-Combination) (CD-9) – Location: North and east of the northeast corner of East 41st Street South and South Utica Avenue
3. **LC-613** (Lot-Combination) (CD-1) – Location: North and east of the northeast corner of East 46th Street North and North Hartford Avenue
4. **LS-20722** (Lot-Split) (CD-4) – Location: East of the northeast corner of East 20th Street South and South Lewis Avenue (Related to LC-614)
5. **LC-614** (Lot-Combination) (CD-4) – Location: Northeast corner of East 20th Street South and South Lewis Avenue (Related to LS-20722)
6. **LS-20723** (Lot-Split) (County) – Location: South of the southwest corner of West 22nd Street South and South 65th West Avenue (Related to: LC-615)
7. **LC-615** (Lot-Combination) (County) – Location: Southwest corner of West 22nd Street South and South 65th West Avenue (Related to LS-20723)

8. **PUD-411-12 – Sack & Associates, Inc./Ted Sack**, Location: Southeast corner of East 98th Street South and South Memorial Drive, requesting a PUD Minor Amendment to reduce building setback line along centerline of South 98th Street East by four feet on the south side of street, **CO/PUD-411**, (CD-7)
9. **PUD-726-2 – Alan R. Staab**, Location: Northeast corner of East 118th Street South and South New Haven Avenue, requesting a PUD Minor Amendment to increase allowable coverage of front yard for off-street parking from 32% to 40.2%, **RS-2/PUD-726**, (CD-8)
10. **PUD-738-2 – Architects Collective/Mark Thomas**, Location: Southwest corner of West 71st Street South and South Elwood Avenue, requesting a PUD Minor Amendment to reallocate land area between Development Areas A & B and modify the maximum building areas, **CS/RM-0/RS-3/PUD-738**, (CD-2)
11. **PUD-405-23 – Chad Chastain**, Location: South of the southwest corner of East 91st Street and South Memorial Drive, requesting a PUD Minor Amendment to modify display, landscape and building finish requirements, **CS/PUD-405**, (CD-8)
12. **PUD-815 – Costco Wholesale/Michael Okuma**, Location: Northwest corner of East 103rd Street and South Memorial Drive, requesting a Detail Site Plan for a new retail building and gas station within the PUD, **CS/PUD-815**, (CD-8)
13. **PUD-761-B – Sisemore Weisz & Associates, Inc./Mark Capron**, Location: South of the southeast corner of East 41st Street South and South Harvard Avenue, requesting a Detail Site Plan for a new retail building within the PUD, **CS/PUD-761-B**, (CD-9)

CONSIDERATION OF ITEMS REMOVED FROM THE CONSENT AGENDA:

PUBLIC HEARINGS:

14. **LS-20724** (Lot-Split) (County) – Location: South of the southeast corner of East 191st Street South and South Harvard Avenue
15. **LS-20726** (Lot-Split) (County) – Location: Northwest corner of West 51st Street South and South 229th West Avenue
16. **Battle Creek Park** – Preliminary Plat, Location: South of East 31st Street South, east of South 145th East Avenue, (CD-6)
17. **PUD-819 – AAB Engineering, LLC/Alan Betchan**, Location: Northeast corner of East 11th Street and South Garnett Road, Requesting a PUD for an existing hotel structure and new convenience store with integrated sign and landscape standards including shared access for a lot with no frontage on a public street, from **CS to CS/PUD-819**, (CD-3)
18. **1100 Garnett Center** – Preliminary Plat, Location: East of northeast corner of East 11th Street South and South Garnett Road East, Related to PUD-819 (CD-3)

19. **Z-7270 – 120 Development Group, LLC**, Location: Northwest corner of West Haskell Place and North Cheyenne Avenue, Requesting rezoning from **RS-4 to RM-2**, (CD-1) **(Applicant is requesting a continuance to 10/15/14 in order to be heard with accompanying PUD.)**
20. **Z-7280 – Milton Berry**, Location: South of southwest corner of South Mingo Road and East 51st Street, Requesting a rezoning from **CS to IL**, (CD-7)
21. **Z-7281 – Nancy Carter**, Location: Multiple properties between East 15th Street and East 12th Street, also between South 169th East Avenue and South 177th East Avenue, Requesting rezoning from **RS-1 to AG**, (CD-6)

OTHER BUSINESS

22. **LC-612 – Wallace Engineering/Jim Beach**, Refund request for \$100 – Applicant withdrew application before processing.
23. **Commissioners' Comments**

ADJOURN

CD = Council District

NOTE: If you require special accommodation pursuant to the Americans with Disabilities Act, please notify INCOG (918) 584-7526. Exhibits, Petitions, Pictures, etc., presented to the Planning Commission may be received and deposited in case files to be maintained at Land Development Services, INCOG. Ringing/sound on all cell phones and paggers must be turned off during the Planning Commission.

Visit our website at www.tmapc.org

TMAPC Mission Statement: The Mission of the Tulsa Metropolitan Area Planning Commission (TMAPC) is to provide unbiased advice to the City Council and the County Commissioners on development and zoning matters, to provide a public forum that fosters public participation and transparency in land development and planning, to adopt and maintain a comprehensive plan for the metropolitan area, and to provide other planning, zoning and land division services that promote the harmonious development of the Tulsa Metropolitan Area and enhance and preserve the quality of life for the region's current and future residents.



Case #: PUD-411-12
Minor Amendment

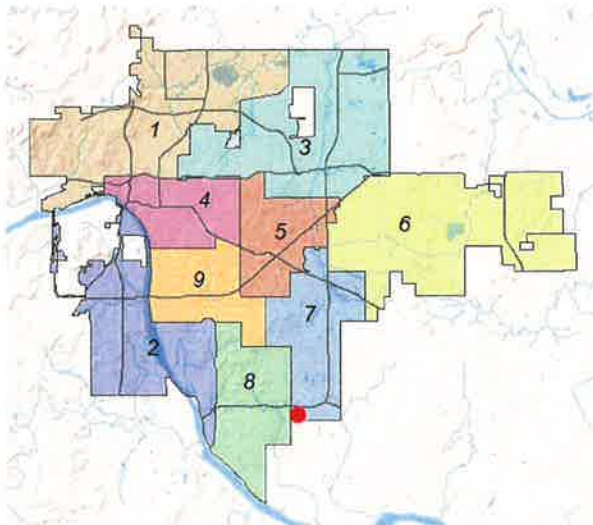
Hearing Date: October 1, 2014

Case Report Prepared by:
 Jay Hoyt

Owner and Applicant Information:
 Applicant: Sack and Associates, Inc. / Ted Sack

Property Owner: Jim Norton, General Partner

Location Map:
 (shown with City Council Districts)



Applicant Proposal:

Concept summary: PUD minor amendment to reduce building setback line along centerline of South 98th Street East by 4 ft on the South side of street.

Gross Land Area: 10.6 Acres

Location: SE Corner of East 98th Street South and South Memorial Drive

Lot 1, Block 1, Jim Norton Center and Lot 1, Block 1, Jim Norton Center II

9809 South Memorial Drive

Zoning:
 Existing Zoning: CO/PUD-411
 Proposed Zoning: No Change

Comprehensive Plan:
 Land Use Map: Regional Center
 Growth and Stability Map: Growth

Staff Recommendation:
 Staff recommends **approval**.

Staff Data:
 TRS: 18-13-24
 CZM: 57 Atlas: 1273

City Council District: 7
Councilor Name: Arianna Moore
County Commission District: 3
Commissioner Name: Ron Peters

8.1

October 1, 2014

SECTION I: PUD-411-12 Minor Amendment

STAFF RECOMMENDATION

Amendment Request: Modify the PUD to reduce building setback line along centerline of South 98th Street East by 4 ft on the South side of street.

Current Development Standards require a 90 ft setback from the centerline of East 98th Street South. The applicant proposes to reduce this by 4 ft to 86 ft.

Staff Comment: *This request can be considered a Minor Amendment as outlined by Section 1107.H.9 PUD Section of the City of Tulsa Zoning Code.*

"Changes in structure heights, building setbacks, yards, open spaces, building coverage and lot widths or frontages, provided the approved Development Plan, the approved PUD standards and the character of the development are not substantially altered."

Staff has reviewed the request and determined:

- 1) The requested amendment does not represent a significant departure from the approved development standards in the PUD.
- 2) All remaining development standards defined in PUD-411 shall remain in effect.

Exhibits included with staff recommendation:

INCOG zoning case map
INCOG aerial photo
Applicant Legal Description
Applicant Site Plan

With considerations listed above, staff recommends **approval** of the minor amendment request to reduce building setback line along centerline of South 98th Street East by 4 ft on the South side of street.

8.2



Feet
0 200 400

8.3

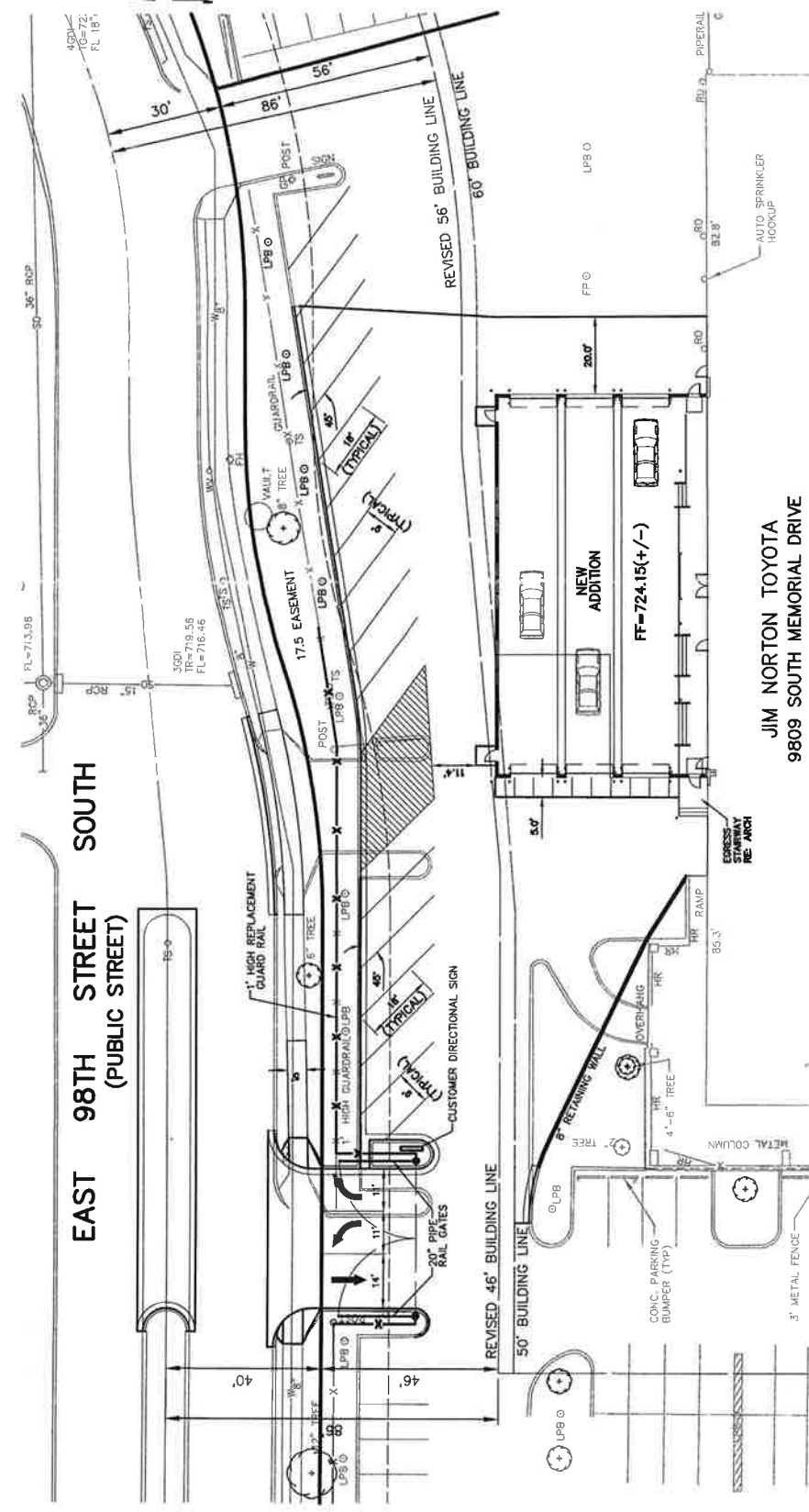


LEGAL DESCRIPTION

LOT ONE (1), BLOCK ONE (1), JIM NORTON CENTER, A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER (SW/4) OF SECTION TWENTY-FOUR (24), TOWNSHIP EIGHTEEN (18) NORTH, RANGE THIRTEEN (13) EAST, CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF.

AND

LOT ONE (1), BLOCK ONE (1), JIM NORTON CENTER II, A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER (SW/4) OF SECTION TWENTY-FOUR (24), TOWNSHIP EIGHTEEN (18) NORTH, RANGE THIRTEEN (13) EAST, CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF.



**BUILDING SETBACK
REVISION (86') EXHIBIT**



SCALE IN FEET

SCALE IN FEET
SACK AND ASSOCIATES, INC.
3530 East 31st Street South, Suite A, Tulsa, Oklahoma 74130-1519
Ph: 918.592.4229 E-mail: info@sackandassociates.com
Fax: 918.592.4111 CA Number: 1763 (06/03)

Project: JIM NORTON CENTER II-A Drawing: EXHIBITSMREF: COPYRITE S-117X T-CIVIL T-SAI2
Drawn: LMR Order: D200C File: 1813.24 Drawn: C Plotted: 09 SEP 2014



Case #: PUD-726-2
Minor Amendment

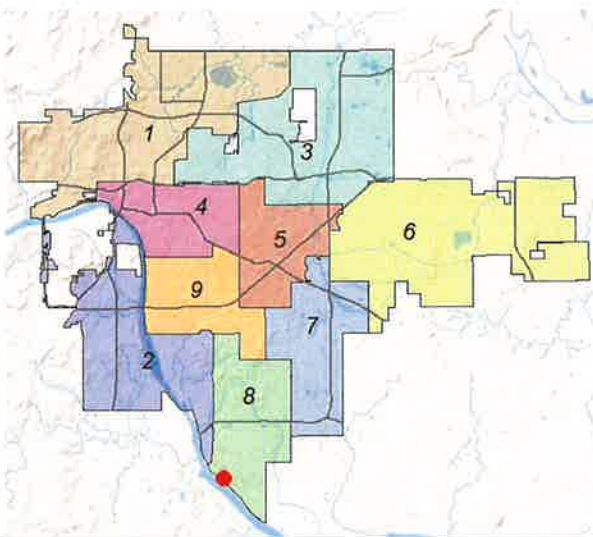
Hearing Date: October 1, 2014

Case Report Prepared by:
 Jay Hoyt

Owner and Applicant Information:
 Applicant: Alan R. Staab

Property Owner: Scissortail Tulsa One, LLC

Location Map:
 (shown with City Council Districts)



Applicant Proposal:

Concept summary: PUD minor amendment to increase allowable coverage of front yard for off street parking from 32% to 40.2%

Gross Land Area: 0.23 Acres

Location: NE Corner of East 118th Street
 South and South New Haven Avenue

Lot 11, Block 5 Scissortail at Wind River

Zoning:
 Existing Zoning: RS-2/PUD-726
 Proposed Zoning: No Change

Staff Recommendation:
 Staff recommends **approval**.

Comprehensive Plan:
 Land Use Map: Existing Neighborhood
 Growth and Stability Map: Stability

Staff Data:
 TRS: 8333
 CZM: 56 Atlas: 0

City Council District: 8
Councilor Name: Phil Lakin

County Commission District: 3
Commissioner Name: Ron Peters

October 1, 2014

SECTION I: PUD-726-2 Minor Amendment

STAFF RECOMMENDATION

Amendment Request: Modify the PUD to increase allowable coverage of front yard for off street parking for Lot 11, Block 5 from 32% to 40.2%.

Staff Comment: *This request can be considered a Minor Amendment as outlined by Section 1107.H.9 PUD Section of the City of Tulsa Zoning Code.*

"Changes in structure heights, building setbacks, yards, open spaces, building coverage and lot widths or frontages, provided the approved Development Plan, the approved PUD standards and the character of the development are not substantially altered."

Staff has reviewed the request and determined:

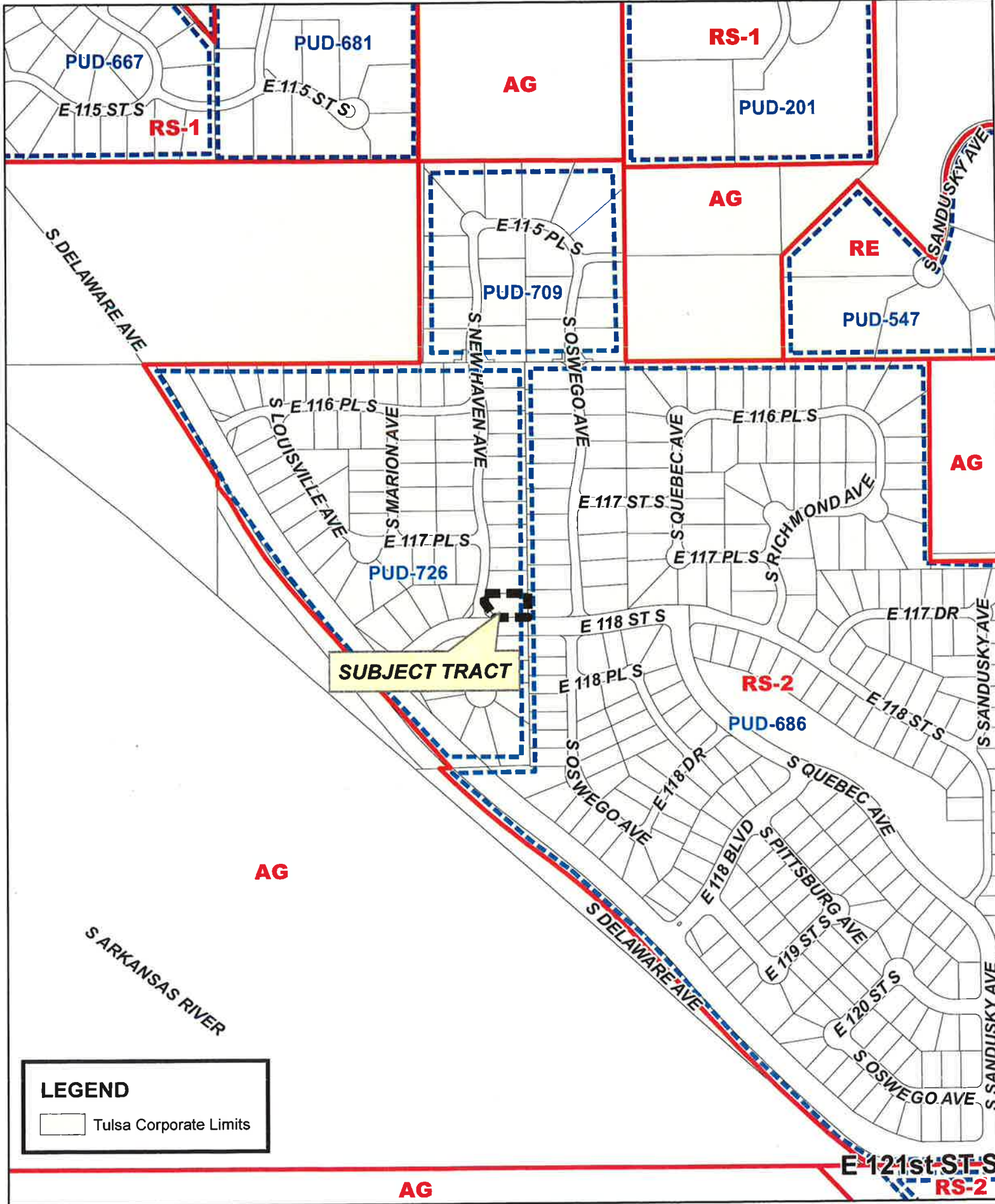
- 1) The requested amendment does not represent a significant departure from the approved development standards in the PUD.
- 2) All remaining development standards defined in PUD-726 shall remain in effect.

Exhibits included with staff recommendation:

INCOG zoning case map
INCOG aerial photo
INCOG aerial photo (enlarged)
Applicant Site Plan with Front Yard Calculations
Applicant Site Plan with Coverage Calculations
Applicant Floor Plan

With considerations listed above, staff recommends **approval** of the minor amendment request to increase allowable coverage of front yard for off street parking for Lot 11, Block 5 from 32% to 40.2%.

9.2



18-13 33

9.3





Aerial Photo Date: March 2014

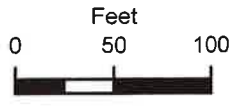
PUD-726-2

18-13 33

Note: Graphic overlays may not precisely align with physical features on the ground.

9.4





Aerial Photo Date: March 2014

PUD-726-2

18-13 33

Note: Graphic overlays may not precisely align with physical features on the ground.

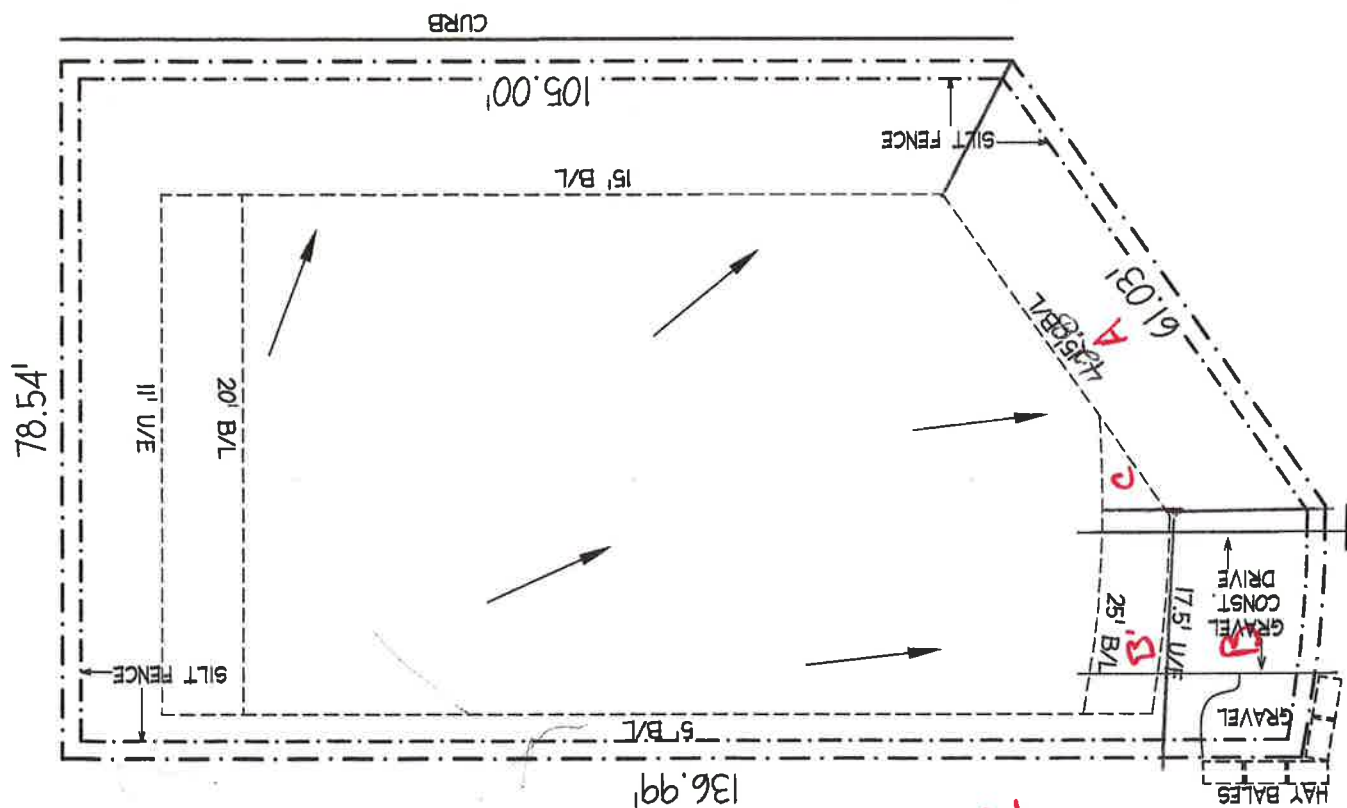
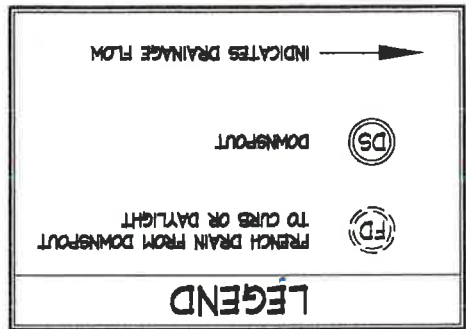
9.5





FIELD VERIFY
LOCATION OF HOUSE
SCALE = 1"=20'

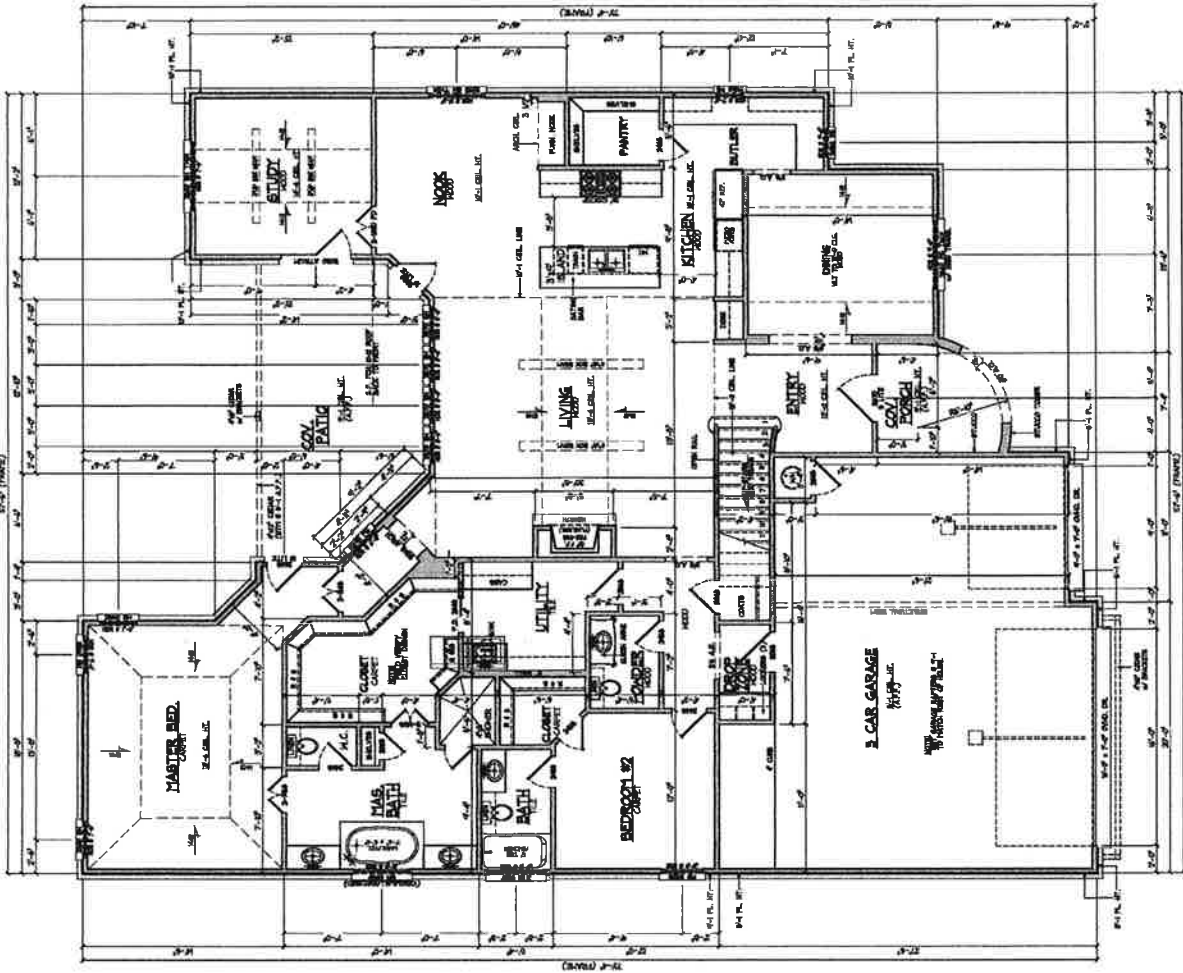
Client: Eagle Rock Builders
Project: 140303 - Erosion Control Plan
Legal Description: LOT II, BLOCK 9, SCORPION AT WIND RIVER, AN ADDITION TO THE CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA
1779 S. NEW HAVEN AVE



Area A ~ 780 ft²
Area B ~ 750 ft²
Area C ~ 50 ft²

Total 1580 ft²

8.6



NOTE
9'-1" CLG. HT. LOWER LEVEL UNLESS NOTED.

A Lower Level Floor Plan

A1

DATE: 5/10/2014

| | |
|--------------|-------|
| Project Name | 2.000 |
| Sheet | 1.000 |
| Total Sheets | 2.000 |

Project: 1010
Location: LOT 1, BLOCK 5, SUBDIVISION, AT HEND RIVER
Project Name

EagleRock Builders

CONTRACT & DESIGN GROUP
RESIDENTIAL DESIGN GROUP
DESIGN GROVE
BAINBRIDGE



Case #: PUD-738-2
Minor Amendment

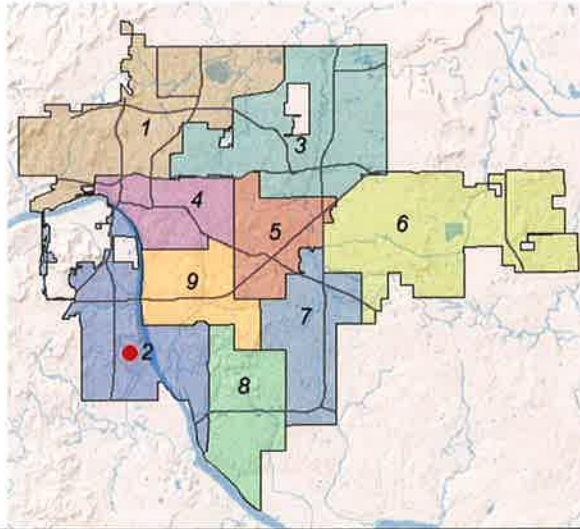
Hearing Date: October 1, 2014

Case Report Prepared by:
 Jay Hoyt

Owner and Applicant Information:
 Applicant: Architects Collective – Mark Thomas

Property Owner: Ting Financial Group, LLC

Location Map:
 (shown with City Council Districts)



Applicant Proposal:

Concept summary: PUD minor amendment to reallocate land area between Development Areas A & B and modify the maximum building areas.

Gross Land Area: 39.19 Acres

Location: SW Corner of West 71st Street South and South Elwood Avenue

Zoning:
 Existing Zoning: CS/RM-0/RS-3/PUD-738
 Proposed Zoning: No Change

Staff Recommendation:
 Staff recommends **approval**.

Comprehensive Plan:
 Land Use Map: Town Center
 Growth and Stability Map: Growth

Staff Data:
 TRS: 8211
 CZM: 51 Atlas: 0

City Council District: 2
Councilor Name: Jeannie Cue

County Commission District: 2
Commissioner Name: Karen Keith

October 1, 2014

10.1

SECTION I: PUD-738-2 Minor Amendment

STAFF RECOMMENDATION:

Amendment Request: Modify the PUD to reallocate land area between Development Areas A & B, modify the maximum building areas in A & B and decrease dwelling units allowed in B.

Staff Comment: *This request can be considered a Minor Amendment as outlined by Section 1107.H.9 PUD Section of the City of Tulsa Zoning Code.*

"Changes in structure heights, building setbacks, yards, open spaces, building coverage and lot widths or frontages, provided the approved Development Plan, the approved PUD standards and the character of the development are not substantially altered."

As well as Section 1107.H.1:

"Adjustment of internal development area boundaries, provided the allocation of land to particular uses and the relationship of uses within the project are not substantially altered."

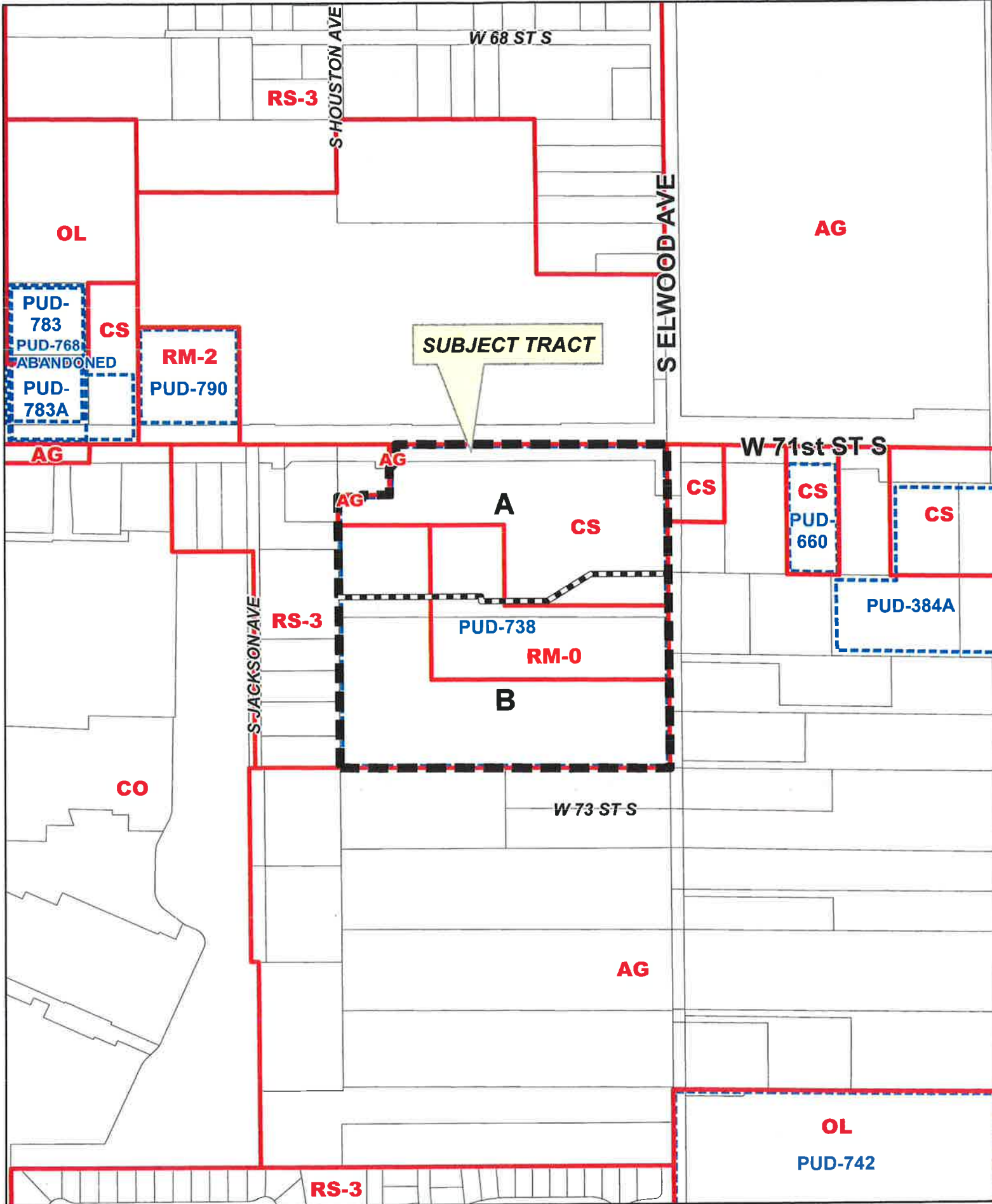
Staff has reviewed the request and determined:

- 1) The requested amendment does not represent a significant departure from the approved development standards in the PUD.
- 2) All remaining development standards defined in PUD-738 shall remain in effect.

Exhibits included with staff recommendation:

INCOG zoning case map
INCOG aerial photo
Applicant Exhibit A
Applicant Exhibit B
Applicant Exhibit C

With considerations listed above, staff recommends **approval** of the minor amendment request to reallocate land area between Development Areas A & B, modify the maximum building areas in A & B and decrease dwelling units allowed in B.



PUD-738-2

18-12 11

10.3





0 250 500
Feet

Aerial Photo Date: March 2014

PUD-738-2

18-12 11

Note: Graphic overlays may not precisely align with physical features on the ground.

10.4



EXHIBIT A

Page 1 of 3

PUD 738-1

| DEVELOPMENT AREA | GROSS | NET |
|------------------|---------------------------------|---------------------------------|
| "A" | 17.0238 Acres 741,555 s.f. | 14.7462 Acres 642,343 s.f. |
| "B" | 22.1697 Acres 965,714 s.f. | 21.2626 Acres 926,199 s.f. |
| Total: | 39.1935 Acres 1,707,291 s.f. | 36.0088 Acres 1,568,533 s.f. |

PUD 738-2

| DEVELOPMENT AREA | GROSS | NET |
|------------------|----------------------------------|---------------------------------|
| "A" | 17.1545 Acres 747,264.29 s.f. | 14.877 Acres 648,031 s.f. |
| "B" | 22.039 Acres 960,025 s.f. | 21.132 Acres 920,509 s.f. |
| Total: | 39.1935 Acres 1,707,291 s.f. | 36.0088 Acres 1,568,533 s.f. |

10.5

Exhibit A

Page 2 of 3

**LEGAL DESCRIPTION
Development Area A**

A tract of land that is part of the NE/4 of the NE/4 of Section 11, T-18-N, R-12-E of the Indian Base and Meridian, City of Tulsa, Tulsa County, Oklahoma, Said tract of land being more particularly described as follows, to-wit:

"Beginning at a point" that is the northeast corner of the NE/4 of said Section 11; thence S 0°09'38" E along the easterly line of the NE/4 for 530.00 feet; thence N 89°40'16" W and parallel with the northerly line of the NE/4 for 314.41 feet; thence S 57°43'22" W for 204.16 feet; thence N 89°40'16" W for 268.73 feet; thence N 00°19'44" E for 20.00 feet; thence N 89°40'16" W and parallel with said northerly line for 572.24 feet to a point on the westerly line of the NE/4 of the NE/4; thence N 00°07'53" W along said westerly line for 401.26 feet; thence S 89°40'16" E and parallel with the northerly line of the NE/4 for 96.60 feet; thence N 00°07'53" W and parallel with the westerly line of the NE/4 of the NE/4 for 10.00 feet; thence S 89°40'16" E and parallel with said northerly line for 112.15 feet; thence N 00°07'53" W and parallel with said westerly line for 108.75 feet; thence N 45°05'52" E for 42.26 feet to a point on the southerly right-of-way line of East 71st Street South; thence N 00°19'44" E for 70.00 feet to a point on the northerly line of the NE/4; thence S 89°40'16" E along said northerly line for 1088.50 feet to the "Point of Beginning" of said tract of land, and containing 17.1545 acres, more or less.

Exhibit A

Page 3 of 3

**LEGAL DESCRIPTION
Development Area B**

A tract of land located in the Northeast Quarter (NE/4) of Section Eleven (11) of Township Eighteen (18) North and Range Twelve (12) East of the Indian Base and Meridian (I.B.&M.), according to the U.S. Government Survey, thereof, Tulsa County, State of Oklahoma, being more particularly described as follows:

Commencing at the NE corner of the NE/4 of Sec. 11, T-18-N, R-12-E, I.B.&M.; Thence S 0°09'38" E along the east line of said NE/4 a distance of 530.00 feet to the Point of Beginning; Thence S 00°09'38" E a distance of 790.31 feet to the SE corner of the NE/4 of said NE/4; Thence N 89°43'39" W a distance of 1328.48 feet to the SW corner of said NE/4 NE/4; Thence N 00°07'53" W along the west line of said NE/4 NE/4 a distance of 701.60 feet; Thence S 89°40'16" E a distance of 572.24 feet; Thence S 00°19'44" W a distance of 20.00 feet; Thence S 89°40'16" E a distance of 268.73 feet; Thence N 57°43'22" E a distance of 204.16 feet; Thence S 89°40'16" E a distance of 314.41 feet to the Point of Beginning, and containing 22.039 acres, more or less.

Basis of bearing is from the Corrected Trustee's Deed Doc. No. 2008011053 Tulsa County, State of Oklahoma.



4200 E. Skelly Dr. Suite 750
Tulsa, OK 74135
Phone: 918-492-2987
Fax: 918-493-6149

Exhibit B

Minor Amendment to 7100 Elwood Center PUD 738-1 September 10, 2014

The Owner of the property requests a Minor Amendment to PUD 738-1. Due to the requirements of a proposed Commercial Development in Development Area A, the maximum areas are being reallocated between Development Areas A and B, and the following Amendment to the PUD is requested:

Development Area "A"

Land Area (Net)

Increase the Development Area from
acres.

14.746 acres to 14.877

Development Area "B"

Land Area (Net)

Decrease the Development Area from

21.2626 acres to 21.132

Analysis of Development Area Modifications

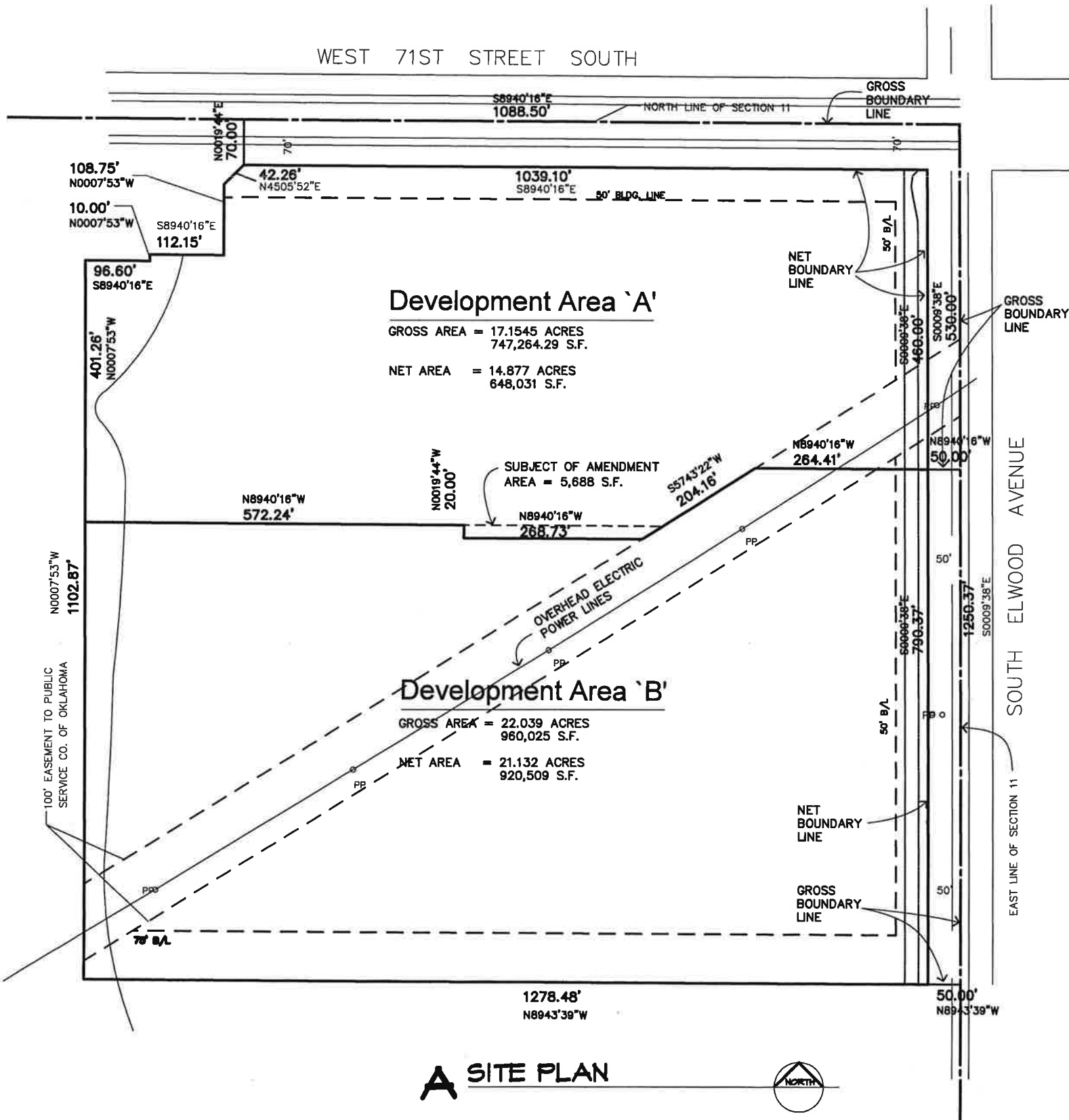
| | <u>Current Area</u> | <u>Proposed Area</u> | <u>% Increase/Reduction</u> |
|----------------------|----------------------|----------------------|-----------------------------|
| Development Area "A" | 14.746 acres | 14.877 acres | 100.89% |
| Development Area "B" | <u>21.2626 acres</u> | <u>21.132 acres</u> | <u>99.38%</u> |
| Total | 36.01 acres | 36.01 acres | |

| | <u>Current Max Building Area</u> | <u>Proposed Max Building Area</u> |
|----------------------|----------------------------------|-----------------------------------|
| Development Area "A" | 214,608 s.f. | 216,518 = (214,608 x 100.89%) |
| Development Area "B" | 14,220 s.f. (office) | 14,131 = (14,220 x 99.38%) |

| | <u>Current Max Dwelling Units</u> | <u>Proposed Max Dwelling Units</u> |
|----------------------|-----------------------------------|------------------------------------|
| Development Area "B" | 344 Units | 342 Units = (344 x 99.38%) |

10.8

EXHIBIT C





Case #: PUD-405-23
Minor Amendment

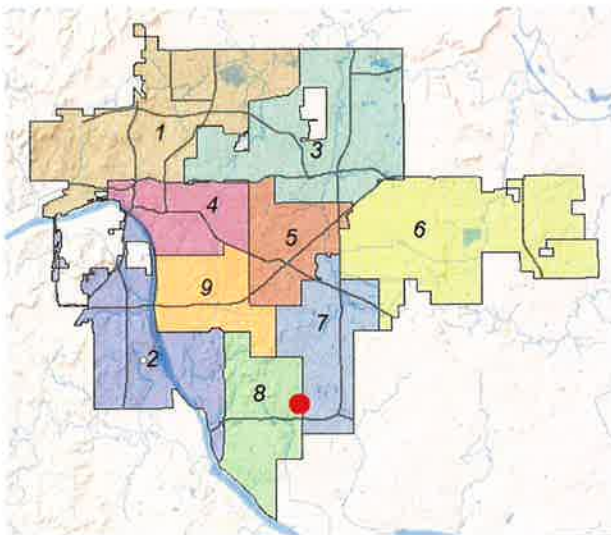
Hearing Date: October 1, 2014

Case Report Prepared by:
 Jay Hoyt

Owner and Applicant Information:
 Applicant: Chad Chastain

Property Owner: Robert E .Howard II
 (REHCO East, LLC)

Location Map:
 (shown with City Council Districts)



Applicant Proposal:

Concept summary: PUD minor amendment to modify display, landscape and building finish requirements

Gross Land Area: 2.6 Acres

Location: South of the SW Corner of East 91st Street and South Memorial Drive

9100 South Memorial Drive

Lots 1, 2 and 4, 9100 Memorial

Zoning:
 Existing Zoning: CS/PUD-405
 Proposed Zoning: No Change

Staff Recommendation:
 Staff recommends **approval**.

Comprehensive Plan:
 Land Use Map: Town Center
 Growth and Stability Map: Growth

Staff Data:
 TRS: 18-13-23
 CZM: 57
 Atlas: 1905

City Council District: 8
Councilor Name: Phil Lakin

County Commission District: 3
Commissioner Name: Ron Peters

11.1

October 1, 2014

SECTION I: PUD-405-23 Minor Amendment

STAFF RECOMMENDATION

Amendment Request: Modify the PUD Development Standards for Lots 1, 2 and 4, to reduce the setback from 40 ft to 10 ft for display of merchandise, modify the requirement of the number of automobiles allowed on display between the front and side lot lines, modify the landscape requirements and to modify the exterior finish material restrictions.

Staff Comment: *This request can be considered a Minor Amendment as outlined by Section 1107.H.9 PUD Section of the City of Tulsa Zoning Code.*

"Changes in structure heights, building setbacks, yards, open spaces, building coverage and lot widths or frontages, provided the approved Development Plan, the approved PUD standards and the character of the development are not substantially altered."

Staff has reviewed the request and determined:

- 1) The requested amendment does not represent a significant departure from the approved development standards in the PUD.
- 2) All remaining development standards defined in PUD-405 and subsequent amendments shall remain in effect.

Exhibits included with staff recommendation:

INCOG zoning case map
INCOG aerial photo
Applicant Proposed Development Standards
Applicant Site Plan
Applicant Landscape Plan
Applicant Exterior Elevations

With considerations listed above, staff recommends **approval** of the minor amendment request for Lots 1, 2 and 4 to reduce the setback from 40 ft to 10 ft for display of merchandise, modify the requirement of the number of automobiles allowed on display between the front and side lot lines, modify the landscape requirements and to modify the exterior finish material restrictions.

11.2



18-13 23

11.3





PUD Minor Amendment

**PUD - 405 9100 Memorial (Block 2; Lots 1, 2 & 4), Portion of Area 1-A
South Pointe Honda – 9100 S. Memorial Dr.**

REVISED DEVELOPMENT STANDARDS:

Maximum Number of Autos to
Be Displayed Between a Front or
Side Building Line and a Public
Street (Arterial) R/W:

Number of Auto display between Front or Side
building line and Arterial R/W is not limited.
Maximum of 10 continuous parking spaces within
each parking row, to be separated by a minimum 7'
wide landscape island, as shown on the attached
Conceptual Site Plan exhibit. Display pads
removed.

Minimum distance from
(Arterial) R/W for auto display

10' Minimum setback from R/W

Landscape Requirements:

10' Minimum Landscape Strip from R/W
Replacing required Street Trees with a tiered,
layered streetscape consisting of trees, shrubs and
perennials along the Arterial R/W 10' street yard.
Maximum of 10 continuous parking spaces within
each parking row, to be separated by a minimum 7'
wide landscape island, as shown on the attached
Conceptual Landscape Plan exhibit.

General Restrictions and
Design Controls:

- A. All building exteriors shall be concrete, masonry, or EIFS (Exterior Insulation Finishing System) systems. Exteriors may include ACM (Aluminum Composite Metal) panels for the franchise branded elements.

11.5

Maximum Lot Coverage by Buildings per PUD-405 (.17 FAR/20% coverage)

Proposed lot coverage by Buildings:

| | | |
|--|-----------------------|-----------------------|
| Lot 1: | Bldg Area = 0 SF | Lot Area = 93,803 SF |
| Lot 2: | Bldg Area = 16,407 SF | Lot Area = 112,068 SF |
| Lot 4: | Bldg Area = 29,638 SF | Lot Area = 114,914 SF |
| Net Area: 46,045 SF/320,785 SF = .14 FAR | | |

Minimum Landscape Area per PUD-405 (15% Required)

Proposed Landscape Areas:

| | | |
|---|----------------------------|-----------------------|
| Lot 1: | Landscape Area = 24,098 SF | Lot Area = 93,803 SF |
| Lot 2: | Landscape Area = 13,530 SF | Lot Area = 112,068 SF |
| Lot 4: | Landscape Area = 29,683 SF | Lot Area = 114,914 SF |
| Net Area: 67,311 SF/320,785 SF = 21% Landscape Area | | |

11.7



Case #: PUD-815
Detail Site Plan

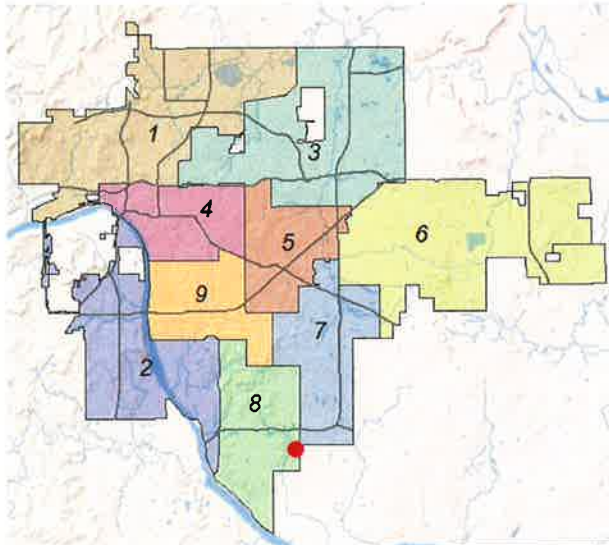
Hearing Date: October 1, 2014

Case Report Prepared by:
 Jay Hoyt

Owner and Applicant Information:
 Applicant: Costco Wholesale/ Michael Okuma

Property Owner: William E. Warren Foundation/ Thomas E. Cooper

Location Map:
 (shown with City Council Districts)



Applicant Proposal:

Detailed Site Plan:
 Plan represents details for a new Retail Building and Gas Station within the PUD.

Gross Land Area: 18.18 acres

Location: Northwest corner of E. 103rd St. & S. Memorial Dr.

Zoning:
 Existing Zoning: CS/PUD-815
 Proposed Zoning: No Change

Comprehensive Plan:
 Land Use Map: Regional Center
 Growth and Stability Map: Growth

Staff Recommendation:
 Staff recommends **approval**.

Staff Data:
 TRS: 8326
 CZM: 57
 Atlas: 2468

City Council District: 8
 Councilor Name: Phil Lakin

County Commission District: 3
 Commissioner Name: Ron Peters

12.1

October 1, 2014

SECTION I: PUD-815 Detailed Site Plan

STAFF RECOMMENDATION

CONCEPT STATEMENT:

The applicant is requesting detail site plan approval on an 18.18 Acre site in a Planned Unit Development for a new Retail Building including one, one story building and one Gas Station.

PERMITTED USES:

Use Unit 11 - Offices studio and Support Services: Offices, studios, medical and certain other compatible or supporting services. Unit 13 - Convenience Goods and Services: Retail trade and service establishments. Unit 14 - Shopping Goods and Services- Retail establishments engaged in the merchandising of shopping goods and services. The proposed Retail Building and Gas Station are allowed as a matter of right.

DIMENSIONAL REQUIREMENTS:

The submitted site plan meets all applicable building height, floor area, density, open space, and setback limitations. No modifications of the previously approved Planned Unit Development are required for approval of this site plan.

ARCHITECTURAL GUIDELINES:

The new building meets all applicable architectural guidelines in the Planned Unit Development.

OFF-STREET PARKING AND VEHICULAR CIRCULATION:

The site plan meets the minimum parking defined in the Tulsa Zoning Code and the Planned Unit Development.

LIGHTING:

Site lighting plans are provided. Lighting used to illuminate the parking lot shall be arranged to shield and direct light away from property within an R district. Shielding of such light shall be designed to prevent the light producing element from being visible to a person standing in an R district. Maximum mounting height for site lighting shall be 40 feet. Maximum mounting height for wall mounted lighting shall be 14 feet. Full cutoff light fixtures are required along the residential neighborhoods to the west and north as illustrated on the photometric plan included.

SIGNAGE:

The site plan does not illustrate new signage. Any new signage will require a separate permit. All signage will be required to meet the Planned Unit

12.2

Development Standards. Any ground or monument signs placed in an easement will require a license agreement with the City prior to receiving a sign permit. This staff report does not remove the requirement for a separate sign plan review process.

SITE SCREENING AND LANDSCAPING:

The open space, landscape area and screening are consistent with the Planned Unit Development requirements and meet the minimum standards of the Landscape portion of the Tulsa Zoning Code. This staff report does not remove the requirement for a separate landscape plan review process.

PEDESTRIAN ACCESS AND CIRCULATION:

The plan displays existing sidewalks along South Memorial Drive. A Pedestrian walkway is also shown to be provided from the sidewalk along South Memorial Drive to the building entrance.

MISCELLANEOUS SITE CONSIDERATIONS:

There are no concerns regarding the development of this area.

SUMMARY:

Staff has reviewed the applicant's submittal of the site plan as it relates to the approved **PUD-815**. The site plan submittal meets or exceeds the minimum requirements of the Planned Unit Development. Staff finds that the uses and intensities proposed with this site plan are consistent with the approved Planned Unit Development, and the stated purposes of the Planned Unit Development section of the Zoning Code.

Exhibits included with staff recommendation:

- INCOG zoning case aerial map
- INCOG aerial photo
- Applicant Concept Site Plan
- Applicant Exterior Elevations
- Applicant Rooftop Units Exhibit
- Applicant Grading Plan
- Applicant Wall Details
- Applicant Photometric Plan

Staff recommends **APPROVAL** of the detail site plan for the proposed new retail building and gas station.

(Note: Detail site plan approval does not constitute sign plan or landscape plan approval.)

12.3

PROJECT INFORMATION

CLIENT: COSTCO WHOLESALE
999 LAKE DRIVE
ISSAQUAH, WA 98027

PROJECT ADDRESS: S. MEMORIAL DR & E. 103RD ST
TULSA, OKLAHOMA

BOUNDARIES: THIS SITE PLAN IS BASED ON A CAD
FILE OF THE SURVEY PROVIDED BY
TULSA COUNTY, OKLAHOMA
02-27-2013 AND 06-28-2013

SITE PLAN: COS OK 144
DATED 08-11-2014

PROJECT INFORMATION CONTINUED

SITE AREA

COSTCO WAREHOUSE AREA ±17.21 AC

COSTCO GAS STATION AREA ±0.97 AC

TOTAL COSTCO GROSS SITE AREA ±18.18 AC

COSTCO WAREHOUSE SITE COVERAGE ±20.21% (±18.04 SF/AC)

BUILDING AREA

- TO THE FACE OF STRUCTURE (FOS)

COSTCO BUILDING AREA 148,469 SF

LIQUOR SALES 4,000 SF

TOTAL COSTCO BUILDING AREA 152,469 SF

PARKING SUMMARY

USER COSTCO BUILDING 1 59,225 SF 562

(MAX. THE F100 & LIQUOR)

LIQUOR SERVICE MIN. 5 5

TOTAL 697 768

COSTCO PARKING RATIO PROVIDED ±5.00 SF/1000 SF

ZONING CLASSIFICATION

JURISDICTION CITY OF TULSA, OK

EXISTING ZONING CS - COMMERCIAL SHOPPING/
PUD - 63/2-7069

VICINITY MAP

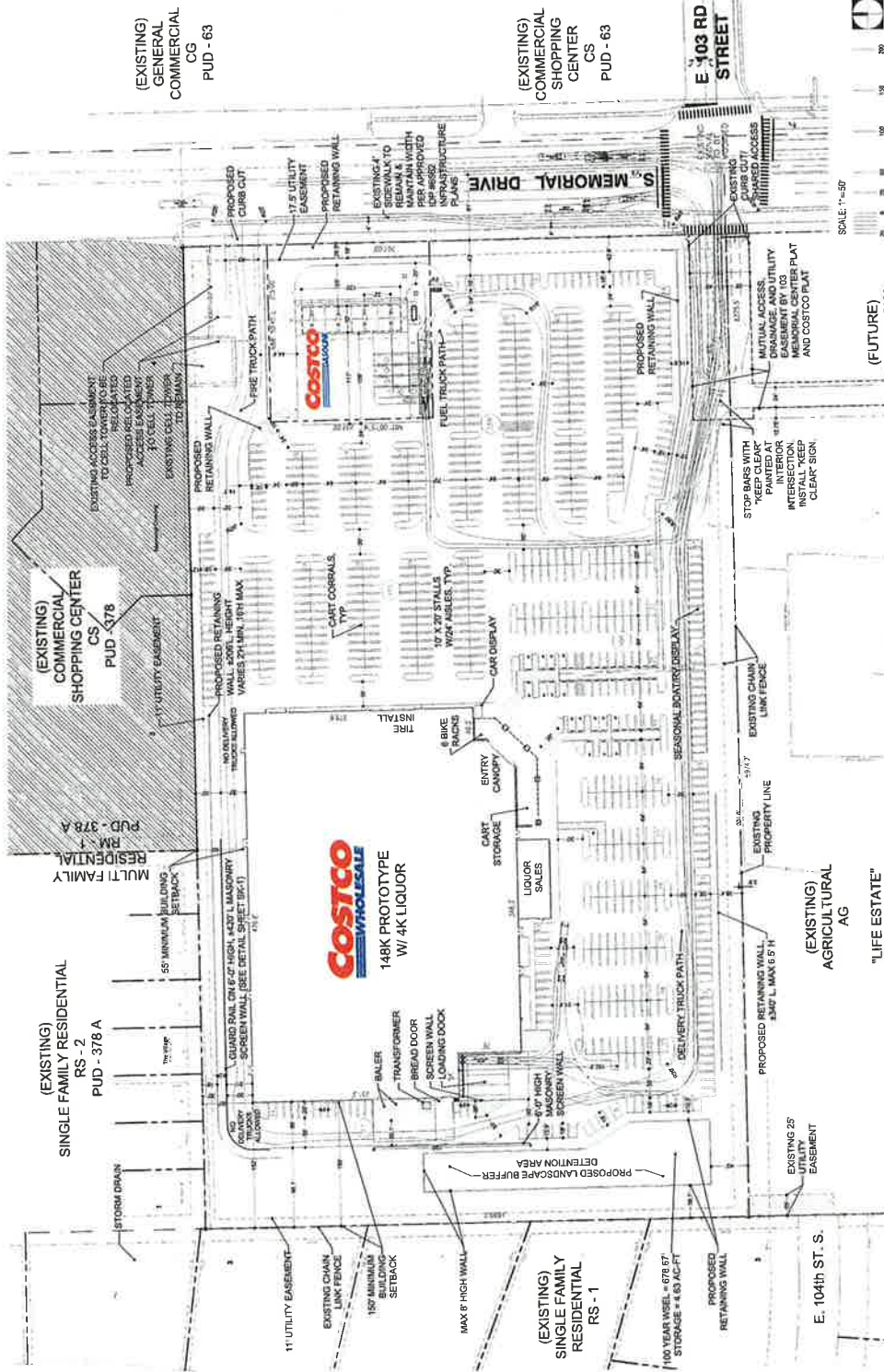


REGIONAL MAP



(EXISTING)
GENERAL
COMMERCIAL
CG
PUD - 63

(EXISTING)
COMMERCIAL
SHOPPING
CENTER
CS
PUD - 63



SCALE 1"=50'



ATTACHMENT 'B'

MINIMUM BLDG SETBACKS REQUIRED
EAST 1/2 OF R-O-W WITH DEDICATED
ON MAJOR STREET PLAN PLUS 50'
EX. R-O-W IS 120'

MINIMUM PERCENTAGE AND CORRESPONDING UNDEVELOPED
AREA REQUIRED: 10% (79,192 SF)

MINIMUM PERCENTAGE AND CORRESPONDING UNDEVELOPED
AREA PROVIDED: 20.6% (118,000 SF)

LANDSCAPED STREET YARD PER STREET FRONTAGE
MEMORIAL DRIVE - 4,950 SF REQUIRED
MEMORIAL DRIVE - 22,700 SF PROVIDED
ADDITIONAL LANDSCAPE AREA(S) REQUIRED N/A

DETAIL SITE PLAN:
PUD SITE PLAN NUMBER 815
DEVELOPMENT AREA

PRINTED USES:
PROPOSED USES: CONVENIENCE GOODS & SERVICES
SHOPPING GOODS & SERVICES

MAXIMUM BLDG FLOOR AREA PERMITTED: 0.50 FAR
(±18.61 AC)

BUILDING FLOOR AREA PROPOSED FOR EACH USE:
TOTAL BUILDING 148,469 SF
LIQUOR SALES 4,000 SF

MAXIMUM BLDG HEIGHT PERMITTED: 35'-0"
MAXIMUM BLDG HEIGHT PROPOSED: 34'-0"

OFF STREET PARKING
RATIO FOR ENTIRE PUD: 1 59/1000 SF

NUMBER OF SPACES REQUIRED: 512

NUMBER OF SPACES PROVIDED: 768

TOTAL RATIO PROVIDED: 5 59/1000 SF

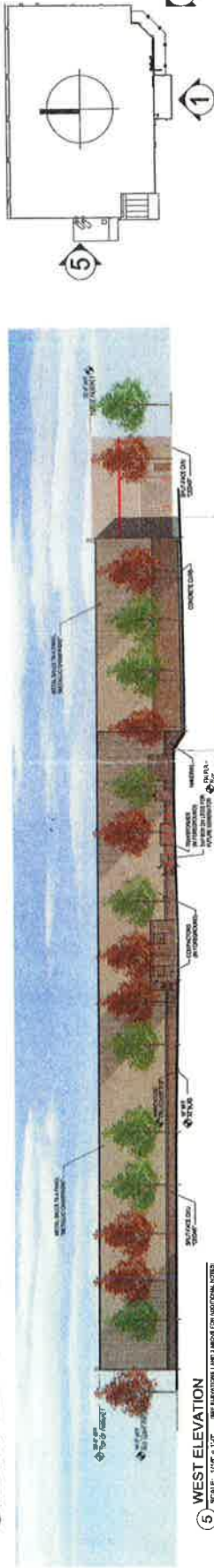
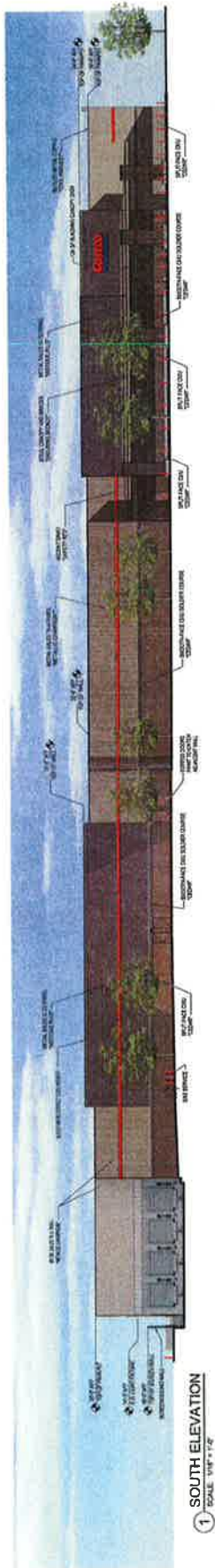
0' 150' 50' 110'

COSTCO WHOLESALE CONCEPT SITE PLAN

1800 S. MEMORIAL DRIVE & E. 103RD STREET S
TULSA, OKLAHOMA
08/11/2014

Groundwater
10000 Main Street, Suite 200
Irvine, CA 92612
TEL: 949.440.1111 FAX: 949.440.1112

12.4





GreenbergFarrow
 15000 MacArthur Blvd., Suite 250
 Irvine, CA 92612
 T. 949 296 0450 F. 949 296 0437

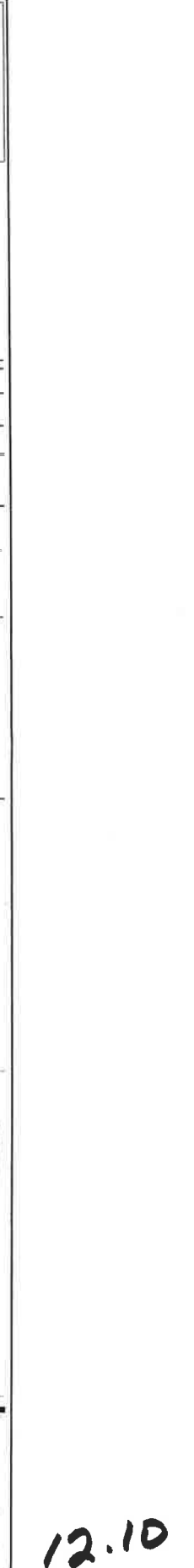


COSTCO WHOLESALE
 NWQ S. MEMORIAL DRIVE & E. 103RD STREET S
 TULSA, OKLAHOMA
 CW # 12-0159 08/01/2014

EXHIBIT - ROOFTOP UNITS

128







| | |
|----------------|------------|
| KHA PROJECT | 066000045 |
| DATE | 09/09/2014 |
| SCALE AS SHOWN | |
| CHECKED BY JCK | |
| DRAWN BY JCK | |
| CHECKED BY JCK | |
| DATE | 11/16/14 |

Kimley»Horn
S
7570 GENESEE COURT, SUITE 200, FORT COCK, FL 32504
PHONE: 912-335-1580 FAX: 812-335-5179
WWW.KIMLEY-HORN.COM
OK REGISTERED FIRM CA 2740



BENCHMARK

CUT "X" TOP OF CURB & SIDE OF DRIVE AT
PROPERTY, SW CORNER OF NE PROPERTY CORNER
ELEV. = 704.91

CUT "X" TOP OF CURB & SIDE OF RAMP ON N
ESEMORIAL AND SOUTH SIDE OF DRIVE, SW CORNER
ELEV. = 704.75

CUT "X" TOP OF CURB & NOSE OF ISLAND IN
DRIVE, 115' N NE OF NE PROPERTY CORNER
ELEV. = 713.38

CITY OF TULSA APPROVAL

**GEOTECHNICAL
REPORT**

PROJECT NO. 131274
KUHNFELDER CENTRAL, INC.
TULSA, OKLAHOMA

JULY 31, 2014

WALL DESIGN INFORMATION

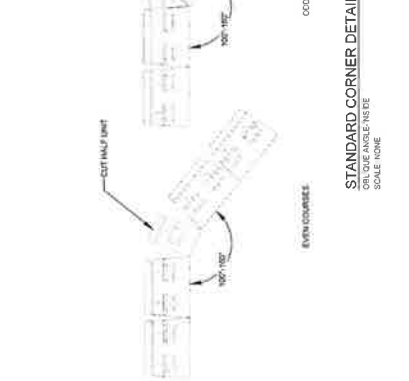
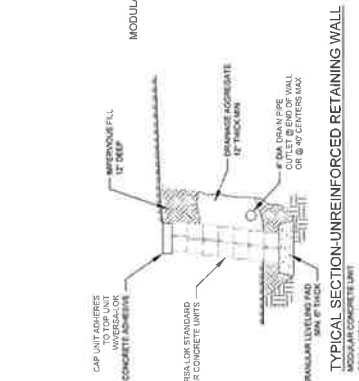
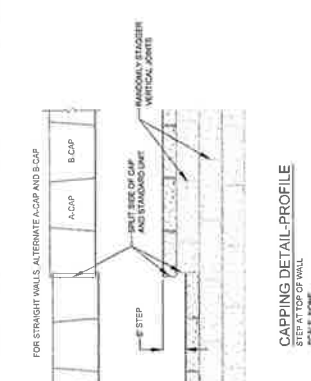
REFER TO DETAILS 7-8 FOR TOP OF WALL, BOTTOM OF WALL AND FINISHES. SEE DETAIL 7-9 FOR WALL DESIGN PACKAGE IN THE ARCHITECTURAL PLAN SET FOR FURTHER WALL DESIGN INFORMATION.

RETAINING WALL NOTE

RETAINING WALLS BROWN FOR GRAVITY ONLY. ALL WALLS SHALL BE RETAINING WALLS UNLESS OTHERWISE NOTED. APPROXIMATIONS FITTED CLEARLY THROUGH THE BUILDING DEPARTMENT.

RETAINING WALL NOTE

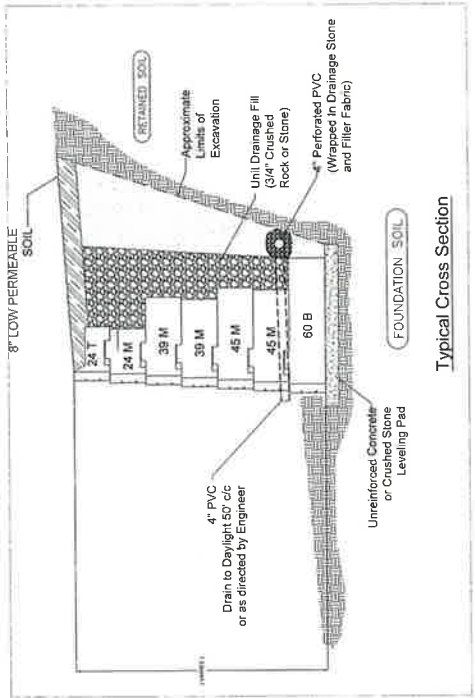
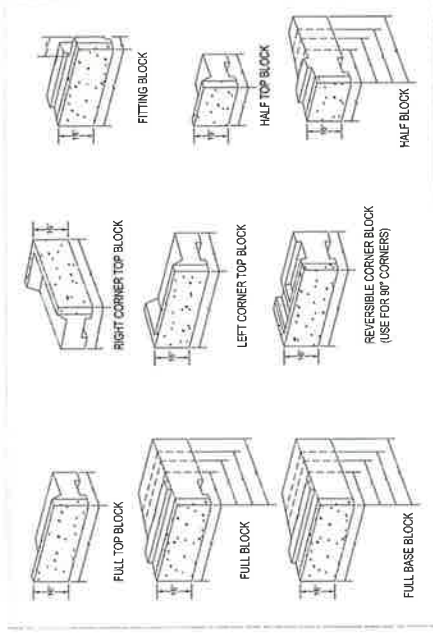
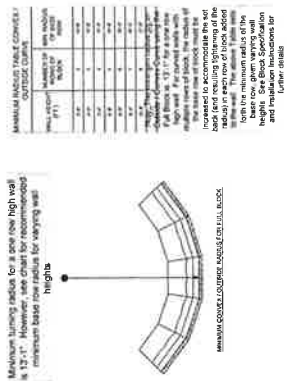
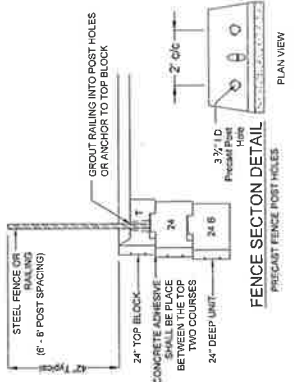
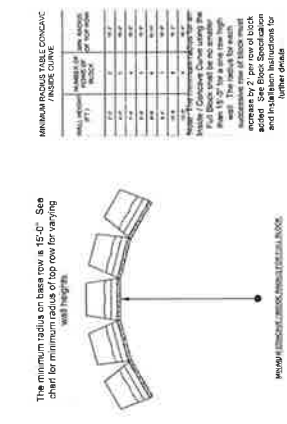
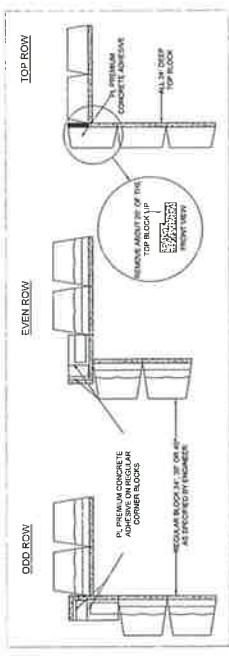
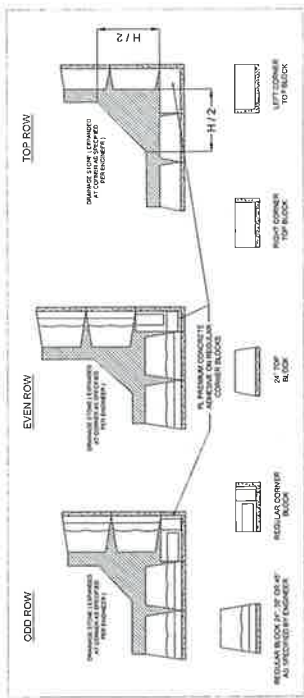
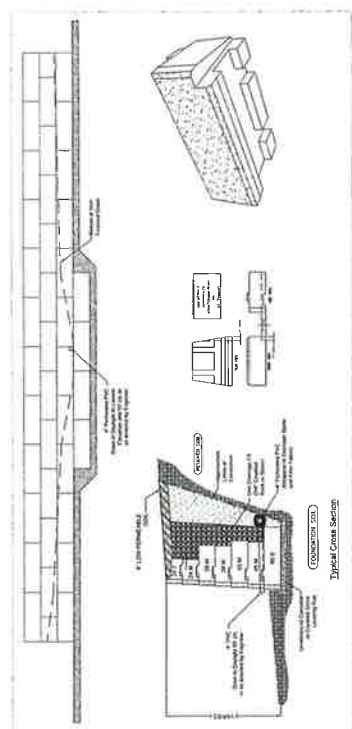
12.11



CONCRETE CURVE
SCALE NONE

| REV | DATE | DESCRIPTION | | | | | | | | | | | | |
|--|------------------|-------------|----------|------------------|-------|----------|---------|-----|-------|-------|---|--|--|--|
| <div>NOT FOR CONSTRUCTION UNLESS SEALED</div> <div><p>JOSEPH W. KOWALSKI P.E. 3710 Section Road Channah, Ohio 45236 Tel: 513-351-1111 www.kowalskiengineer.com</p><p>© JOSEPH W. KOWALSKI P.E., 2004. ALL RIGHTS RESERVED.</p></div> | | | | | | | | | | | | | | |
| <div>TITLE: CONCEPT RETAINING WALL DESIGN DRAWINGS WALLS 1, 2 & 4 (MESA-LOR MOSAIC)</div> <table><tr><td>TOP</td><td>CENTER WHOLESALE</td><td>SCALE</td><td>AS SHOWN</td></tr><tr><td>PROJECT</td><td>NEW</td><td>SHEET</td><td>RW-02</td></tr><tr><td colspan="4">CORNER OF S. Memorial Dr. & E. 103rd Street South TULSA, OKLAHOMA</td></tr></table> | | | TOP | CENTER WHOLESALE | SCALE | AS SHOWN | PROJECT | NEW | SHEET | RW-02 | CORNER OF S. Memorial Dr. & E. 103rd Street South TULSA, OKLAHOMA | | | |
| TOP | CENTER WHOLESALE | SCALE | AS SHOWN | | | | | | | | | | | |
| PROJECT | NEW | SHEET | RW-02 | | | | | | | | | | | |
| CORNER OF S. Memorial Dr. & E. 103rd Street South TULSA, OKLAHOMA | | | | | | | | | | | | | | |

12.12



1 RECON BLOCK DETAILS RW-02 Scale N.T.S.

PROPOSED FOR WALLS 3 & 5

DATE: 10/10/2018

PROJECT: NW Corner of S. Memorial Dr & E. 10th Street South

LOCATION: E. 10th Street South

SCALE: AS SHOWN

SHEET: RW-03

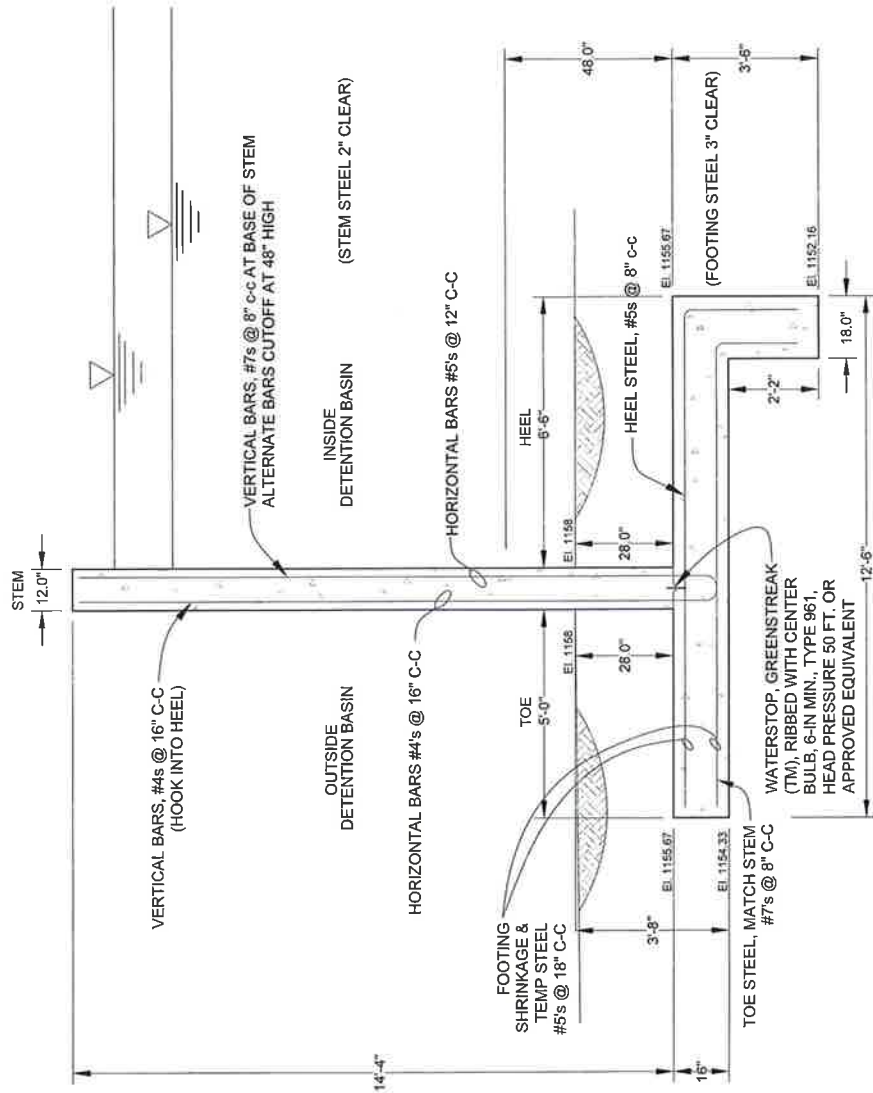
TITLE: CONCEPT RETAINING WALL DESIGN DRAWINGS
WALLS 3 & 5 (RECON BLOCK)

DESIGNER: JOSEPH W. KOWALSKI, P.E.
Civil Engineer
Ohio License No. 43234
Phone: 313.433.9607
www.jwk-engineering.com

NOT FOR CONSTRUCTION UNLESS SEALED

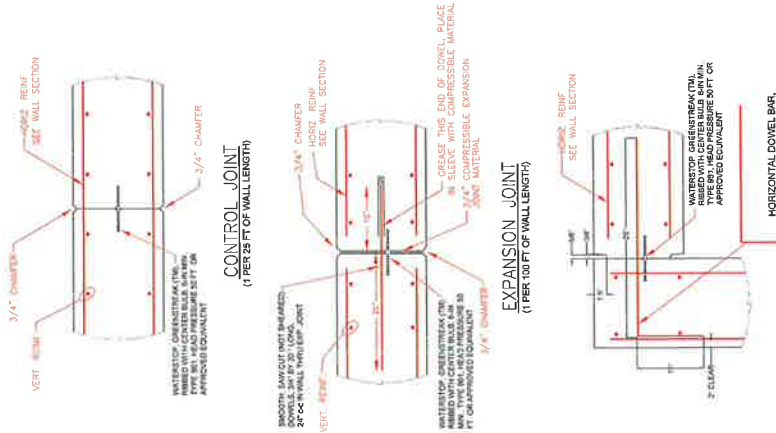
LOCATION: DATE:

12.13



1 TYPICAL CIP WALL SECTION

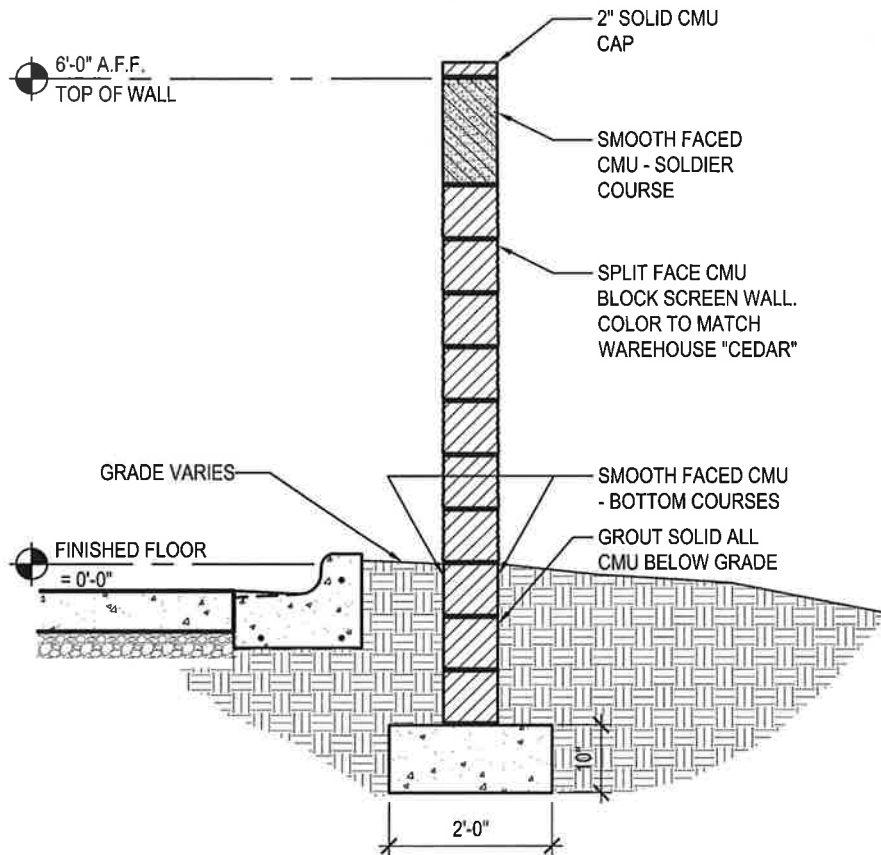
Scale: NTS



CONSTRUCTION JOINT AT 90-DEGREE BEND

| | |
|--------------|--|
| TITLE: | CAST-IN-PLACE CANTILEVER REINFORCED CONCRETE WALL (DET BASIN) |
| PROJECT: | NW Corner of S. Memorial Dr. & E. 100th Street South |
| SHEET: | RW-04 |
| DATE: | 10/20/2010 |
| DRAWN BY: | J. KOWALSKI |
| CHECKED BY: | J. KOWALSKI |
| APPROVED BY: | J. KOWALSKI |

12.14



SCREEN WALL

SCALE: 1/2" = 1'-0"

0109

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MULVANNY G2

1110 112TH AVE. NE | SUITE 500
BELLEVUE, WA | 98004

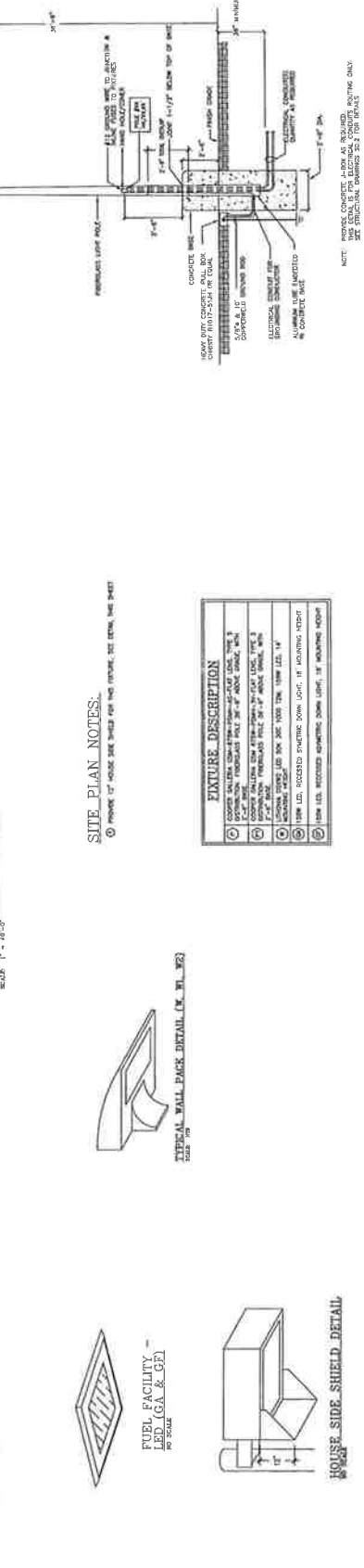
t 425.463.2000 | f 425.463.2002

TULSA, OK WAREHOUSE
S. MEMORIAL DR. & E 103rd ST.

13-0160-01
PM: MICHAEL SHOOK
09.02.2014

#SK-1

12.15



12.14



Case #: PUD-761-B
Detail Site Plan

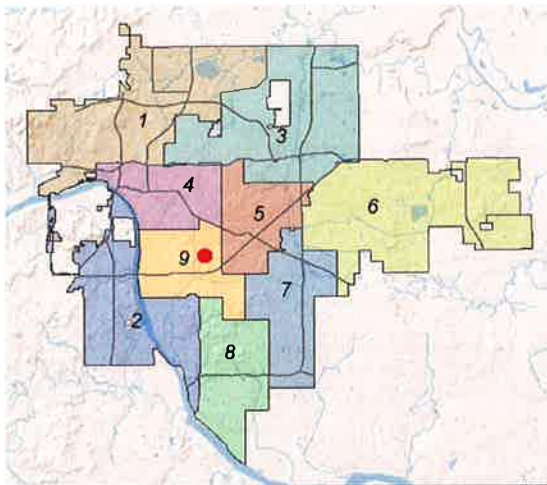
Hearing Date: October 1, 2014

Case Report Prepared by:
 Jay Hoyt

Owner and Applicant Information:
 Applicant: Sisemore Weisz Assoc, Inc.

Property Owner: Jerry Reeves, Manley Properties, L.P.

Location Map:
 (shown with City Council Districts)



Applicant Proposal:

Detailed Site Plan:
 Plan represents details for a new Retail Building within the PUD.

Gross Land Area: 0.693 Acres

Location: South of the SE Corner of East 41st Street South and South Harvard Avenue

Lot 1, Block 1 of Harvard Square Amended

Zoning:
 Existing Zoning: CS/PUD-761-B
 Proposed Zoning: No Change

Staff Recommendation:
 Staff recommends **approval**.

Comprehensive Plan:
 Land Use Map: Neighborhood Center
 Growth and Stability Map: Growth

Staff Data:
 TRS: 19-13-28
 CZM: 47/64
 Atlas: 311

City Council District: 9
Councilor Name: G.T. Bynum

County Commission District: 3
Commissioner Name: Ron Peters

SECTION I: PUD-761-B Detailed Site Plan

STAFF RECOMMENDATION:

CONCEPT STATEMENT:

The applicant is requesting detail site plan approval on a 0.693 Acre site in a Planned Unit Development for a new Retail Building including one, one story building.

PERMITTED USES:

Uses permitted as a matter of right in Use units 10, Off-Street Parking; 11, Office Studios and Support Services; 12, Eating Establishments, Other Than Drive-Ins; 13, Convenience Goods and Services; 14, Shopping Goods and Services and Uses Customarily Accessory to Permitted Principal Uses. The following Uses are excluded: Pawn Shops, Pay Day Loan Offices, Tobacco Stores, Tattoo Parlors, Body Piercing Parlors, Self-Serve Laundromats, Apartments, Auto Alarms Installation, Auto Parts and Accessories, Auto Radio and Stereo Installation, Auto Window Tinting, Bail Bond Office, Bars, Building Materials, Dance Halls, Day Labor Hiring, Electrical Supply, Gasoline Service Station, Gunsmith, Locksmith, Massage Parlor, Multi-Family Dwellings, Nightclubs, Oil & Lubrication Service, Plumbing Fixtures, Pool Halls, Second Hand Store, Shoe Repair, Taverns, Tune-Up Services and Video Rentals. Drive-Thru Restaurants not allowed without a Major Amendment to the PUD. The proposed Retail Building is allowed as a matter of right.

DIMENSIONAL REQUIREMENTS:

The submitted site plan meets all applicable building height, floor area, density, open space, and setback limitations. No modifications of the previously approved Planned Unit Development are required for approval of this site plan.

ARCHITECTURAL GUIDELINES:

The new building meets all applicable architectural guidelines in the Planned Unit Development.

OFF-STREET PARKING AND VEHICULAR CIRCULATION:

The site plan meets the minimum parking defined in the Tulsa Zoning Code and the Planned Unit Development.

LIGHTING:

Site lighting plans are provided. Light Standards shall not exceed 25 FT in height. All light standards including building mounted shall be hooded and directed downward and away from the boundaries of the Project. Shielding of outdoor lighting shall be designed so as to prevent the light producing element or reflector of the light fixture from being visible to a person standing at ground level in adjacent residential areas. Compliance with these standards shall be verified by application of the Kennebunkport Formula or other Illuminating Engineering Society of North America (IESNA) recommended practice which will verify

compliance with the Tulsa Zoning Code lighting standards. Consideration of topography must be considered in the calculations.

SIGNAGE:

The site plan does not illustrate new signage. Any new signage will require a separate permit. All signage will be required to meet the Planned Unit Development Standards. Any ground or monument signs placed in an easement will require a license agreement with the City prior to receiving a sign permit. This staff report does not remove the requirement for a separate sign plan review process.

SITE SCREENING AND LANDSCAPING:

The open space, landscape area and screening are consistent with the Planned Unit Development requirements and meet the minimum standards of the Landscape portion of the Tulsa Zoning Code. This staff report does not remove the requirement for a separate landscape plan review process.

PEDESTRIAN ACCESS AND CIRCULATION:

The plan displays existing sidewalks along South Harvard Avenue. Internal circulation pathways are also shown to be provided on the site adjacent to the building.

MISCELLANEOUS SITE CONSIDERATIONS:

There are no concerns regarding the development of this area.

SUMMARY:

Staff has reviewed the applicant's submittal of the site plan as it relates to the approved **PUD-761-B**. The site plan submittal meets or exceeds the minimum requirements of the Planned Unit Development. Staff finds that the uses and intensities proposed with this site plan are consistent with the approved Planned Unit Development, and the stated purposes of the Planned Unit Development section of the Zoning Code.

Exhibits included with staff recommendation:

INCOG zoning case aerial map

INCOG aerial photo

Applicant Detail Site Plan

Applicant Architectural Site Plan and Details

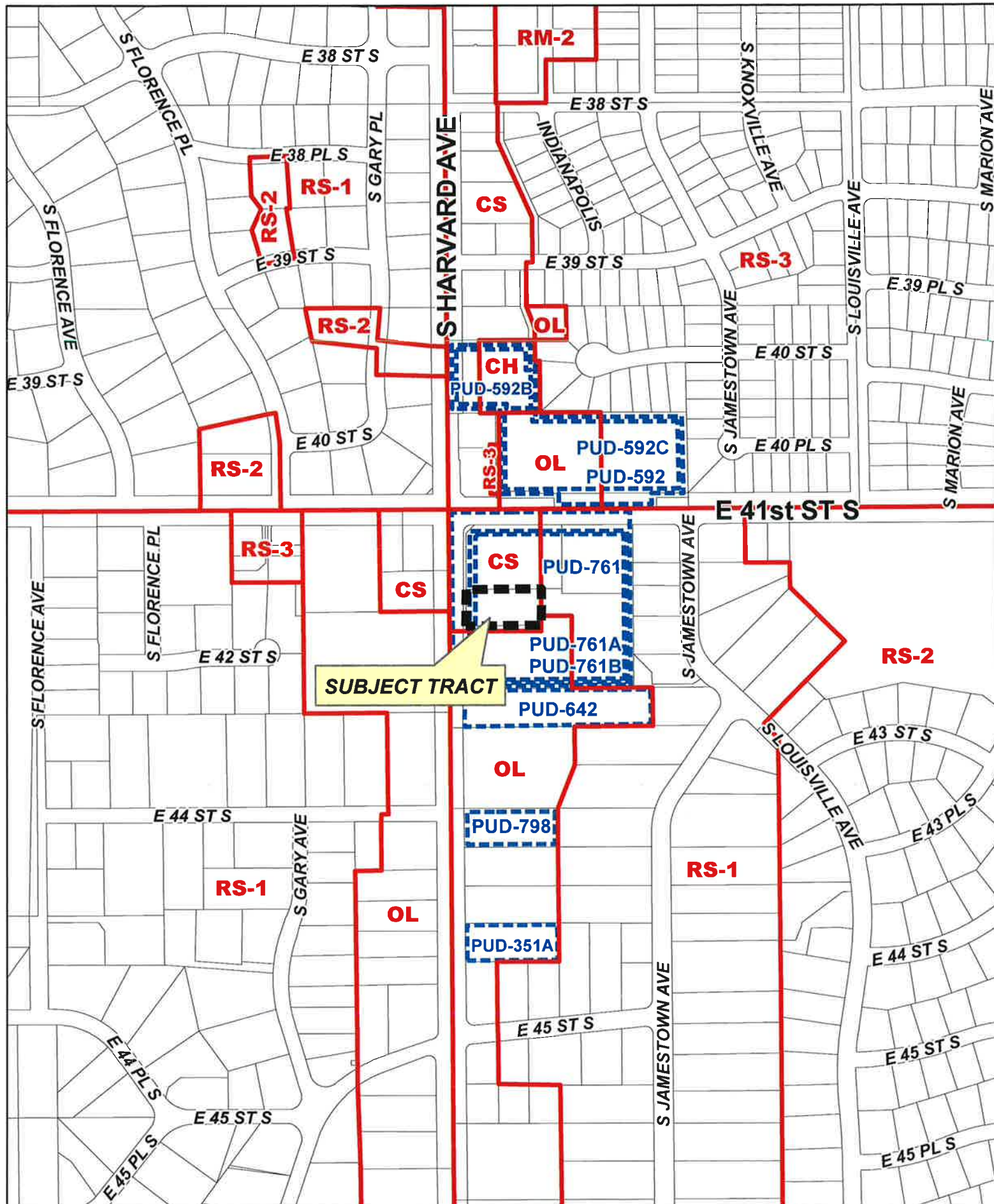
Applicant Exterior Elevations

Applicant Photometric Plan

Applicant Site Lighting Cut Sheets

Staff recommends **APPROVAL** of the detail site plan for the proposed new retail building.

(Note: Detail site plan approval does not constitute sign plan or landscape plan approval.)



PUD-761-B DSP

19-13 28

13.4





0 200 400
Feet

Aerial Photo Date: March 2014

PUD-761-B DSP

19-13 28

Note: Graphic overlays may not precisely align with physical features on the ground.

13.5



DESCRIPTION

The IMPACT Elite Cylinder cutoff wall luminaire makes an ideal complement to site design. Rugged construction and full cutoff classified optics provide facade and security lighting for light restricted zones surrounding schools, office complexes, apartments, and recreational facilities. U.L. and cUL Listed for wet locations in down mount applications and damp locations in up mounted applications.

| | | | |
|-------------|-----------------|------|--|
| Catalog # | | Type | |
| Project | | A | |
| Comments | WALL MOUNT 16FT | Date | |
| Prepared by | | | |

SPECIFICATION FEATURES

Construction

Two-piece die-cast aluminum housing and removable hinged door frame nests securely for precise tolerance control and repeatability. Hinged door frame inset for clean mating with housing surface and secured via two [2] captive stainless steel fasteners. Optional tamper resistant torx-head fasteners [TR] offer vandal resistant access to the electrical compartment. 1/8" clear, heat and impact resistant tempered flat glass lens combine with molded silicone gasket to seal the integrated optical assembly while ensuring peak optical performance.

Electrical

Integral hard mount electrical components are secured and grounded within the die-cast aluminum housing for optimal heat sinking and extended component life. Minimum starting temperatures are -40°C (-40°F) for HPS and -30°C (-22°F) for MP. Compact fluorescent luminaires

feature electronic universal 120-277V high efficiency 50/60Hz ballast with -18°C (0°F) minimum starting temperature. Available in 50-175W HID or 26-84W CF. Emergency power pack available for 26-64W CF.

Optical

Premium anodized 95% reflective aluminum optical assemblies provide high efficiency Type II distribution. Optional silk screened house side flat glass shield provides decreased wall brightness. All Impact Elite Wall Series luminaires classify as IESNA full cutoff in downlight applications. Available with 10% or 50% uplight options for architectural highlighting of building details.

Mounting

Gasketed and zinc plated rigid steel mounting attachment fits directly to 4" j-box or wall with the Impact Elite "Hook-N-Lock" system for fast installation and mounting in both

traditional downlighting [wet location] or inverted uplighting [damp location] mounting positions. Secured via two [2] captive corrosion resistant allen head set screws concealed from view, but accessible from bottom of fixture.

Finish

Housing and door are protected with 5-stage premium TGIC polyester powder coat paint. Premium TGIC powder coat finishes withstand extreme climate changes while providing optimal color and gloss retention over the fixture's installed life. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult McGraw-Edison Architectural Colors Brochure for complete selection.



NOTE: In downlight applications only.



ISC IMPACT ELITE CYLINDER

50 - 175W

Pulse Start Metal Halide

Metal Halide

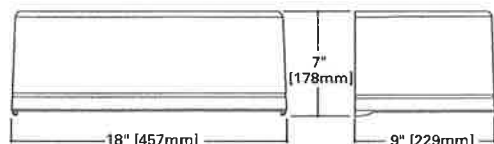
High Pressure Sodium

26 - 84W

Compact Fluorescent

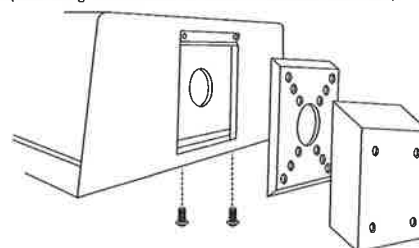
FULL CUTOFF
WALL MOUNT LUMINAIRE

STANDARD DIMENSIONS

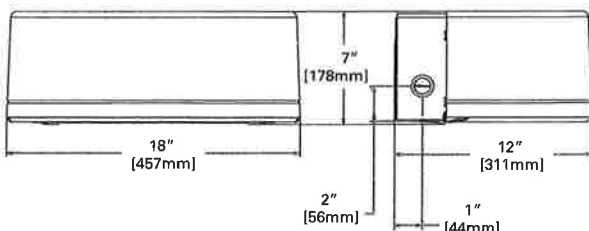


HOOK-N-LOCK MOUNTING

(Mounting attachment included. J-Box not included.)



DIMENSIONS WITH BACK BOX



TECHNICAL DATA

UL1598 Listed, CUL Listed
25°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum
Down Mounted—Wet Location
Up Mounted—Damp Location

ENERGY DATA

High Reactance Ballast Input Watts

50W HPS HPF (66 Watts)
50W MP HPF (72 Watts)
70W HPS HPF (91 Watts)
70W MP HPF (90 Watts)
100W HPS HPF (130 Watts)
100W MP HPF (129 Watts)
150W HPS HPF (190 Watts)
150W MP HPF (185 Watts)

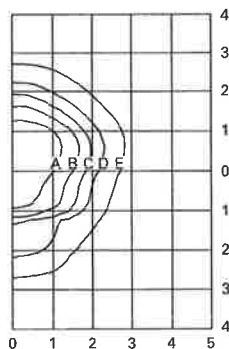
Electronic Ballast Input Watts

26W CF HPF (29 Watts)
32W CF HPF (36 Watts)
42W CF HPF (46 Watts)
52W CF HPF (55 Watts)

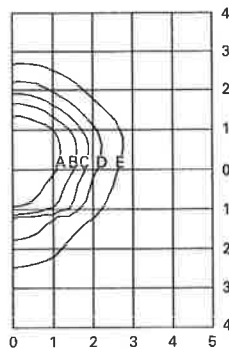
SHIPPING DATA

Approximate Net Weight:
18 lbs. (8 kgs.)

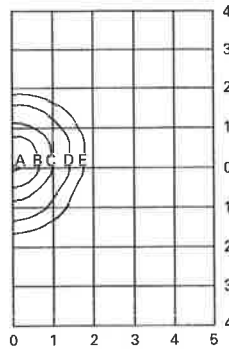
IMPACT™

PHOTOMETRICS (Complete IES files available at www.cooperlighting.com)

ISC-150-MP-XX-2S
150—Watt MP
14,000—Lumen Clear Lamp



ISC-150-HPS-XX-2S
150—Watt HP
16,000—Lumen Clear Lamp



ISC-42-CF-XX-2S
42—Watt CF
3,200—Lumen Lamp

Footcandle Table

Select mounting height and read across for footcandle values of each isofootcandle line. Distance in units of mounting height.

| Mounting Height | Footcandle Values for Isofootcandle Lines | | | | |
|-------------------------|---|------|------|------|------|
| | A | B | C | D | E |
| 150-MP / 150-HPS | | | | | |
| 10' | 7.20 | 2.88 | 1.44 | 0.72 | 0.29 |
| 12' | 5.00 | 2.00 | 1.00 | 0.50 | 0.20 |
| 14' | 3.65 | 1.46 | 0.73 | 0.37 | 0.07 |
| 42-CF | | | | | |
| 18' | 2.46 | 1.23 | 0.62 | 0.25 | 0.12 |
| 20' | 2.00 | 1.00 | 0.50 | 0.20 | 0.10 |
| 25' | 1.28 | 0.64 | 0.32 | 0.13 | 0.06 |

ORDERING INFORMATION

Sample Number: ISC-150-MP-MT-2S-BZ

| ISC | | 52 | | CF | | MT | | 2S | | BZ | | L | | | |
|---|--|--|--|---|--|--|--|---|--|---|--|---|--|--|--|
| Product Family ISC=Impact Elite Small Cylinder | | Lamp Wattage ¹ MP 50=50W ² 70=70W ² 100=100W 150=150W HPS 50=50W ² 70=70W ² 100=100W 150=150W MH 175=175W ¹ CF 26=(1)26W 32=(1)32W 42=(1)42W 52=(2)26W 64=(2)32W 84=(2)42W | | Lamp Type MP=Pulse Start Metal Halide HPS=High Pressure Sodium MH=Metal Halide ¹ CF=Compact Fluorescent | | Voltage ³ 120=120V 208=208V 240=240V 277=277V 347=347V 480=480V DT=Dual-Tap ⁴ MT=Multi-Tap ⁴ TT=Triple-Tap ⁴ E1=Electronic (120-277V) ⁵ | | Distribution 2S= Type II Segmented | | Colors [add as suffix] AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White | | Options F=Single Fuse (120, 277, or 347V) ⁶ FF=Double Fuse (208, 240 or 480V) ⁶ P=Button Photocontrol (120, 208, 240 or 277V) ⁶ L=Lamp Included TR=Tamper Resistant Fasteners UPL10=10% Uplight UPL50=50% Uplight ⁷ HS=House Side Shield Glass ⁵ PL=Polycarbonate Lens ^{5, 8} Q=Quartz Restrike (1) T4 Lamp ⁹ EM= Emergency Quartz Restrike (1) T4 Lamp with Time Delay Relay ⁹ EM/SC=Emergency Separate Circuit (1) T4 Lamp ^{8, 10} QMR=Quartz Restrike (1) MR16 Lamp ^{11, 12} EMMR=Emergency Quartz Restrike (1) MR16 Lamp with Time Delay Relay ^{11, 12} EM/SC/MR=Emergency Separate Circuit (1) MR16 Lamp ^{10, 12, 13} | | Accessories ¹⁹ MA1255-XX=Thruway Back Box - Impact Elite Cylinder | |

Notes:

- HID lamps are medium base. 175W MH is available for non-U.S. markets only.
- Not available with 480V.
- Products also available in non-US voltages and 50HZ for international markets. Consult your Cooper Representative for availability and ordering information.
- Dual-tap ballast is 120/277V wired 277V. Multi-tap is 120/208/240/277V wired 277V. Triple-tap ballast is 120/277/347V wired 347V.
- Available with CF Option only. In cold temperatures, compact fluorescent lamps produce lower illumination levels.
- Must specify voltage.
- Not available with dual CF lamps. Not available with EMI40 or CFEM.
- Down lighting position only.
- (1) 120V Lamp, 100W maximum quartz lamp. Utility power may need to cycle to allow HID lamp to cool in warm climates. Not available with CF Option. Lamp supplied by others.
- Leads out of the back of the unit for auxiliary power.
- Not available with CF lamps.
- (1) or (2) 120V Lamps. GU10 base, 50W maximum each. Lamps supplied by others.
- Not Available with 52, 64, 84 CF wattages.
- (1) or (2) 12V bi-pin lamp, socket GU5.3 base, 35W maximum. Power supplied by low voltage DC source (supplied by others). Lamps supplied by others.
- Specify 120 or 277V, (-18°C) minimum temperature. Not available with UPL10 or UPL50.
- Specify 120 or 277V, (0°C) minimum temperature. Not available with UPL10 or UPL50.
- Not available in 84CF configuration.
- Available in 52CF only.
- Order separately. Replace "XX" with color designation.

NOTE: Specifications and dimensions subject to change without notice.

Visit our web site at www.cooperlighting.com

Customer First Center 1121 Highway 74 South Peachtree City, GA 30269 770.486.4800 FAX 770.486.4801

ADH100165 pc
2011-03-24 11:31:15

13.8

ACCESSORIES

CIMARRON ACCESSORIES

| CATALOG # | DESCRIPTION |
|-------------------------------|--|
| ARM-CR-6-S-XX ^{1,2} | 6" Rigid Straight Arm |
| ARM-CRD-6-S-XX ^{1,2} | 6½" Rigid Upswept Arm |
| ARM-CR-K-TA-XX ¹ | Tenon Arm (single) adjustable |
| ARM-CR-TK-TA-XX ¹ | Tenon Arm (double 180°) adjustable |
| ARM-CR-K-S-XX ^{1,2} | Adjustable Arm |
| CR1-PVG | Polycarbonate Vandal Guard |
| CR1-HS-23 | Internal House Side Shield (H2 & H3 distributions) |
| CR1-HS-4 | Internal House Side Shield (H4 distribution) |
| CR-RPA2-XX ¹ | Round Pole Adapter for Straight Arm (2¾ - 3½") |
| CR-RPA3-XX ¹ | Round Pole Adapter for Straight Arm (3¼ - 3¾") |
| CR-RPA4-XX ¹ | Round Pole Adapter for Straight Arm (3½ - 4½") |
| CR-RPA5-XX ¹ | Round Pole Adapter for Straight Arm (5") |
| CR-RPA6-XX ¹ | Round Pole Adapter for Straight Arm (6") |
| CRD-RPA2-XX ¹ | Round Pole Adapter for Upswept Arm (2¾ - 3½") |
| CRD-RPA3-XX ¹ | Round Pole Adapter for Upswept Arm (3¼ - 3¾") |
| CRD-RPA4-XX ¹ | Round Pole Adapter for Upswept Arm (3½ - 4½") |
| CRD-RPA5-XX ¹ | Round Pole Adapter for Upswept Arm (5") |
| CRD-RPA6-XX ¹ | Round Pole Adapter for Upswept Arm (6") |
| WB-CR-XX ¹ | Wall Bracket |
| TPLB-XX ¹ | Tw Parallel Luminaire Bracket |
| CR1-EHS-XX ¹ | External 3 Sided Glare Shield (not rotatable) |

1 Replace XX with color choice, eg.: DB for Dark Bronze

2 When ordering poles, specify Pole Drill Pattern #2

TENON TOP POLE BRACKET ACCESSORIES (2¾" OD tenon)

(RSS version requires 4" round pole adapter)

| CATALOG # | DESCRIPTION |
|----------------------|---|
| SETA-XX ¹ | Square Pole Tenon Adapter (4 at 90 degrees) |
| RETA-XX ¹ | Round Pole Tenon Adapter (4 at 90 degrees) |
| TETA-XX ¹ | Hexagonal Pole Tenon Adapter (3 at 120 degrees) |

1 Replace XX with color choice, eg.: DB for Dark Bronze

PHOTOCONTROL EQUIPMENT

| CATALOG # | DESCRIPTION |
|-----------|---|
| PTL-1 | Photocontrol - Twist-Lock Cell (120V) |
| PTL-8 | Photocontrol - Twist-Lock Cell (120-277V) |
| PTL-5 | Photocontrol - Twist-Lock Cell (480V) |
| PTL-6 | Photocontrol - Twist-Lock Cell (347V) |
| PSC | Shorting Cap - Twist-Lock |

SPECIFICATIONS

HOUSING Architecturally styled, one piece die-cast aluminum housing with nominal .125" wall thickness. Low profile design reduces the overall wind loading while providing a sleek, unabtrusive look which complements most building architectural styles.

DOOR Die-cast aluminum door hinges to housing and secures with two captive screws providing four points of contact ensuring a clean lens and optical assembly. Both the flat tempered glass and door are sealed with one-piece silicone gaskets.

OPTICS Multiple levels of photometric performance to be achieved via tiered optic offering ranging from fully segmented to hydroformed reflectors. All optical assemblies to field rotate in 90° increments. All distributions to be IES full cutoff classification. House side shielding available as either factory installed options or field installed accessories.

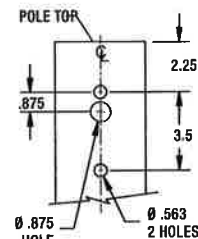
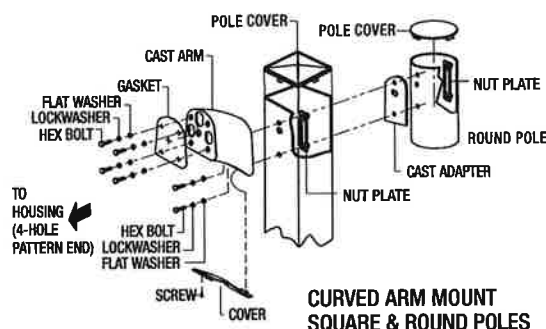
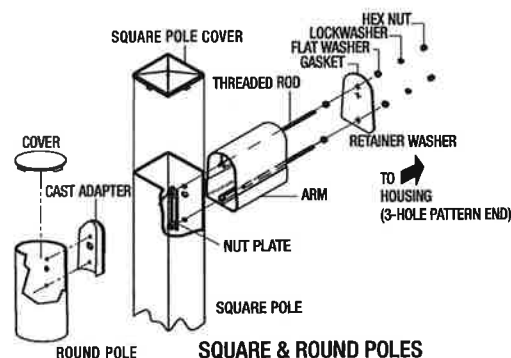
MOUNT Two arm designs are available providing maximum design flexibility. The die-cast aluminum arm offers a sleek upswept look while the extruded straight arm includes the housings contoured lines for continuity of style. A wall bracket and pole/tenon accessories are also available allowing easy mounting for virtually any application.

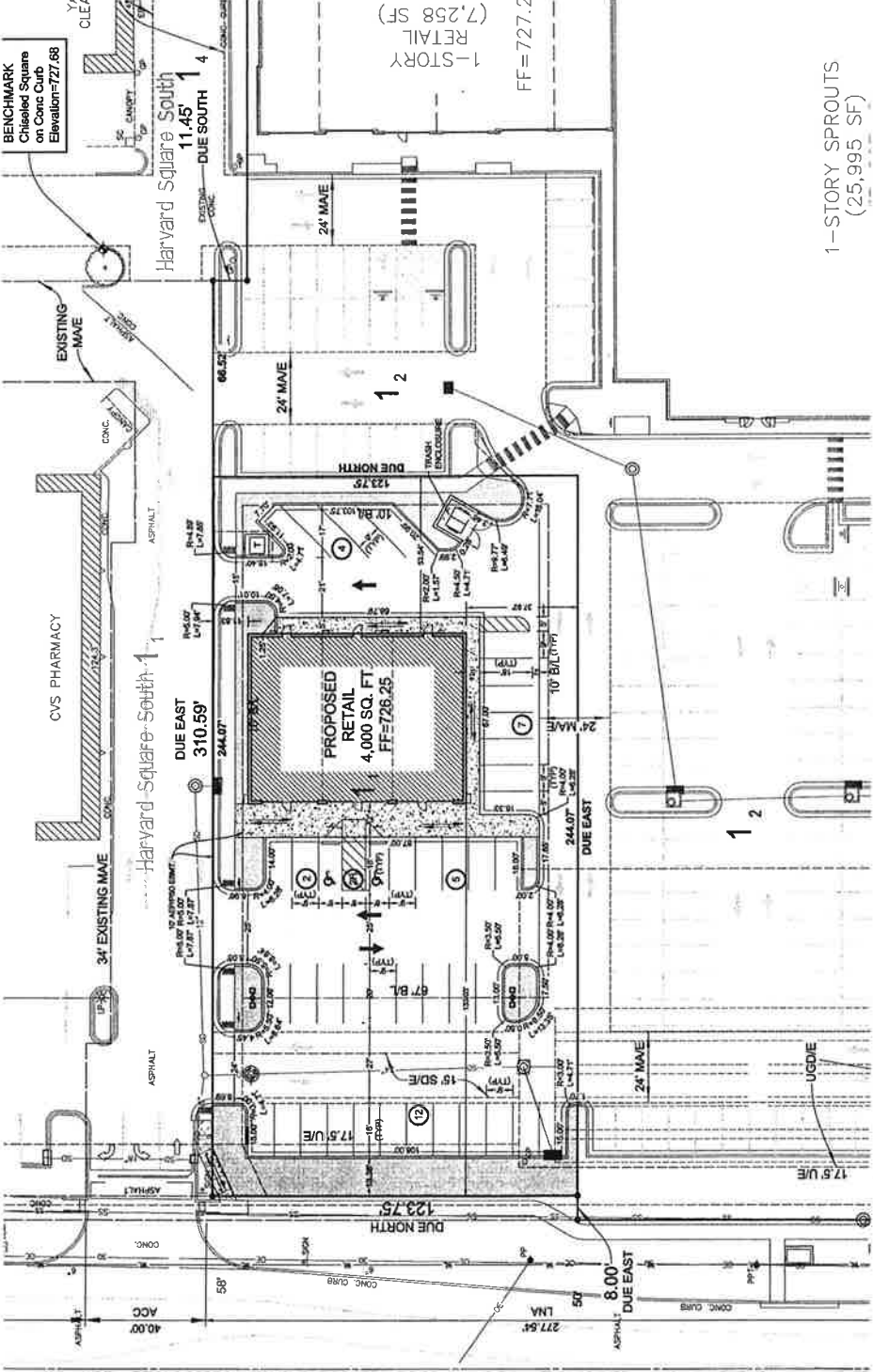
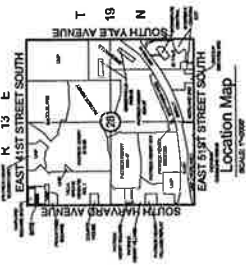
ELECTRICAL Energy efficient HID lamps up to 400w. Pulse rated porcelain sockets have spring loaded, nickel plated center contact. All units offer factory or field-installable photocell options and fusing.

BALLAST HPF ballast circuit, starting rated at -20 deg F (-40 deg F for HPS). Ballast and other electrical components mounted directly to housing for excellent heat dissipation and long life.

FINISH TGIC thermoset polyester powder paint finish applied at nominal 2.5 mil thickness. Prior to painting all luminaires and mounting accessories should be thoroughly cleaned with acid and alkaline cleaners followed by the application of a chromate conversion coating.

LISTING UL 1598 listed and CSA certified for outdoor wet location applications.





South Harvard Avenue (Public Street)

1-STORY SPROUTS
(25,995 SF)

FF = 727.2

1-STORY RETAIL
(7,258 SF)

DETAIL SITE PLAN Part of Lot 1, Block 1 Harvard Square South Amended

DSP-1

WORK ORDER: 18070309 FILE NUMBER: 181328 DRAWING DATE: 8/17/2014

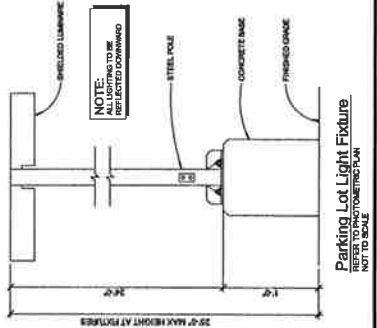
OWNER:
KIM & HANCOCK LLC
c/o Investment Real Estate, LLC
1111 East 1st Street
Tulsa, Oklahoma 74106

CIVIL ENGINEER/PLANNER:
K&H Engineering & Planning, Inc.
8111 East 1st Street
Tulsa, Oklahoma 74106



Legend

- 1 PARKING SPOT COUNTS
- BA = BUILDING SETBACK LINE
- UL = UTILITY EASEMENT
- WL = WATER LINE
- SW = SEWER LINE
- US = UNDERGROUND SANITARY
- UT = UNDERGROUND TELEPHONE
- PH = FIRE HYDRANT
- 0 = GAS LINE
- 800 LANDSCAPE AREA
- UP = LIGHT POLE REFER TO LIGHTING PLAN
- WALL FACE LIGHT
- PERO TRANSFORMER
- PEDESTRIAN SIDEWALK
- PEDESTRIAN CIRCULATION
- PEDESTRIAN CROSSWALK



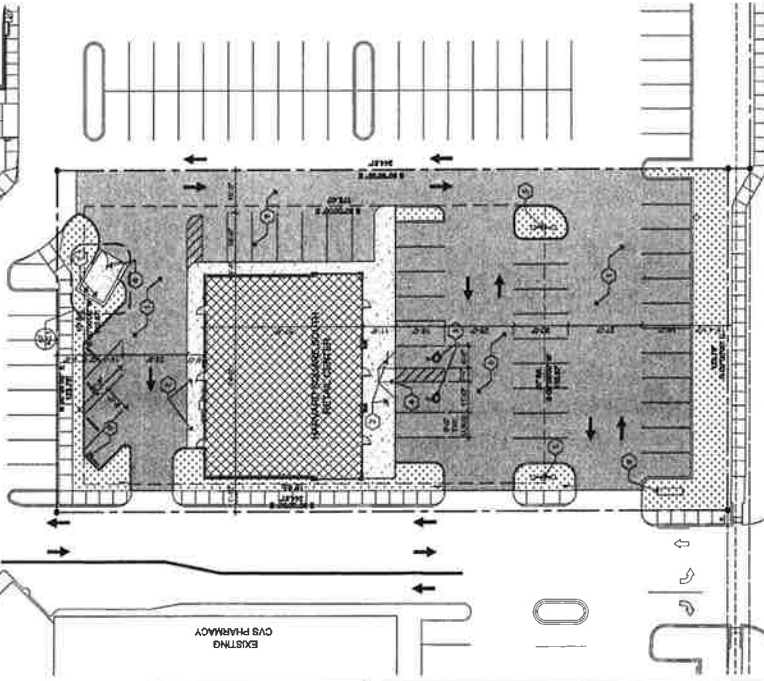
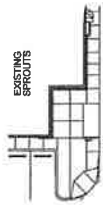
Parking Lot Light Fixture
NOT TO SCALE

SCALE: 1" = 20'



01.31

SITE PLAN SYMBOL LEGEND

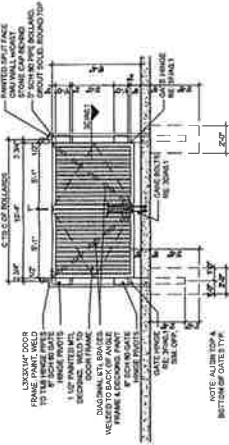


SITE KEYNOTES

1. NEW PAVING & 2" F. MAX.
2. NEW CONC. SIDEWALK
3. NEW BUILDING
4. NEW CONC. SIDEWALK
5. NEW PAVING
6. NEW ROAD
7. NEW BUILDING
8. NEW CONC. SIDEWALK
9. NEW PAVING
10. NEW ROAD

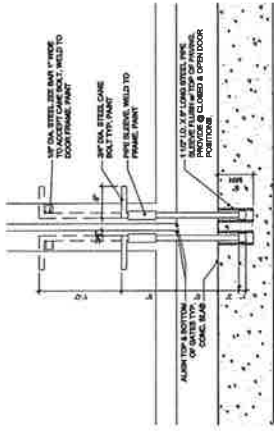
ARCHITECTURAL SITE PLAN

NOTE: REFER TO CIVIL ENGINEERING DRAWINGS FOR SITE WORK.



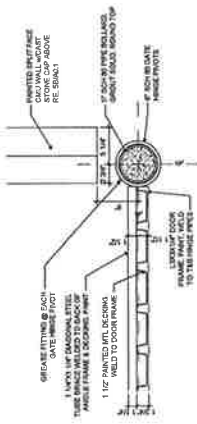
ENCLOSURE ELEVATION

1/4" = 1'-0"



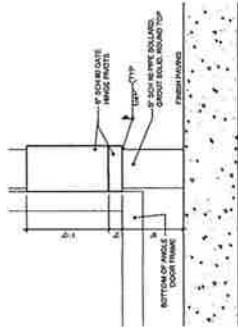
GATE BOLT ELEVATION

1/4" = 1'-0"



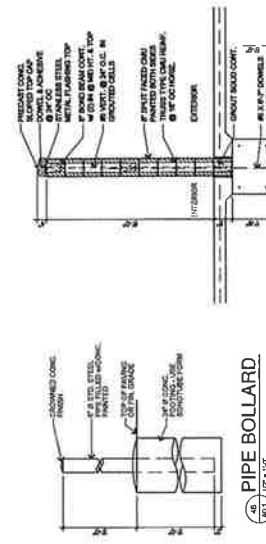
GATE HINGE DETAIL

1/4" = 1'-0"



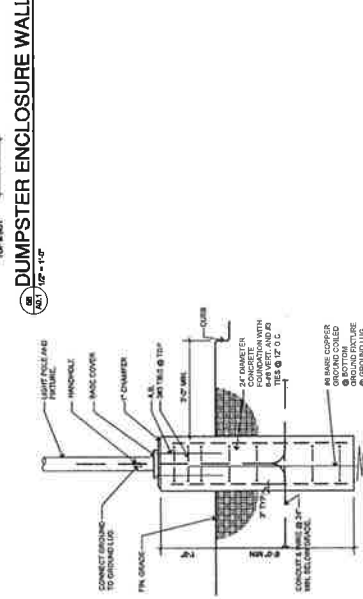
GATE HINGE ELEVATION

1/4" = 1'-0"



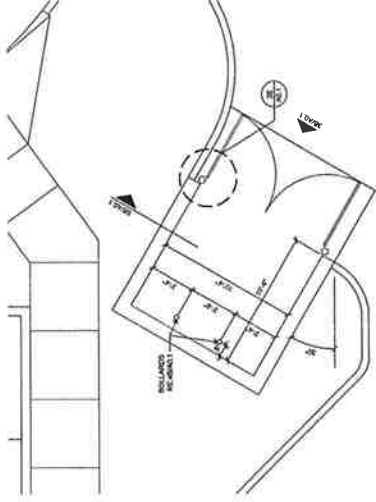
PIPE BOLLARD

1/4" = 1'-0"



LIGHT POLE BASE

1/4" = 1'-0"



DUMPSTER ENCLOSURE PLAN

1/4" = 1'-0"

JAMES CAMPBELL & ASSOCIATES, INC.
 1115 S. HARVARD AVE.
 SUITE 101
 BROKEN ARROW, OK 74601
 (918) 802-3360
 FAX (918) 802-3360
 COLUMBIA, MO 65201

ARCHITECTURE
 INTERIOR DESIGN
 LANDSCAPE ARCHITECTURE
 PROFESSIONAL SEAL

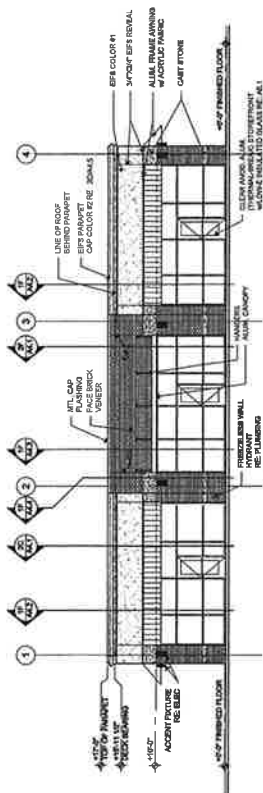
PROJECT
 NEW RETAIL CENTER
 4115 S. HARVARD AVE.
 TULSA, OK

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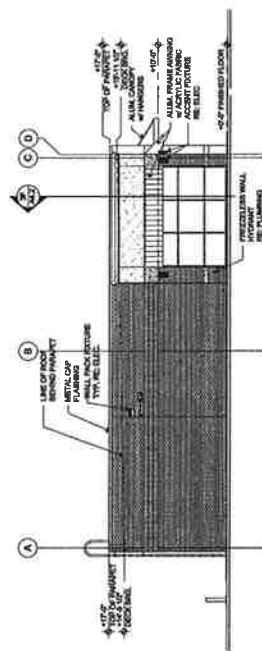
PROJECT NUMBER:
 ISSUE DATE:
 AUGUST 18, 2014
 EDITIONS:

ARCHITECTURAL SITE PLAN
 A0.1

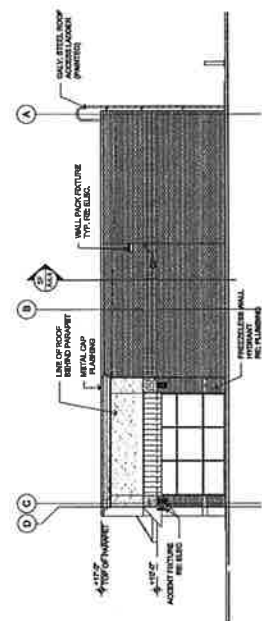
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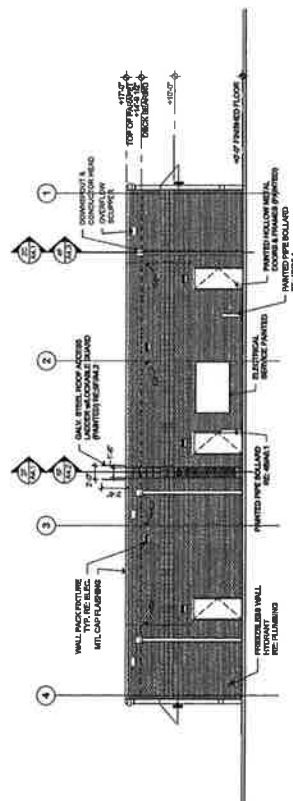
WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION

LOT-SPLIT

October 1, 2014

LS-20724

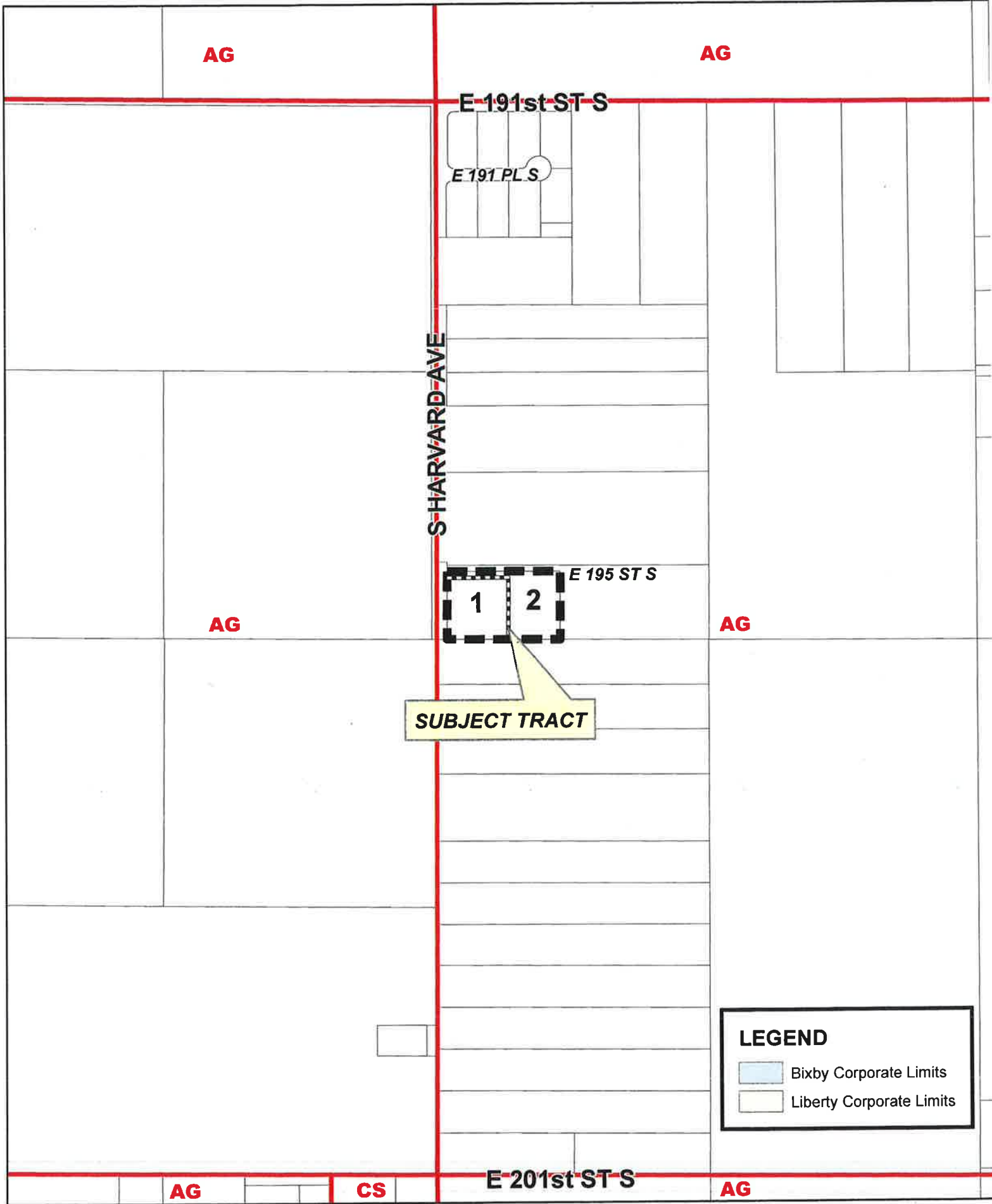
Mattie Rider/Joel Caldwell, (6309) (AG) (County)

**South of the southeast corner of East 191st Street South and South
Harvard Avenue**

The Lot-Split proposal is to split an existing AG (Agriculture) tract into two tracts. Both of the resulting tracts will meet the Bulk and Area Requirements of the Tulsa County Zoning Code.

Technical Advisory Committee met on September 18, 2014 and had no comments.

The proposed lot-split would not have an adverse affect on the surrounding properties and staff recommends **APPROVAL** of the lot-split and the waiver of the Subdivision Regulations that no lot have more than three side lot lines.



AG

AG

E 191st ST S

E 191 PL S

SHARVARD AVE

AG

AG

E 195 ST S

1

2

SUBJECT TRACT

LEGEND

- Bixby Corporate Limits
- Liberty Corporate Limits

AG

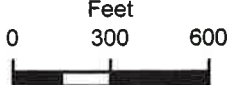
CS

E 201st ST S

AG

LS-20724

14.2



S HARVARD AVE

E 195 ST S

1

2

SUBJECT TRACT



Aerial Photo Date: March 2014

LS-20724

16-13 09

19.3

Note: Graphic overlays may not precisely align with physical features on the ground.





0 Feet 300 600

Aerial Photo Date: March 2014

LS-20724

16-13 09

Note: Graphic overlays may not precisely align with physical features on the ground.

14.4



LOT-SPLIT

October 1, 2014

LS-20726

Brad Little/Devin Little, (9028) (AG) (County)

**Northwest corner of West 51st Street South and South 229th West
Avenue**

The Lot-Split proposal is to split an existing AG (Agriculture) tract into two tracts. Both of the resulting tracts will meet the Bulk and Area Requirements of the Tulsa County Zoning Code.

Technical Advisory Committee met on September 18, 2014 and had no comments.

The proposed lot-split would not have an adverse affect on the surrounding properties and staff recommends **APPROVAL** of the lot-split and the waiver of the Subdivision Regulations that no lot have more than three side lot lines.



Feet
0 250 500

Aerial Photo Date: March 2014

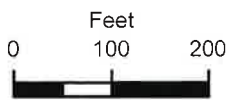
LS-20726

19-10 28

Note: Graphic overlays may not precisely align with physical features on the ground.

15.2





Aerial Photo Date: March 2014

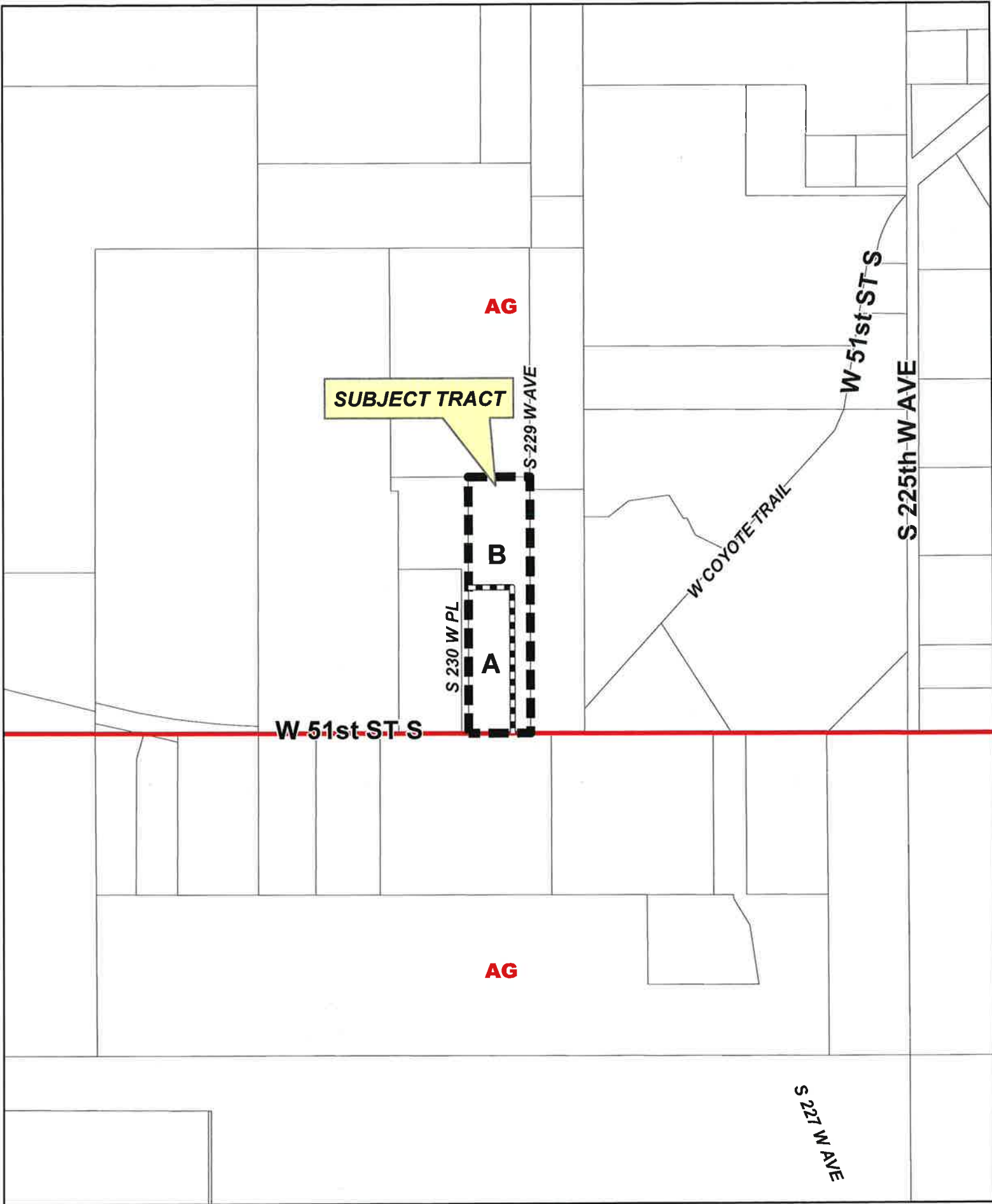
LS-20726

19-10 28

15.3

Note: Graphic overlays may not precisely align with physical features on the ground.





LS-20726

19-10 28

15.4





Tulsa Metropolitan Area
Planning Commission

Case: Battle Creek Park Plat

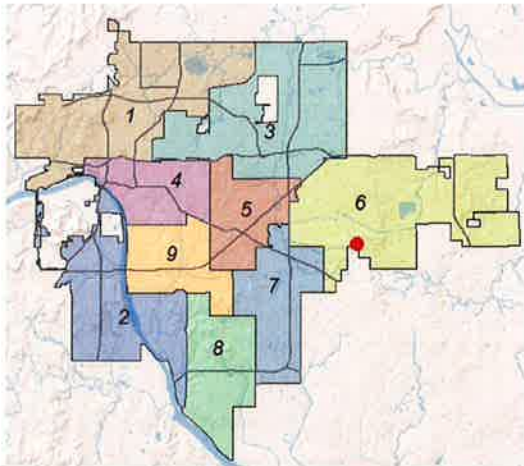
Hearing Date: October 1, 2014

Case Report Prepared by:
Diane Fernandez

Owner and Applicant Information:
Applicant: Barrick Rosenbaum, Rosenbaum Consulting

Owner: Glen Wood Homes, L.P.

Location Map:
(shown with City Council Districts)



Applicant Proposal:
Preliminary Subdivision Plat Approval

Tract Size: 73.7 ± acres

Location: South of East 31st Street South,
East of South 145th East Avenue

Zoning:
Existing Zoning: RS-3 (residential single family)

Staff Recommendation:
Staff recommends **approval**.

City Council District: 6
Councilor Name: Byron Steele
County Commission District: 1
Commissioner Name: John Smaligo

EXHIBITS:

INCOG Aerial
Subdivision Map
Corporate Limits Map
Land Use Map
Growth and Stability Map

16.1

PRELIMINARY SUBDIVISION PLAT

Battle Creek Park - (CD 6)

South of East 31st Street South, East of South 145th East Avenue

This plat consists of 269 Lots, 9 Blocks, 5 Reserve Areas, on 73.7 acres.

The following issues were discussed September 18, 2014, at the Technical Advisory Committee (TAC) meeting:

1. **Zoning:** The property is zoned RS-3 (residential single family). Additional stub streets will be needed to provide adequate connectivity.
2. **Streets:** Provide reference for 50 foot right-of-way along 41st Street or call out as "dedicated by this plat". Move label C21 to a legible area close to the curve. Use standard sidewalk language.
3. **Sewer:** Section III refers to an "FL/E" located along the north boundary of the subdivision. However, there is not one shown there on the plat. If an FL/E is added along the north boundary, then additional easement width will be required and the sanitary sewer line must be moved further away from the property line.
4. **Water:** Make the proposed 10 foot utility easement along the public roadway a 17.5 foot utility easement. The extension of a water mainline is required for serving the tract and lots.
5. **Storm Drainage:** No comment.
6. **Utilities: Telephone, Electric, Gas, Cable, Pipeline, Others:** Cox Cable will need additional side easements. Other additional easements may be needed.
7. **Other: Fire:** Fire hydrants will need to meet the spacing requirements of the International Fire Code 2009 ed., Appendix C and Section 507.5. This includes the frontage along 41st Street. If this development is gated then Knox access will be required.
8. **Other: GIS:** In the location map, show only the subdivision boundary, remove lot lines for clarity. Per subdivision regulations: spell out "Woodland Hills Center" in location map. Show point of beginning. Legal description does not match the plat. Label southwest corner of section and dimension from the section corner to the southwest corner of plat. Final plat will need proposed street names, addresses and area of each lot and reserve, along with address disclaimer. Do not show entrance islands in a reserve. These will need to be within the public right-of-way, with any permanent improvements completed under license agreement with the City of Tulsa. Remove reference to walls in last sentence of Section IA. Remove reference to trees in Section IE. Remove Section IF. Endorsement of preliminary plat is pending further review and discussion requested concerning connectivity and additional street stubs.

Staff recommends **APPROVAL** of the preliminary subdivision plat with the TAC recommendations and the special and standard conditions listed below.

Waivers of Subdivision Regulations:

1. None requested.

Special Conditions:

1. The concerns of the Development Services and Engineering Services staffs must be taken care of to their satisfaction.

Standard Conditions:

1. Utility easements shall meet the approval of the utilities. Coordinate with Subsurface Committee if underground plant is planned. Show additional easements as required. Existing easements shall be tied to or related to property line and/or lot lines.
2. Water and sanitary sewer plans shall be approved by the Public Works Department prior to release of final plat. (Include language for W/S facilities in covenants.)
3. Pavement or landscape repair within restricted water line, sewer line, or utility easements as a result of water or sewer line or other utility repairs due to breaks and failures shall be borne by the owner(s) of the lot(s).
4. Any request for creation of a Sewer Improvement District shall be submitted to the Public Works Department Engineer prior to release of final plat.
5. Paving and/or drainage plans (as required) shall be approved by the Public Works Department.
6. Any request for a Privately Financed Public Improvement (PFPI) shall be submitted to the Public Works Department.
7. A topography map shall be submitted for review by TAC (Subdivision Regulations). (Submit with drainage plans as directed.)
8. Street names shall be approved by the Public Works Department and shown on plat.
9. All curve data, including corner radii, shall be shown on final plat as applicable.
10. Bearings, or true N/S, etc., shall be shown on perimeter of land being platted or other bearings as directed by the County Engineer.
11. All adjacent streets, intersections and/or widths thereof shall be shown on plat.

12. It is recommended that the developer coordinate with the Public Works Department during the early stages of street construction concerning the ordering, purchase and installation of street marker signs. (Advisory, not a condition for plat release.)
13. It is recommended that the applicant and/or his engineer or developer coordinate with the Tulsa City/County Health Department for solid waste disposal, particularly during the construction phase and/or clearing of the project. Burning of solid waste is prohibited.
14. The method of sewage disposal and plans therefor shall be approved by the City/County Health Department. [Percolation tests (if applicable) are required prior to preliminary approval of plat.]
15. The owner(s) shall provide the following information on sewage disposal system if it is to be privately operated on each lot: type, size and general location. (This information to be included in restrictive covenants on plat.)
16. The method of water supply and plans therefor shall be approved by the City/County Health Department.
17. All lots, streets, building lines, easements, etc., shall be completely dimensioned.
18. The key or location map shall be complete.
19. A Corporation Commission letter, Certificate of Non-Development, or other records as may be on file, shall be provided concerning any oil and/or gas wells before plat is released. (A building line shall be shown on plat on any wells not officially plugged. If plugged, provide plugging records.)
20. A "Letter of Assurance" regarding installation of improvements shall be provided prior to release of final plat. (Including documents required under 3.6.5 Subdivision Regulations.)
21. Applicant is advised of his responsibility to contact the U.S. Army Corps of Engineers regarding Section 404 of the Clean Waters Act.
22. All other Subdivision Regulations shall be met prior to release of final plat.
23. All PUD standards and conditions shall be included in the covenants of the plat and adequate mechanisms established to assure initial and continued compliance with the standards and conditions.
24. Private streets shall be built to City or County standards (depending upon the jurisdiction in which the plat is located) and inspected and accepted by same prior to issuance of any building permits in the subdivision.

Basis of Bearings

ALL BEARINGS ARE REPORTED TO ALONG THE SOUTH LINE OF THE SECTION 14 EAST, TOWNSHIP 19 NORTH, RANGE 14 EAST, OF THE INDIAN BASE AND MERIDIAN.

Monumentation

ALL CORNERS SHOWN HEREON WERE SET USING A 3/4" x 1/2" STEEL PIN WITH A PLASTIC CAP EMBEDDED THEREIN AT ALL CORNERS.

Benchmark

SEE SHEET 1 FOR ALUMINUM CANTILEVER-TYPE "B" SET IN CONCRETE NORTHWEST OF 41ST STREET AND NORTH EAST AVE. (WASSET SET POSITION AND ELEVATION + 10.00 IN 1988).

Legend

ALL BUILDING STRUCTURE
P.C. - PRICES AND LANDSCAPE ELEMENTS
RES. - RESERVE
UTL. - UTILITY EASEMENT

Subdivision Statistics

SECTION 14 EAST, TOWNSHIP 19 NORTH, RANGE 14 EAST, OF THE INDIAN BASE AND MERIDIAN.

| Block | Acres | Lots |
|-----------|-------|---------|
| Block 1 | 24.00 | 24 LOTS |
| Block 2 | 24.00 | 24 LOTS |
| Block 3 | 24.00 | 24 LOTS |
| Block 4 | 24.00 | 24 LOTS |
| Block 5 | 24.00 | 24 LOTS |
| Block 6 | 24.00 | 24 LOTS |
| Block 7 | 24.00 | 24 LOTS |
| Block 8 | 24.00 | 24 LOTS |
| Block 9 | 24.00 | 24 LOTS |
| Block 10 | 24.00 | 24 LOTS |
| Block 11 | 24.00 | 24 LOTS |
| Block 12 | 24.00 | 24 LOTS |
| Block 13 | 24.00 | 24 LOTS |
| Block 14 | 24.00 | 24 LOTS |
| Block 15 | 24.00 | 24 LOTS |
| Block 16 | 24.00 | 24 LOTS |
| Block 17 | 24.00 | 24 LOTS |
| Block 18 | 24.00 | 24 LOTS |
| Block 19 | 24.00 | 24 LOTS |
| Block 20 | 24.00 | 24 LOTS |
| Block 21 | 24.00 | 24 LOTS |
| Block 22 | 24.00 | 24 LOTS |
| Block 23 | 24.00 | 24 LOTS |
| Block 24 | 24.00 | 24 LOTS |
| Block 25 | 24.00 | 24 LOTS |
| Block 26 | 24.00 | 24 LOTS |
| Block 27 | 24.00 | 24 LOTS |
| Block 28 | 24.00 | 24 LOTS |
| Block 29 | 24.00 | 24 LOTS |
| Block 30 | 24.00 | 24 LOTS |
| Block 31 | 24.00 | 24 LOTS |
| Block 32 | 24.00 | 24 LOTS |
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| Block 34 | 24.00 | 24 LOTS |
| Block 35 | 24.00 | 24 LOTS |
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| Block 38 | 24.00 | 24 LOTS |
| Block 39 | 24.00 | 24 LOTS |
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| Block 46 | 24.00 | 24 LOTS |
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| Block 48 | 24.00 | 24 LOTS |
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| Block 63 | 24.00 | 24 LOTS |
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| Block 67 | 24.00 | 24 LOTS |
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| Block 78 | 24.00 | 24 LOTS |
| Block 79 | 24.00 | 24 LOTS |
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| Block 81 | 24.00 | 24 LOTS |
| Block 82 | 24.00 | 24 LOTS |
| Block 83 | 24.00 | 24 LOTS |
| Block 84 | 24.00 | 24 LOTS |
| Block 85 | 24.00 | 24 LOTS |
| Block 86 | 24.00 | 24 LOTS |
| Block 87 | 24.00 | 24 LOTS |
| Block 88 | 24.00 | 24 LOTS |
| Block 89 | 24.00 | 24 LOTS |
| Block 90 | 24.00 | 24 LOTS |
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| Block 92 | 24.00 | 24 LOTS |
| Block 93 | 24.00 | 24 LOTS |
| Block 94 | 24.00 | 24 LOTS |
| Block 95 | 24.00 | 24 LOTS |
| Block 96 | 24.00 | 24 LOTS |
| Block 97 | 24.00 | 24 LOTS |
| Block 98 | 24.00 | 24 LOTS |
| Block 99 | 24.00 | 24 LOTS |
| Block 100 | 24.00 | 24 LOTS |

Battle Creek Park

A SUBDIVISION IN THE CITY OF TULSA, TULSA COUNTY, OKLAHOMA, BEING A PART OF THE SOUTH HALF OF SECTION TWENTY-TWO (22), TOWNSHIP NINETEEN (19) NORTH, RANGE FOURTEEN (14) EAST OF THE INDIAN BASE AND MERIDIAN, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF.

Owner / Developer

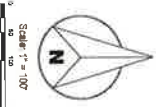
OKLAHOMA CITY, OKLAHOMA
2222 N. BROADWAY
WACONER, OKLAHOMA 74707
PHONE: (918) 438-1111
FAX: (918) 438-1112
WWW.WACONEROKLAHOMA.COM
OKLAHOMA CITY, OKLAHOMA
2222 N. BROADWAY
WACONER, OKLAHOMA 74707
PHONE: (918) 438-1111
FAX: (918) 438-1112
WWW.WACONEROKLAHOMA.COM

Engineer

ROBERT W. WACONER, P.E.
2222 N. BROADWAY
WACONER, OKLAHOMA 74707
PHONE: (918) 438-1111
FAX: (918) 438-1112
WWW.WACONEROKLAHOMA.COM
OKLAHOMA CITY, OKLAHOMA
2222 N. BROADWAY
WACONER, OKLAHOMA 74707
PHONE: (918) 438-1111
FAX: (918) 438-1112
WWW.WACONEROKLAHOMA.COM

Surveyor

ATLAS LAND OFFICE, LLC
222 SOUTH MAIN STREET
WACONER, OKLAHOMA 74707
PHONE: (918) 438-1111
FAX: (918) 438-1112
WWW.WACONEROKLAHOMA.COM
OKLAHOMA CITY, OKLAHOMA
2222 N. BROADWAY
WACONER, OKLAHOMA 74707
PHONE: (918) 438-1111
FAX: (918) 438-1112
WWW.WACONEROKLAHOMA.COM



FINAL PLAT
CERTIFICATE OF APPROVAL

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE TULSA METROPOLITAN AREA PLANNING COMMISSION ON:

DATE: _____

THIS APPROVAL IS VOID IF THIS PLAT IS NOT RECORDED WITHIN THE CITY OF TULSA, OKLAHOMA, OR BEFORE THE CITY ENGINEER.

CITY ENGINEER: _____

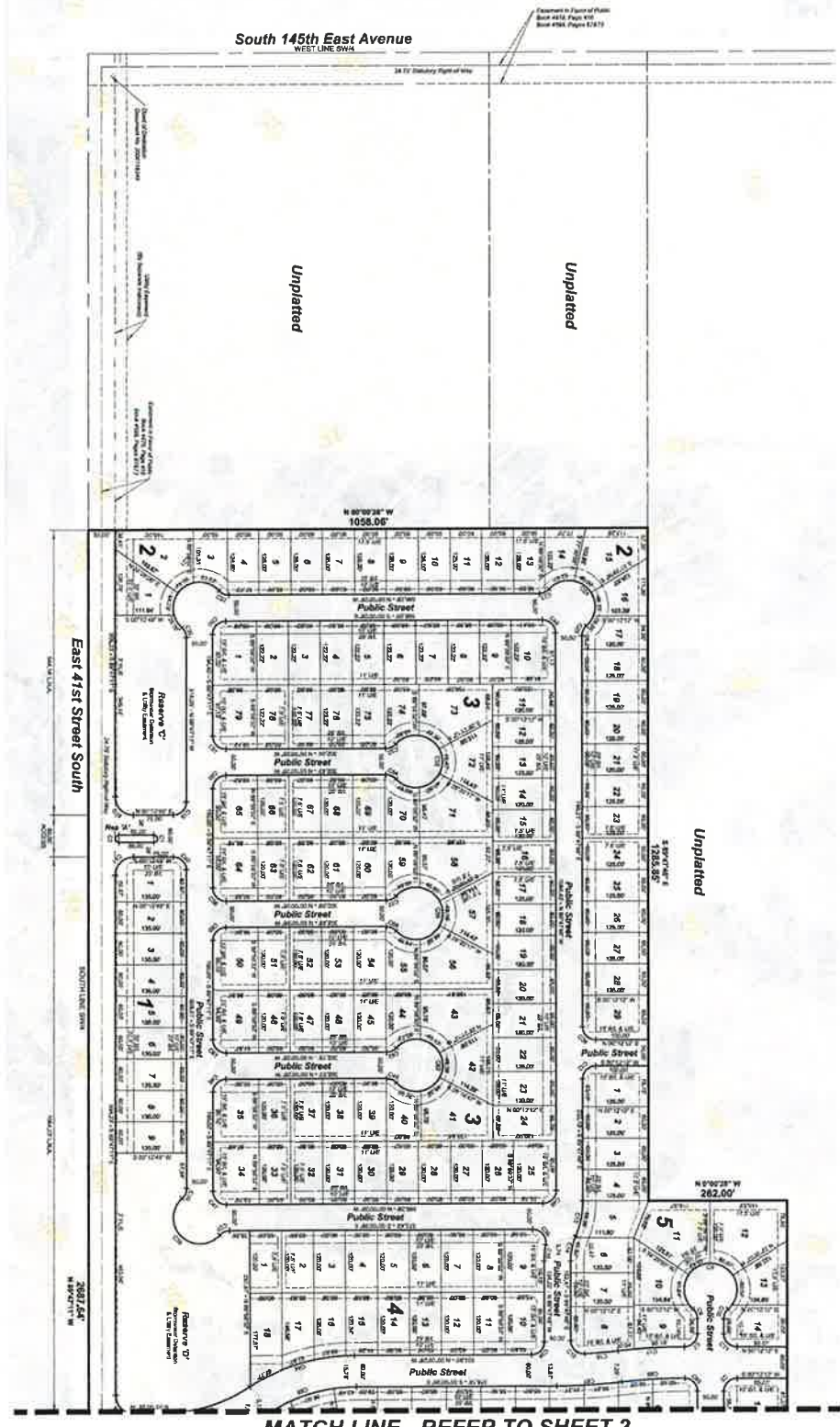
CITY ATTORNEY: _____

APPROVED BY THE COUNCIL OF THE CITY OF TULSA, OKLAHOMA:

DATE: _____

COUNTY OR CITY ENGINEER: _____

Preliminary Plat



Battle Creek Park

A SUBDIVISION IN THE CITY OF TULSA, OKLAHOMA BEING A PART OF THE SOUTH HALF OF SECTION TWENTY-TWO (22), TOWNSHIP NINETEEN (19) NORTH, RANGE FOURTEEN (14) EAST OF THE INDIAN BASE AND MERIDIAN, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF

Owner / Developer

GLANWOOD HOMES, L.P.
2222 N BROADWAY
SUITE 200
TULSA, OK 74104
MR. DAVID VALDIVIA

Engineer

POKESHA CONSULTING, LLC
2700 NORTH HARMON COURT, SUITE 111A
BROOKLYN, OKLAHOMA 74112
FAX: 918 451-5260
Email: pokesha@pokesha.com
C.A. # 8472 EXPIRES 6-30-2015

Surveyor

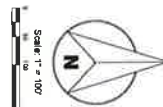
ATLAS LAND OFFICE, LLC
202 SOUTH MAIN STREET
TULSA, OKLAHOMA 74106
FAX: 918 451-5260
Email: atlaslandoffice.com
C.A. # 8732 EXPIRES 6-30-2016

Unplatted

Unplatted

| CURVE | ARC LENGTH | AREA | CH. IN. AREA | CHORD BEARING | CHORD LENGTH |
|-------|------------|------|--------------|---------------|--------------|
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| C2 | 21.38 | 7.00 | 180.0000 | N 89.4711° W | 14.00 |
| C3 | 21.38 | 7.00 | 180.0000 | N 89.4711° W | 14.00 |
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| C98 | 21.38 | 7.00 | 180.0000 | N 89.4711° W | 14.00 |
| C99 | 21.38 | 7.00 | 180.0000 | N 89.4711° W | 14.00 |
| C100 | 21.38 | 7.00 | 180.0000 | N 89.4711° W | 14.00 |

MATCH LINE - REFER TO SHEET 1



Scale 1" = 100'



Subdivision Statistics

SUBDIVISION CONTAINS TWO HUNDRED AND SIXTY-NINE (269) LOTS IN NINE BLOCKS (9) AND FIVE INTERLOCKED LOTS.

BLOCK 1 10 LOTS
BLOCK 2 10 LOTS
BLOCK 3 10 LOTS
BLOCK 4 10 LOTS
BLOCK 5 10 LOTS
BLOCK 6 10 LOTS
BLOCK 7 10 LOTS
BLOCK 8 10 LOTS
BLOCK 9 10 LOTS

CHARGE SUBDIVISION AREA 1.312 423 31 87 1724 ACRES

CERTIFICATE OF APPROVAL

I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED BY THE TULSA METROPOLITAN AREA PLANNING COMMISSION ON:

DATE: _____

CHAIRMAN: _____

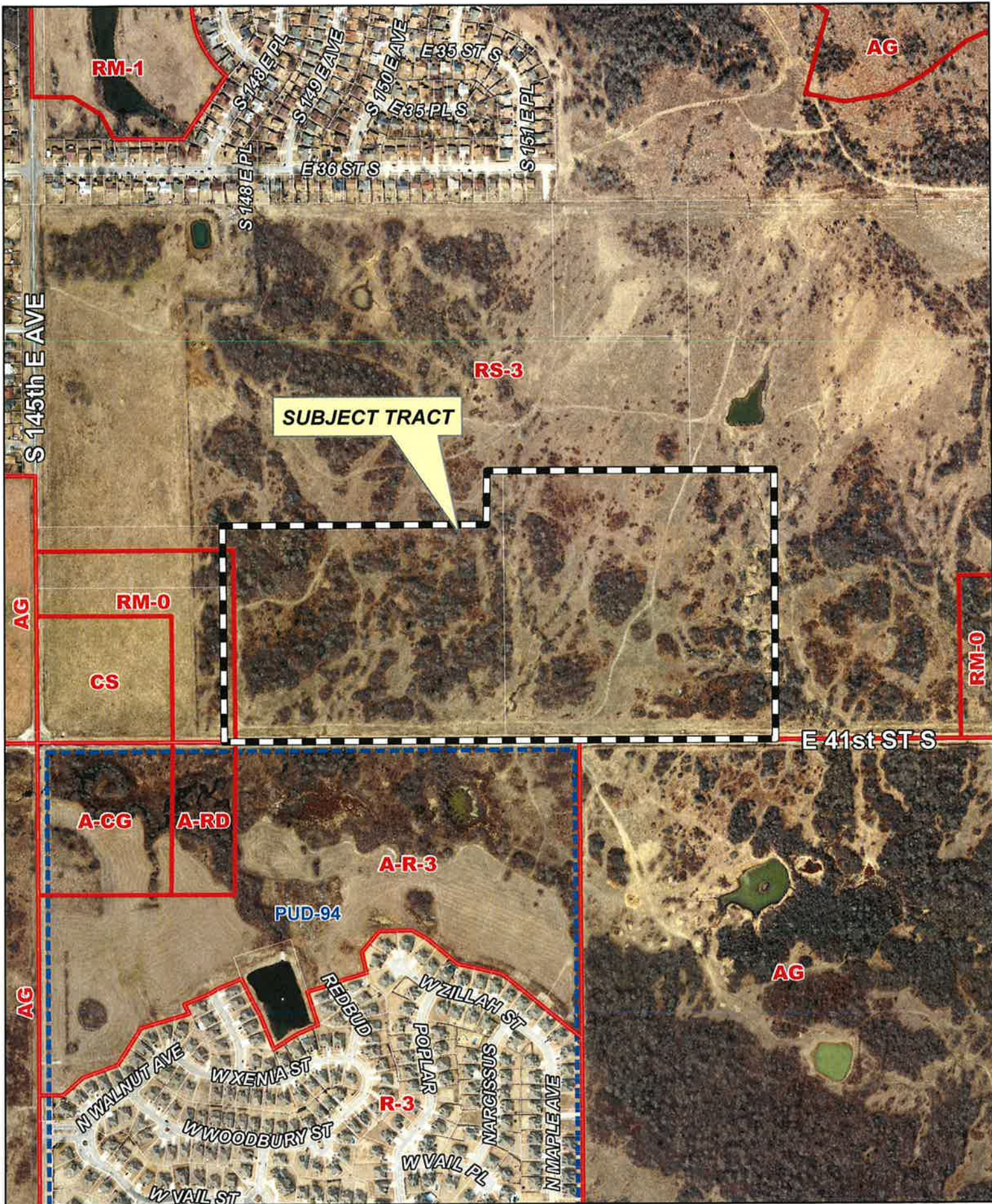
MANOR: _____

ATTNEY CITY CLERK: _____

APPROVED CITY ATTORNEY: _____

Preliminary Plat

COUNTY TREASURER STAMP



Aerial Photo Date: March 2014

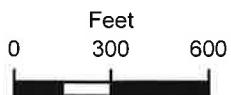
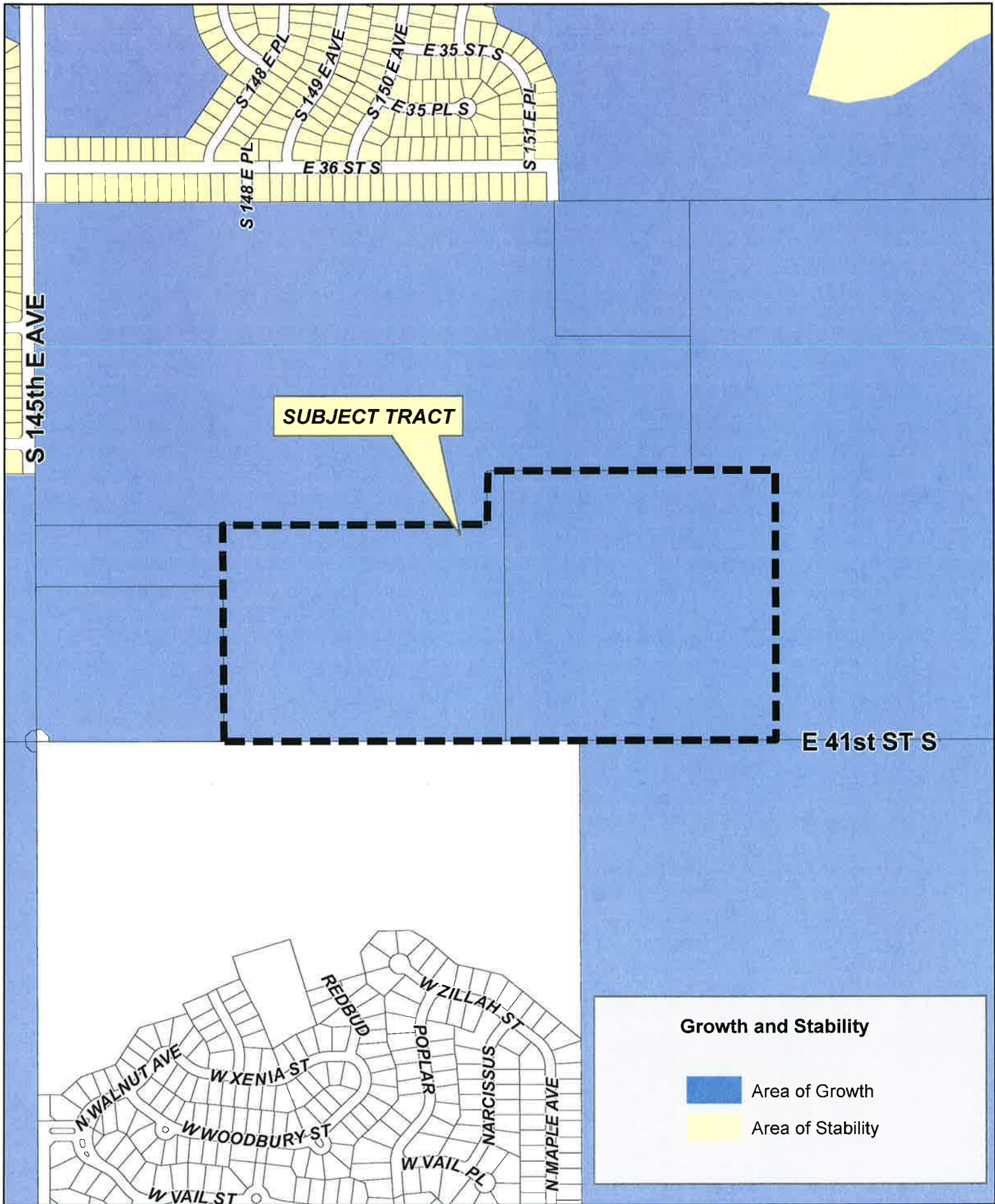
19-14 22

BATTLE CREEK PARK

16.7

Note: Graphic overlays may not precisely align with physical features on the ground.



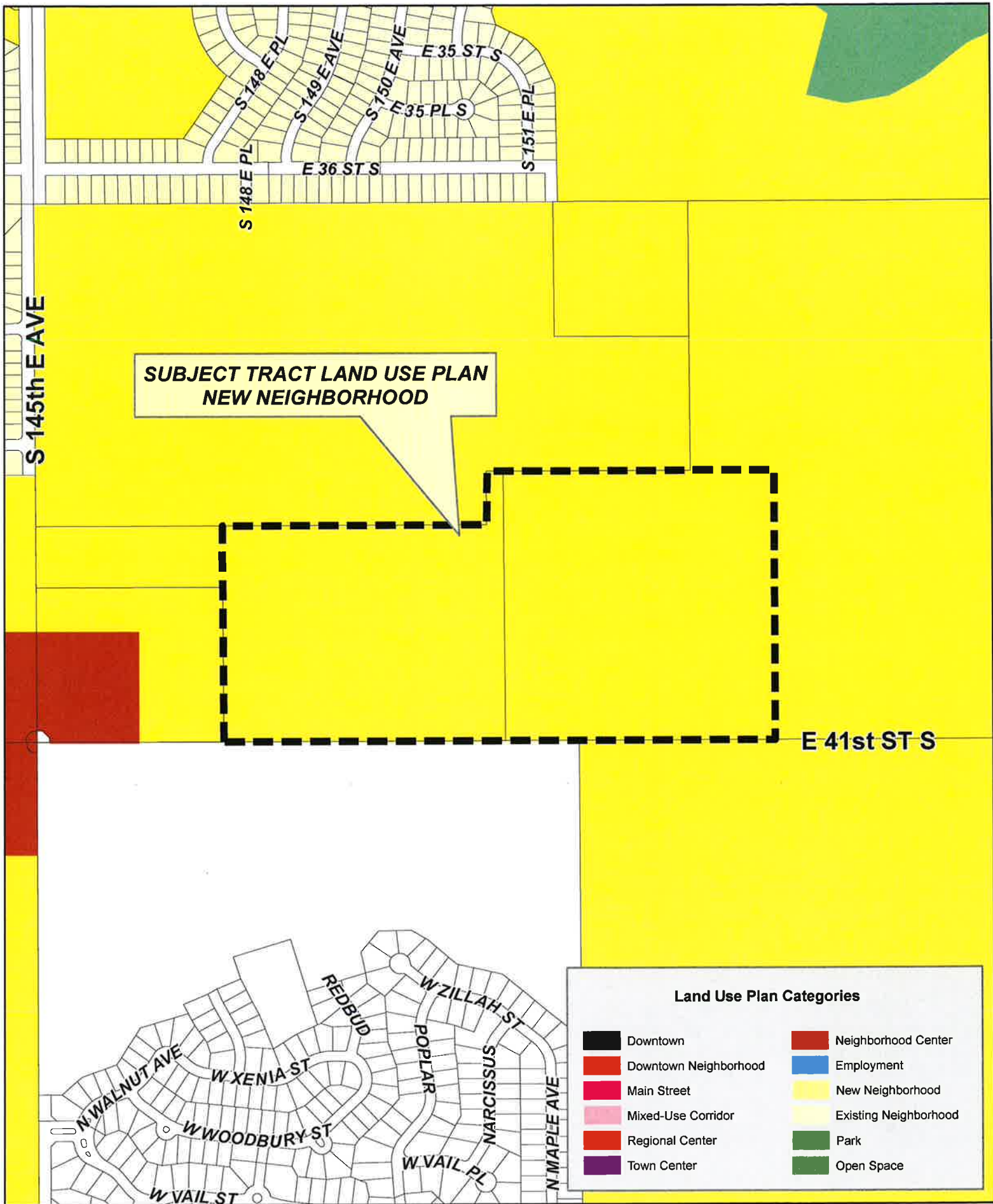


BATTLE CREEK PARK

19-14 22

16.8

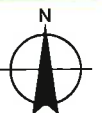


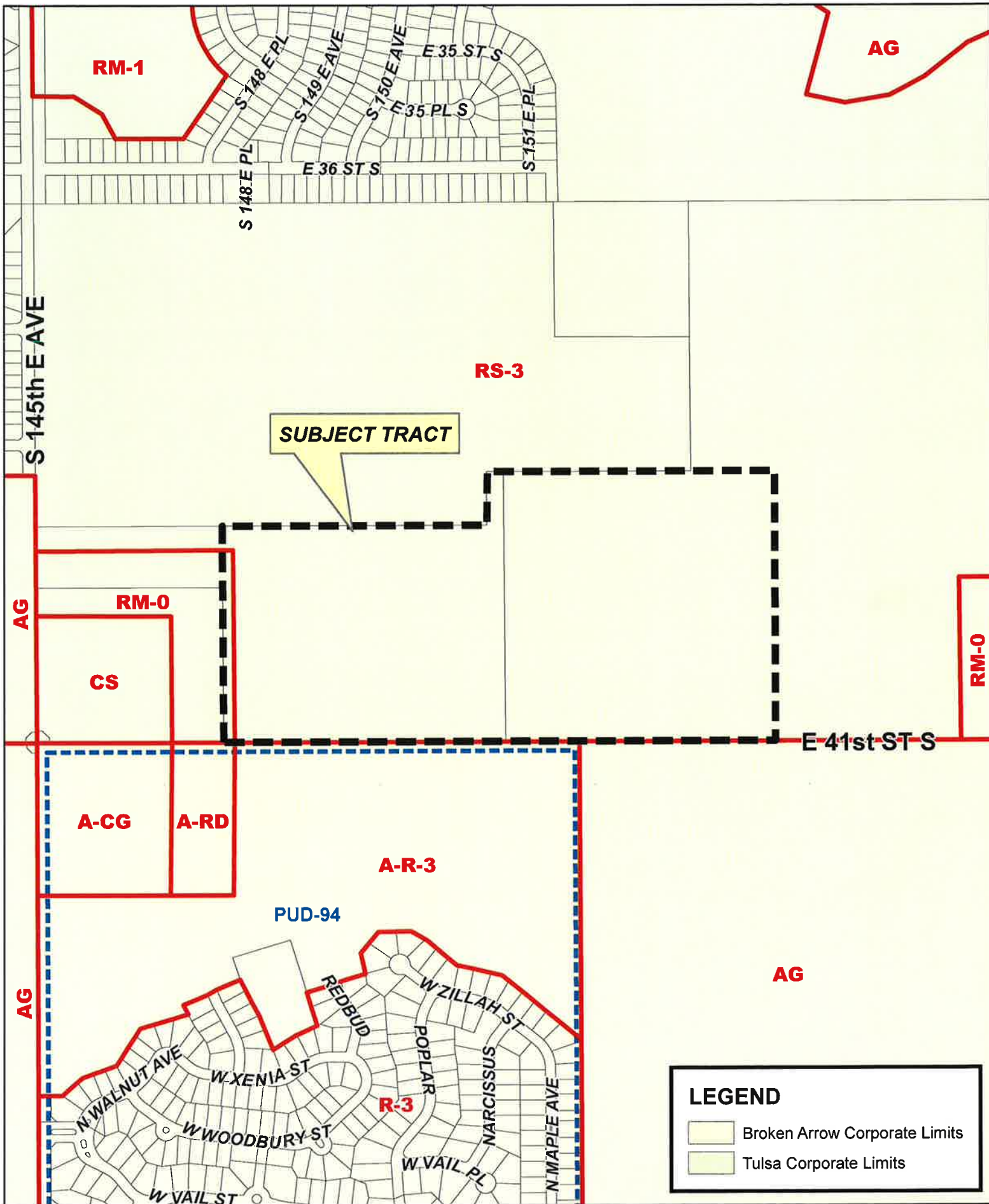


BATTLE CREEK PARK

19-14 22

16.9





BATTLE CREEK PARK

19-14 22

16.10



Tulsa Metropolitan Area
Planning Commission

Case Number: PUD-819

Hearing Date: 10/1/2014 1:30 PM

Case Report Prepared by:

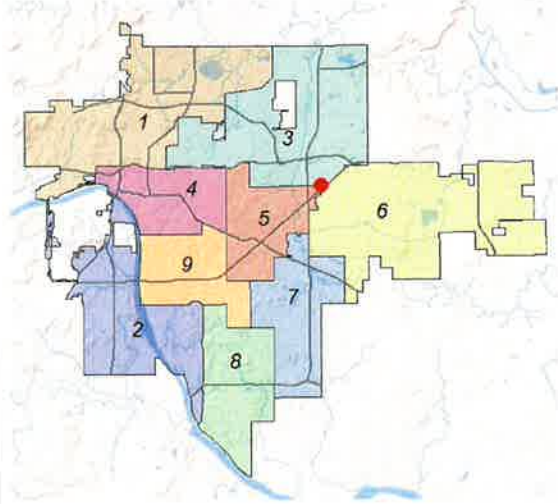
Dwayne Wilkerson

Owner and Applicant Information:

Applicant: Alan Betchan

Property Owner: Multiple owners

Location Map:
(shown with City Council Districts)



Applicant Proposal:

Present Use: Restaurant/ hotel

Proposed Use: Convenience store/ hotel

Concept summary: Existing hotel structure and new convenience store with integrated sign and landscape standards including shared access for a lot with no frontage on a public street.

Tract Size: : 5 ± acres

Location: Northeast corner of E. 11th St. & S. Garnett Rd.

Zoning:

Existing Zoning: CS

Proposed Zoning: CS/ PUD-819

Comprehensive Plan:

Land Use Map: Town Center

Stability and Growth Map: Area of Growth

Staff Recommendation:

Staff recommends approval.

Staff Data:

TRS: 9405

CZM: 39

Atlas: 856

City Council District: 3

Councilor Name: David Patrick

County Commission District: 1

Commissioner Name: John Smaligo

17.1

SECTION I: PUD-819

APPLICANTS DEVELOPMENT CONCEPT:

PUD 819 is a Planned Unit Development overlay of existing CS zoned parcels (see Exhibit A for existing zoning map) located on the northeast corner of 11th & Garnett. The PUD is bounded by a City of Tulsa regional detention facility on the north and east along with commercial developments on the opposing sides of both 11th Street and Garnett Road. The comprehensive plan designates the site as a Town Center which provides "retail, dining, and services and employment" that serve "a larger area of neighborhoods than Neighborhood centers". The plan further designates the PUD as an "Area of Growth" which emphasizes new and redevelopment of parcels. Both 11th Street and Garnett Road are classified as Secondary Arterial Multi-Model Streets on the Major Street and Highway Plan. Interstate 44 crosses both 11th Street and Garnett Road within 850 feet of the intersection.

Two hotels occupy the northern half of the PUD and will remain in place post development. The hotels are branded separately and will likely be owned and operated by different entities. A vacant restaurant currently occupies the southern half of the PUD and will be razed and replaced with a new QuikTrip convenience store. The parking for the store will extend easterly along 11th street covering a portion of the adjacent vacant parcel. The conceptual site plan for the project can be seen in the attached Exhibit B.

The purpose of this PUD is to allow the development of the QuikTrip convenience store in harmony with the surrounding development without creating nonconformities within the adjacent established parcels. The PUD consists of three development areas matching the above described development configuration (see the attached Exhibit C for development areas).

EXHIBITS:

- INCOG Case map
- INCOG Aerial (small scale)
- INCOG Aerial (large scale)
- Tulsa Comprehensive Plan Land Use Map
- Tulsa Comprehensive Plan Areas of Stability and Growth Map
- Applicant Exhibits:
 - Exhibit A: Existing Zoning Map
 - Exhibit B: Conceptual Development Plan
 - Exhibit C: Development Area map
 - Exhibit D: Existing Topo and Aerial
 - Exhibit E: Conceptual Access and Circulation Plan
 - Exhibit F: Conceptual Improvements Plan

PUD-819 DEVELOPMENT STANDARDS:

This PUD will consist of three development areas subject to the following development standards:

Land Area

Development Area A

Gross Lot Area 83,703 sq. ft. (1.922 ac)

Net Lot Area 66,811 sq. ft. (1.534 ac)

Development Area B

Gross Lot Area 27,134 sq. ft. (0.623 ac)

17.2

| | |
|--------------------|----------------------------|
| Net Lot Area | 27,134 sq. ft. (0.623 ac) |
| Development Area C | |
| Gross Lot Area | 128,496 sq. ft. (2.950 ac) |
| Net Lot Area | 76,659 sq. ft. (1.760 ac) |
| Total | |
| Gross Lot Area | 239,332 sq. ft. (5.495 ac) |
| Net Lot Area | 170,604 sq. ft. (3.917 ac) |

Permitted Uses

Uses permitted by right (including all uses customarily accessory thereto) within the following Use Units:

- Use Unit 10: Off-Street Parking
- Use Unit 12: Eating Establishments other than Drive-ins
- Use Unit 13: Convenience Goods and Services
- Use Unit 14: Shopping Goods and Services
- Use Unit 19: Hotel, Motel and Recreational Facilities (Development Areas A & B only)

Maximum Building Area

| | |
|--------------------|---------------------------|
| Development Area A | 35,000 sq. ft. (FAR 0.42) |
| Development Area B | 15,000 sq. ft. (FAR 0.55) |
| Development Area C | 6,500 sq. ft. (FAR 0.05) |
| Total | 56,500 sq. ft. (FAR 0.24) |

Minimum Building Setbacks

| | |
|--|------|
| From centerline of 11 th Street | 108' |
| From centerline of Garnett Road | 100' |

For the purposes of interpreting this PUD building setbacks will not be applied to fuel canopies.

Maximum Building Height

| | |
|--------------------|---------------|
| Development Area A | 40' (2 Story) |
| Development Area B | 40' (2 Story) |
| Development Area C | 35' (1 Story) |

Parking

Within Development Areas A & B off street parking as required by a Use Unit 19 shall be 0.8 parking spaces for each sleeping room. All other uses within any development area shall provide off street parking as required by the zoning code.

The parking requirements may be shared within the boundary of the PUD regardless of their location relative to the use, development area boundaries or lot lines.

Lighting

All lighting standards shall be constructed in a manner that prevents visibility of the light emitting element from adjacent residentially zoned properties. No lighting standard shall exceed 30'.

Signage

Signage shall be limited to the following:

Sign Description

1. One double faced ground sign not exceeding 20' in height or 100 square feet of display surface area per side shall be permitted along Garnett Road within Development Area C. This sign shall be for the exclusive use of Development Area C.
2. One double faced ground sign not exceeding 20' in height or 100 square feet of display surface area per side shall be permitted along 11th Street. This sign shall be for the exclusive use of Development Area C.
3. One double sided pole sign not exceeding 45' in height shall be permitted along Garnett Road within Development Area A, provided it does not exceed 300 square feet of display surface area per side. This sign shall be for the exclusive use of Development Area A.
4. One double sided pole sign not exceeding 60' in height or 360 square feet of display surface area per side, shall be permitted within the eastern 50 feet of Development Area C. This sign shall be for the exclusive use of Development Area C. This sign will replace the existing sign that was approved by the Board of Adjustment in 1965.
5. One double sided pole sign not exceeding 50' in height or 540 square feet of display surface area per side, shall be permitted within the eastern 30 feet of Development Area C. This sign shall be for the exclusive use of Development Areas A & B.
6. Wall and canopy signs shall be limited to 2 square feet per linear foot of building or canopy wall to which the signs are affixed.
7. No roof or projecting signs shall be permitted.
8. Directional signage shall be allowed within adjacent development areas provided any such signs are less than 5' in height and less than 25 square feet of display surface area per side. Such signage shall not be counted toward the above signage requirements.

Screening

All trash and mechanical areas (excluding utility service pedestals, transforms and equipment provided by franchise utility providers) shall be screened from public view. A fabric mesh with a minimum opacity of 95% shall be allowed on enclosure doors.

Landscaping

The following landscape standards shall govern within this PUD:

Minimum internal landscaped space

| | |
|-------------------------|-----|
| Development Areas A & B | 15% |
| Development Area C | 9% |

Street Yard Requirements:

The minimum building setbacks defined above will be used for street yard calculations.

Garnett Avenue:

| | |
|---------------------------------------|----|
| Minimum Landscape Width | |
| Development Area A | 0' |
| Development Area C | 5' |
| (Except at areas of vehicular access) | |

Minimum Landscape Percentage

17.4

| | |
|--------------------|-----|
| Development Area A | 15% |
| Development Area C | 30% |

| | |
|-------------------------|-----------------|
| Minimum Number of Trees | |
| Development Area A | 1/1,200 Sq. Ft |
| Development Area C | 1/1,000 Sq. Ft. |

| | |
|---------------------------------------|---------------|
| 11 th Street | |
| Minimum Landscape Width | 5' |
| (Except at areas of vehicular access) | |
| Minimum Landscape Percentage | 20% |
| Minimum Number of Trees | 1/750 Sq. Ft. |

Parking Tree Requirements:

A landscaped island shall not be required within any prescribed distance of a parking space provided 1 tree be provided outside of the street yard for every 10 parking spaces.

VEHICULAR ACCESS AND CIRCULATION:

Vehicular access to the property will be provided by one 35' access drive and one 30' access drive on 11th Street and one 35' access drive to Garnett Road. The 11th Street median will be modified to accommodate a left turn lane for the southeast drive onto 11th Street and improve the vehicular circulation to the site. The drive onto Garnett Road be will constructed at approximately the same location as the existing drive onto the hotel properties. This drive will provide a common access point for all the development areas and will be memorialized by a mutual access easement. A mutual access easement will also be provided from the southeast access drive along 11th Street north to Development Area B. A portion of this drive will encroach on the City owned property currently used for a detention facility to the east of the PUD. A perpetual easement accommodating this drive will be acquired from the City of Tulsa.

The attached Exhibit E depicts the vehicular and pedestrian access points and circulation anticipated by the conceptual site plan.

PEDESTRIAN ACCESS:

Sidewalks will be constructed or maintained along the streets abutting the PUD. A new 5' sidewalk will be constructed along the south side of Development Area C in the 11th Street right of way. A dedicated and fully ADA compliant sidewalk connection will be constructed from the western QuikTrip entrances to the newly constructed Garnett Road sidewalk.

PLATTING REQUIRMENT:

The property has been previously platted however a new plat is being prepared for convenience of the owner. A building permit may be issued prior to filing the new plat.

No building permit shall be issued until a detailed site plan and a detailed landscape plan is submitted to and approved by the Tulsa Metropolitan Area Planning Commission.

No sign permit shall be issued until a detailed sign plan is submitted to and approved by the Tulsa Metropolitan Area Planning Commission.

EXPECTED SCHEDULE OF DEVELOPMENT:

Development is expected to begin mid fall of 2014 with construction complete roughly ten months thereafter.

DETAILED STAFF RECOMMENDATION:

PUD 819 is consistent with the Town Center Designation of the Comprehensive Plan, and

The proposed redevelopment is in harmony with the existing and expected development of the surrounding area, and

The PUD provides a unified treatment of the development possibilities of the project site; and

PUD 819 is consistent with the stated purposes and standards of Chapter 11 of the Tulsa Zoning Code; therefore

Staff recommends Approval of PUD-819 as outlined in Section I above.

SECTION II: Supporting Documentation

RELATIONSHIP TO THE COMPREHENSIVE PLAN:

Staff Summary: The combination of these properties into a common PUD will provide a mixed use opportunity for the future and will provide sign guidance and development standards that will allow future redevelopment that is consistent with the Town Center designation of the Comprehensive Plan. The proposed convenience store will provide retail, services and employment opportunities.

Land Use Vision:

Land Use Plan map designation: Town Center

Town Centers are medium-scale; one to five story mixed-use areas intended to serve a larger area of neighborhoods than Neighborhood Centers, with retail, dining, and services and employment. They can include apartments, condominiums, and townhouses with small lot single family homes at the edges. A Town Center also may contain offices that employ nearby residents. Town centers also serve as the main transit hub for surrounding neighborhoods, and can include plazas and squares for markets and events. These are pedestrian-oriented centers designed so visitors can park once and walk to number of destinations.

Areas of Stability and Growth designation: Area of Growth

The purpose of an Area of Growth is to direct the allocation of resources and channel growth to where it will be beneficial and can best improve access to jobs, housing, and services with fewer and shorter

auto trips. Areas of Growth are parts of the city where general agreement exists that development or redevelopment is beneficial. As steps are taken to plan for, and, in some cases, develop or redevelop these areas, ensuring that existing residents will not be displaced is a high priority. A major goal is to increase economic activity in the area to benefit existing residents and businesses, and where necessary, provide the stimulus to redevelop.

Areas of Growth are found throughout Tulsa. These areas have many different characteristics but some of the more common traits are in close proximity to or abutting an arterial street, major employment and industrial areas, or areas of the city with an abundance of vacant land. Also, several of the Areas of Growth are in or near downtown. Areas of Growth provide Tulsa with the opportunity to focus growth in a way that benefits the City as a whole. Development in these areas will provide housing choice and excellent access to efficient forms of transportation including walking, biking, transit, and the automobile.

Transportation Vision:

Staff Comment: The development both Secondary Arterial Streets has reached is anticipated maximum pavement width. The street right-of-way exceeds the anticipated maximum width defined in the Major Street and highway plan. The future development of this street as a multi modal corridor is not compromised by this PUD and in fact will encourage multi modal uses as this part of Tulsa continues to evolve and become denser in population.

Major Street and Highway Plan: Both Garnett and East 11th Street South are considered Multimodal Corridors in the Major Street and highway plan.

Multi-modal streets emphasize plenty of travel choices such as pedestrian, bicycle and transit use. Multimodal streets are located in high intensity mixed-use commercial, retail and residential areas with substantial pedestrian activity. These streets are attractive for pedestrians and bicyclists because of landscaped medians and tree lawns. Multi-modal streets can have on-street parking and wide sidewalks depending on the type and intensity of adjacent commercial land uses. Transit dedicated lanes, bicycle lanes, landscaping and sidewalk width are higher priorities than the number of travel lanes on this type of street. To complete the street, frontages are required that address the street and provide comfortable and safe refuge for pedestrians while accommodating vehicles with efficient circulation and consolidated-shared parking.

Streets on the Transportation Vision that indicate a transit improvement should use the multi-modal street cross sections and priority elements during roadway planning and design.

Trail System Master Plan Considerations: None:

Small Area Plan: None

Special District Considerations: None

Historic Preservation Overlay: None

DESCRIPTION OF EXISTING CONDITIONS:

Staff Summary: The site is a redevelopment of an existing hotel and restaurant site. There are no existing conditions that significantly affect the redevelopment of the site that have not been addressed in this PUD. One existing 60 foot tall sign on site was allowed by the Board of Adjustment in 1965. This sign is not allowed by our existing code however the permission was granted and this PUD

Environmental Considerations: None.

Streets:

| <u>Exist. Access</u> | <u>MSHP Design</u> | <u>MSHP R/W</u> | <u>Exist. # Lanes</u> |
|------------------------------|---|-----------------|-----------------------|
| East 11 th Street | Secondary Arterial with Multimodal Overlay | 100 feet | 6+ |
| South Garnett Road | Secondary Arterial with Multi modal overlay | 100 feet | 6 |

Utilities:

Water service will be provided by an existing 12" City of Tulsa waterline located within the Garnett Road right of way. An existing 8" line also lies along the northern and eastern boundary lines of the PUD and provides fire protection coverage for the development.

An existing 8" sanitary sewer line exists along the western boundary of Development Area A. This existing line crosses Development Area A toward the south and then parallels 11th Street. The portion of the line crossing Development Area A will be relocated north and east of the proposed QuikTrip building with the existing line being removed prior to construction. This relocated line will also provide sanitary sewer service to Development Area A.

Other utility services are currently provided to the PUD and will continue to be provided via underground or overhead services. See attached Exhibit F for the conceptual improvements plan which depicts the proposed utility routings.

Surrounding Properties: The subject tract is abutted on all sides by previously developed commercial property and a stormwater detention facility. There is no significant impact to abutting properties.

SECTION III: Relevant Zoning History

ZONING ORDINANCE: Ordinance number 11817 dated June 26, 1970, established zoning for the subject property.

Subject Property:

BOA-5262 November 9, 1966: The Board of Adjustment approved a 60 ft. pole sign, on the subject property, located on the northeast corner of E. 11th St. and S. Garnett Rd.

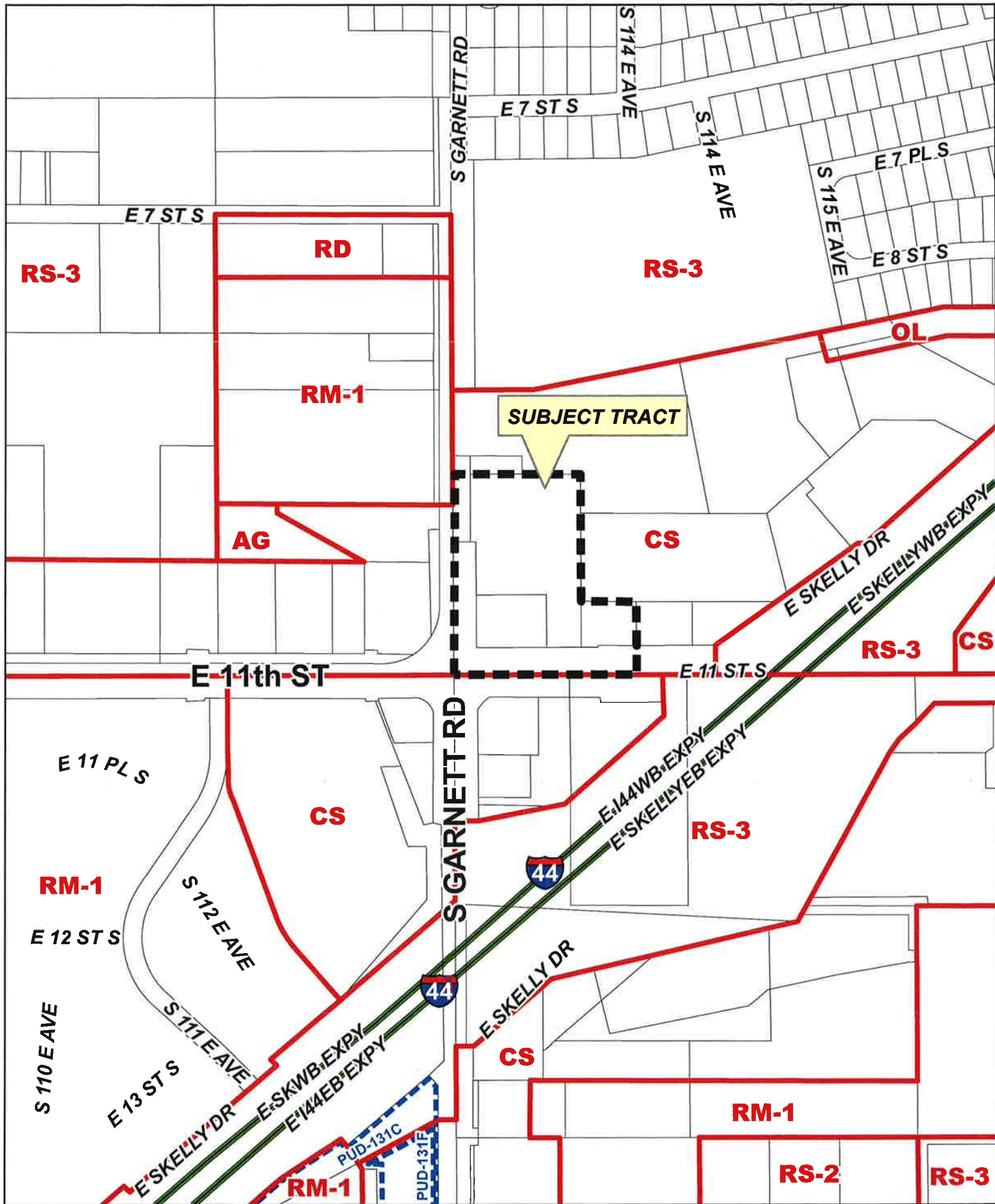
Surrounding Property:

BOA-17995 April 14, 1998: The Board of Adjustment approved a Variance to allow a replacement sign on a nonconforming sign of 57 ft., no change in location or display surface area, on property located at 1115 S. Garnett Rd.; also known as the southeast corner of E. 11th St. and S. Garnett Rd.

BOA-15964 March 10, 1992: The Board of Adjustment approved a Variance of the allowed signage from 672 sq. ft. to 794 sq. ft. to add additional signs, per plot plan, on property located at 1130 S. Garnett Rd. ; also known as the southwest corner of E. 11th St. and S. Garnett Rd.

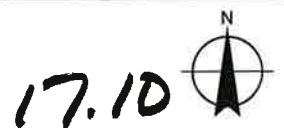
BOA-5843 May 7, 1968: A request was made for 57 ft. high pole sign. The Board of Adjustment approved a Variance to increase the permitted sign height from 30 ft. to 50 ft. for a pole sign, on property located at on the southeast corner of E. 11th St. and S. Garnett Rd.

10/1/2014 1:30 PM



PUD-819

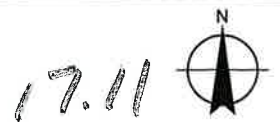
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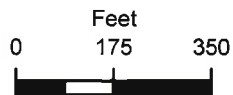
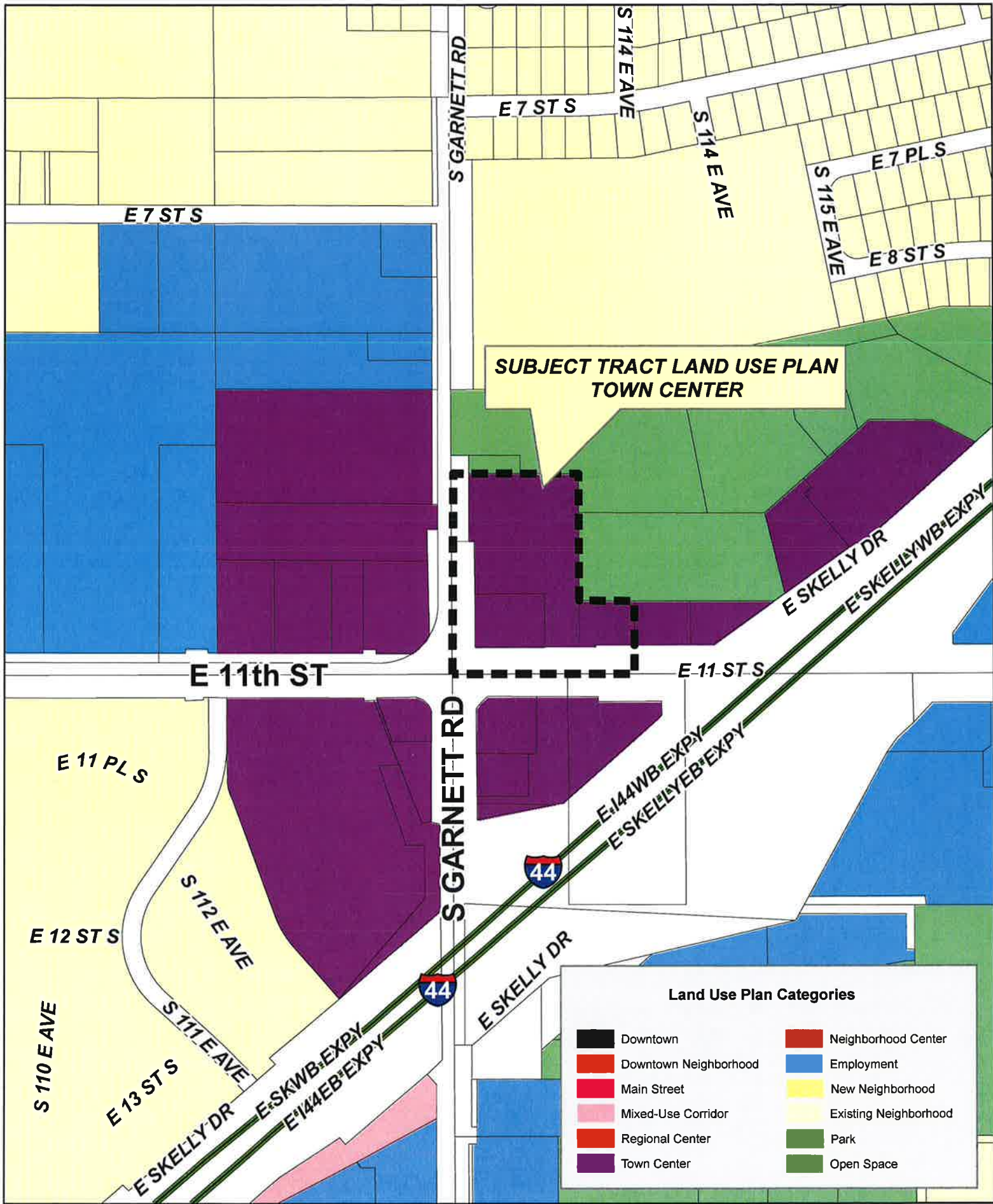




PUD-819

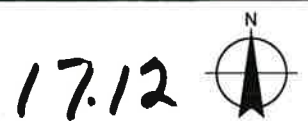
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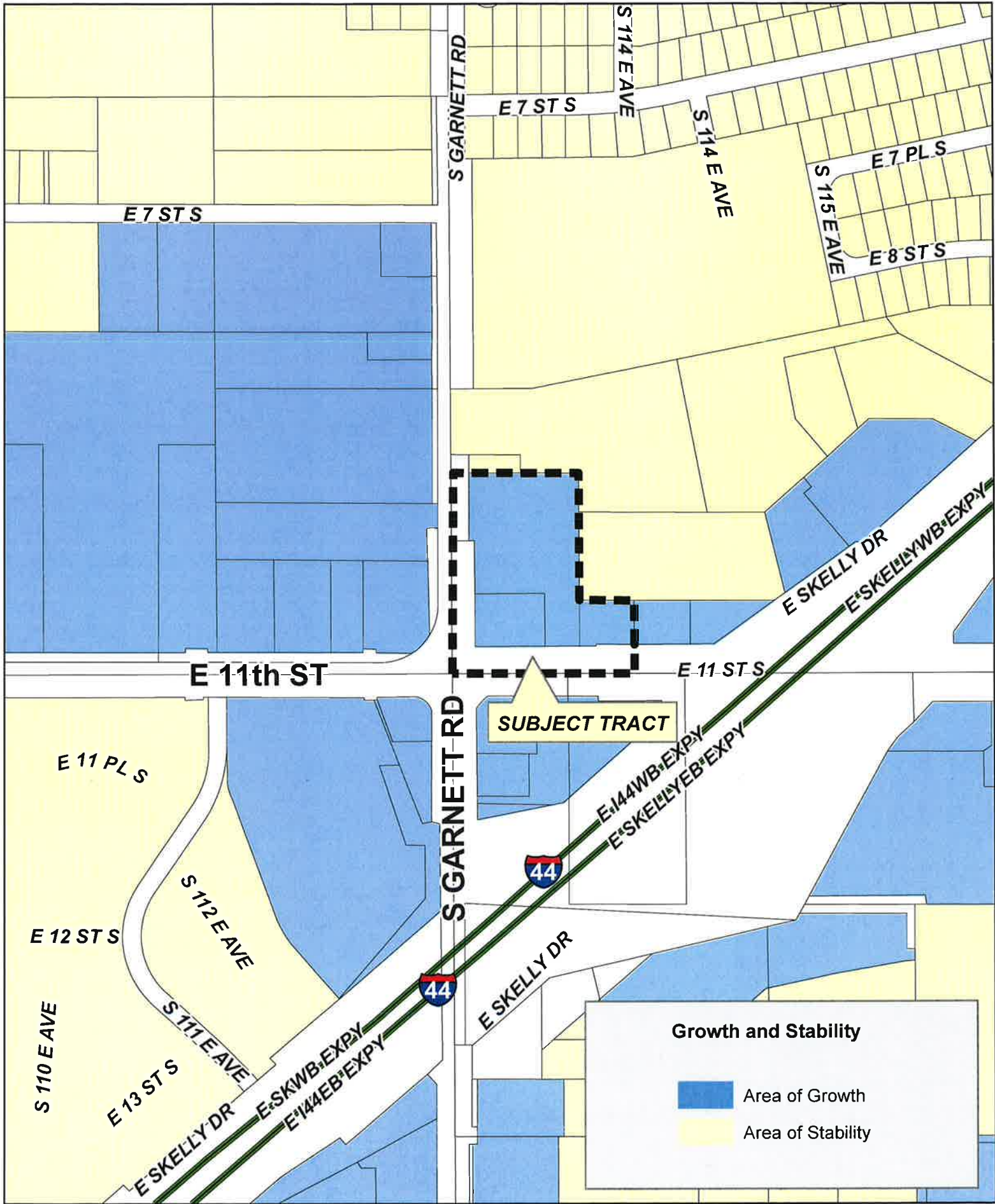




PUD-819

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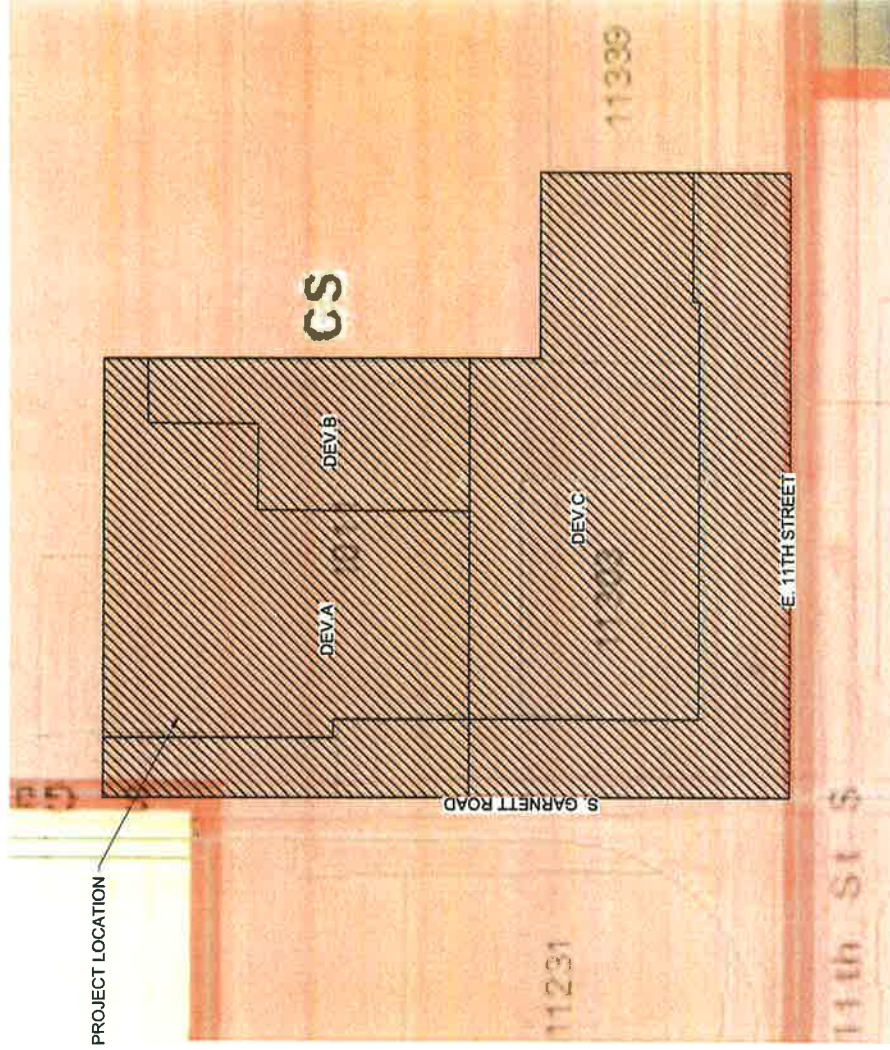
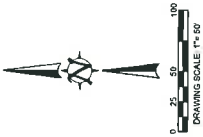


Feet
0 175 350

Exhibit A

Existing Zoning Map
for

QuikTrip #0074



AAB Engineering, LLC



Engineering • Land Planning

Professional Seal
OK CA#03318 Exp. June 30, 2014
Office: (918) 514-4283 Fax: (918) 514-4288

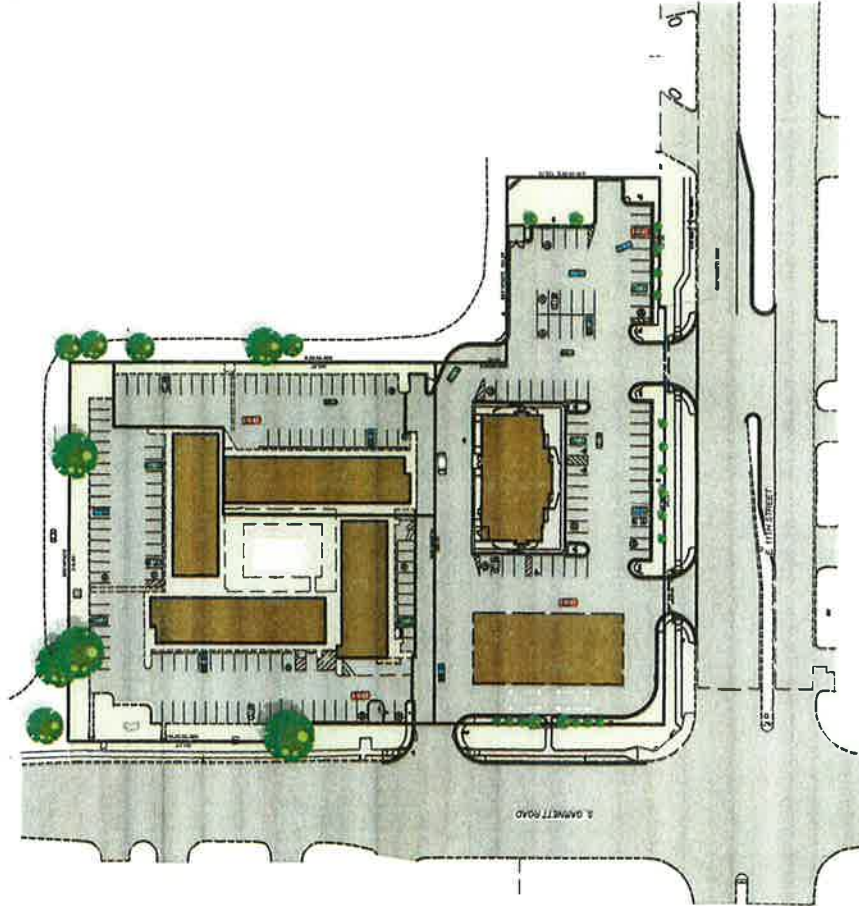
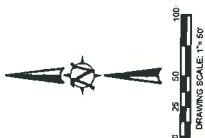


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Exhibit B

Conceptual Development Plan for

QuikTrip #0074



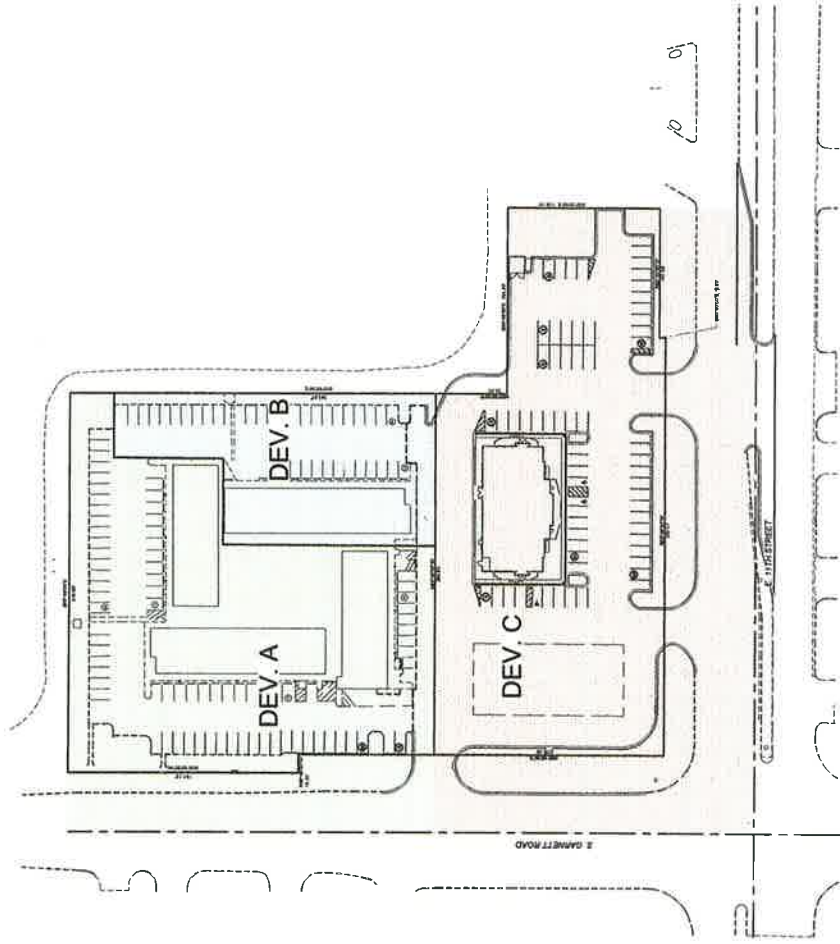
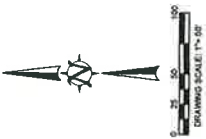
AAB Engineering, LLC
AAB
 Engineering • Land Planning
 PO Box 2136 Sand Springs, OK 74063
 OK 74063-0136
 Office (918) 514-4263 Fax (918) 514-4268



17.15

Exhibit C
Developmental Area
for

QuikTrip #0074



17.14

Exhibit D
Existing Topo and Aerial
for

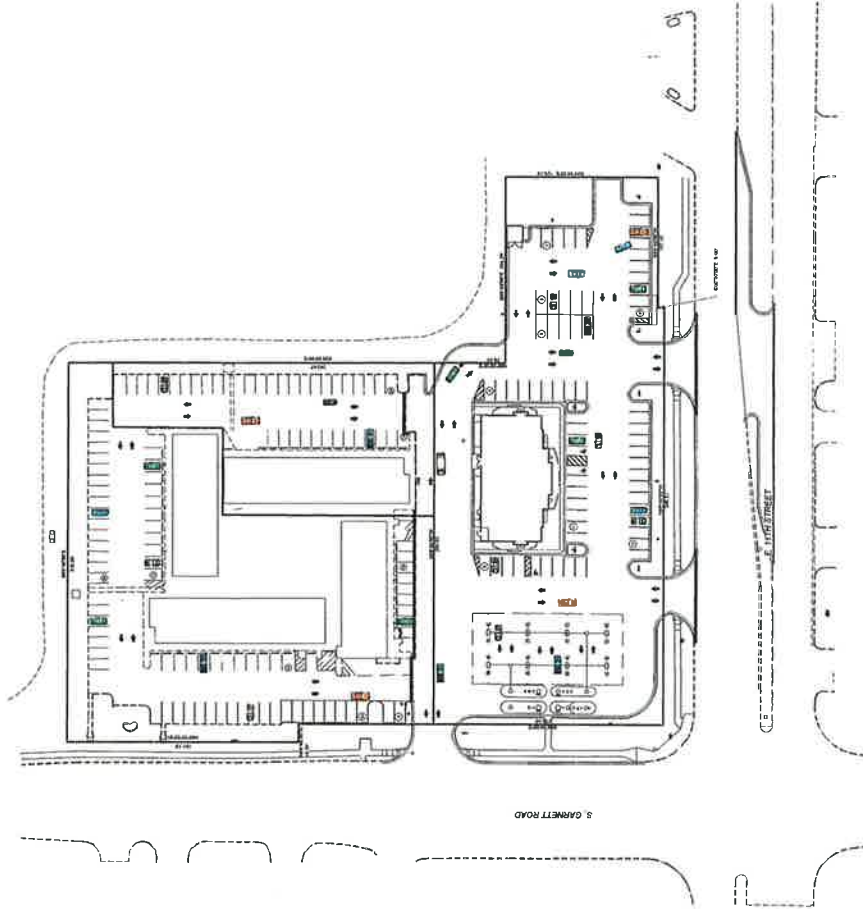
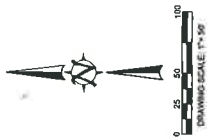
QuikTrip #0074



Exhibit E

Conceptual Access for Circulation Plan
for

QuikTrip #0074



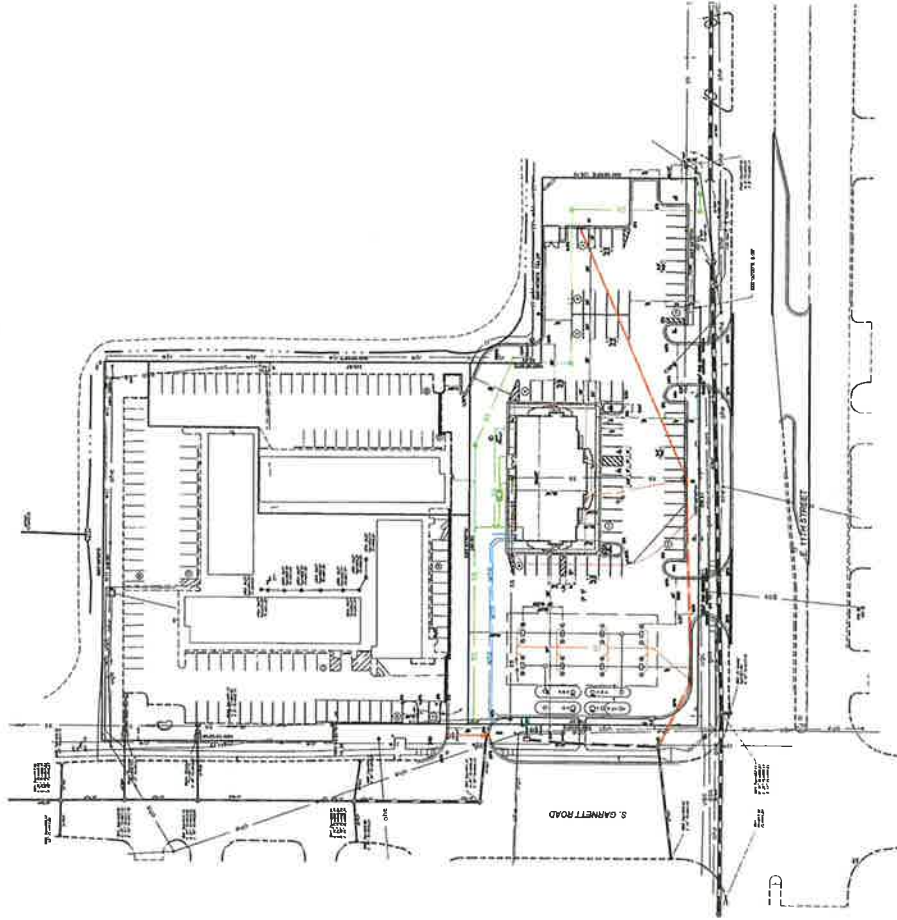
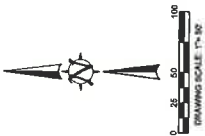
AAB Engineering, LLC
AAB
 Engineering • Land Planning
 PO Box 2136 Sand Springs, OK 74093
 OK CEM0318 Exp. June 30, 2014
 Office: (918) 514-4283 Fax: (918) 514-4288



17.18

Exhibit F
Conceptual Improvements
for

QuikTrip #0074



SHEET LEGEND

- PROPOSED SANITARY SEWER
- PROPOSED WATER
- PROPOSED UNDERGROUND TELEPHONE
- PROPOSED STORM
- PROPOSED STORM DRAIN

AAB Engineering, LLC
AAB
Engineering • Land Planning
PO Box 2138 Sand Springs, OK 74063
OK CA#6318 Exp. June 30, 2014
Office: (918) 514-4283 Fax: (918) 514-4286



17.19



Tulsa Metropolitan Area
Planning Commission

Case: 1100 Garnett Center Plat

Hearing Date: October 1, 2014

Case Report Prepared by:

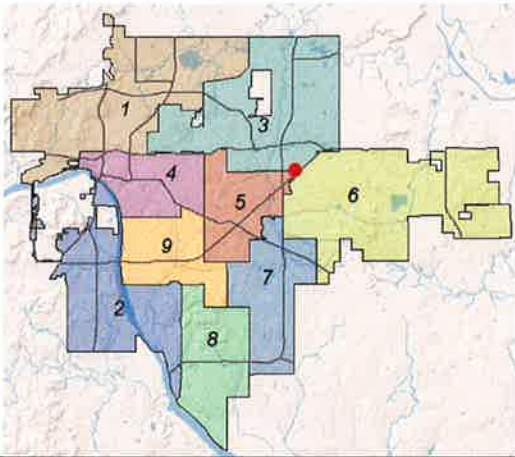
Diane Fernandez

Owner and Applicant Information:

Applicant: Alan Betchan, AAB Engineering

Owner: QuikTrip Corporation

Location Map:
(shown with City Council Districts)



Applicant Proposal:

Preliminary Subdivision Plat Approval

Tract Size: 3.9 ± acres

Location: East of northeast corner of east 11th Street South and South Garnett Road East

Zoning:

Existing Zoning: PUD 819 pending (CS underlying)

Staff Recommendation:

Staff recommends **approval**.

City Council District: 3

Councilor Name: David Patrick

County Commission District: 1

Commissioner Name: John Smaligo

EXHIBITS:

- INCOG Aerial (small scale)
- INCOG Aerial (large scale)
- Subdivision Map
- Zoning Case Map
- Land Use Map
- Growth and Stability Map

PRELIMINARY SUBDIVISION PLAT

1100 Garnett Center - (CD 3)

East of northeast corner of East 11th Street South and South Garnett Road East

This plat consists of 3 Lots, 1 Block, on 3.9 acres.

The following issues were discussed September 18, 2014, at the Technical Advisory Committee (TAC) meeting:

1. **Zoning:** The property is zoned Planned Unit Development 819 pending (CS underlying). All PUD standards must be met and put in the plat covenants.
2. **Streets:** Provide a 30 foot radius at intersection of 11th and Garnett. At the southeast corner of Lot 2, it is not clear where the north line of mutual access easement is on Lot 3.
3. **Sewer:** Add a 17.5 foot perimeter easement along the south, west and north boundary line of the plat. Also, add a 17.5 foot perimeter utility easement along the east line of Lots 1 and 2 and extend the easement to the south across Lot 3 until it intersects with the southernmost line of the proposed 15 foot utility easement. Add dimension arrows for both sides of the 15 foot utility easement where the sanitary sewer line is located.
4. **Water:** Label the size of the waterline easement shared by property boundary lines along the north and east sides for the existing 8 inch water main line. A 17.5 foot perimeter utility easement is recommended for this tract. The existing water meter vault was installed in a grassy area not a paved area which makes the vault non-traffic rated; the vault must be replaced if paved over.
5. **Storm Drainage:** A drainage easement is required for the pipe in the southwest corner.
6. **Utilities: Telephone, Electric, Gas, Cable, Pipeline, Others:** Additional easements may be required especially around perimeter of property.
7. **Other: Fire:** Site will need the mutual access easement on the north side of Lot 2 to connect to the mutual access easement of Lot 1 on the north side to eliminate the dead end roads or provide an approved turnaround for both Lots 1 and 2.
8. **Other: GIS:** Project site is larger than shown on location map. Show all subdivisions in location map. Label all unplatted parcels in location map. Show scale both written and graphically. Legal description does not match plat. Label adjacent properties to the plat. Subdivision data sheet is required. Final plat will need addresses and area of each lot and reserve, along with address disclaimer. Show any existing easements by book and page. Also, additional easements may be required per Development Services staff.

Staff recommends **APPROVAL** of the preliminary subdivision plat with the TAC recommendations and the special and standard conditions listed below.

Waivers of Subdivision Regulations:

1. None requested.

Special Conditions:

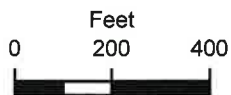
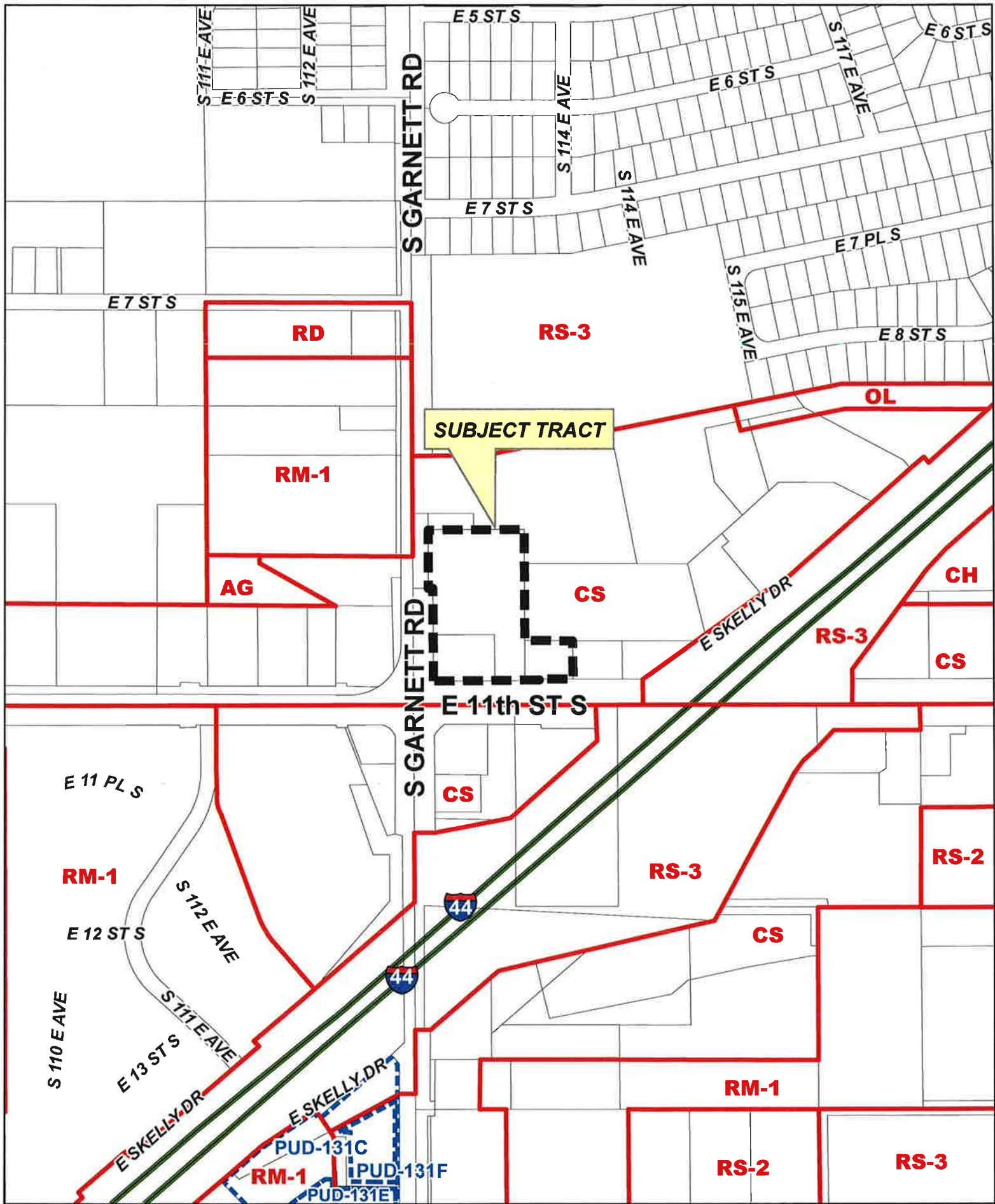
1. The concerns of the Development Services and Engineering Services staffs must be taken care of to their satisfaction.

Standard Conditions:

1. Utility easements shall meet the approval of the utilities. Coordinate with Subsurface Committee if underground plant is planned. Show additional easements as required. Existing easements shall be tied to or related to property line and/or lot lines.
2. Water and sanitary sewer plans shall be approved by the Public Works Department prior to release of final plat. (Include language for W/S facilities in covenants.)
3. Pavement or landscape repair within restricted water line, sewer line, or utility easements as a result of water or sewer line or other utility repairs due to breaks and failures shall be borne by the owner(s) of the lot(s).
4. Any request for creation of a Sewer Improvement District shall be submitted to the Public Works Department Engineer prior to release of final plat.
5. Paving and/or drainage plans (as required) shall be approved by the Public Works Department.
6. Any request for a Privately Financed Public Improvement (PFPI) shall be submitted to the Public Works Department.
7. A topography map shall be submitted for review by TAC (Subdivision Regulations). (Submit with drainage plans as directed.)
8. Street names shall be approved by the Public Works Department and shown on plat.
9. All curve data, including corner radii, shall be shown on final plat as applicable.
10. Bearings, or true N/S, etc., shall be shown on perimeter of land being platted or other bearings as directed by the County Engineer.
11. All adjacent streets, intersections and/or widths thereof shall be shown on plat.
12. It is recommended that the developer coordinate with the Public Works

Department during the early stages of street construction concerning the ordering, purchase and installation of street marker signs. (Advisory, not a condition for plat release.)

13. It is recommended that the applicant and/or his engineer or developer coordinate with the Tulsa City/County Health Department for solid waste disposal, particularly during the construction phase and/or clearing of the project. Burning of solid waste is prohibited.
14. The method of sewage disposal and plans therefor shall be approved by the City/County Health Department. [Percolation tests (if applicable) are required prior to preliminary approval of plat.]
15. The owner(s) shall provide the following information on sewage disposal system if it is to be privately operated on each lot: type, size and general location. (This information to be included in restrictive covenants on plat.)
16. The method of water supply and plans therefor shall be approved by the City/County Health Department.
17. All lots, streets, building lines, easements, etc., shall be completely dimensioned.
18. The key or location map shall be complete.
19. A Corporation Commission letter, Certificate of Non-Development, or other records as may be on file, shall be provided concerning any oil and/or gas wells before plat is released. (A building line shall be shown on plat on any wells not officially plugged. If plugged, provide plugging records.)
20. A "Letter of Assurance" regarding installation of improvements shall be provided prior to release of final plat. (Including documents required under 3.6.5 Subdivision Regulations.)
21. Applicant is advised of his responsibility to contact the U.S. Army Corps of Engineers regarding Section 404 of the Clean Waters Act.
22. All other Subdivision Regulations shall be met prior to release of final plat.
23. All PUD standards and conditions shall be included in the covenants of the plat and adequate mechanisms established to assure initial and continued compliance with the standards and conditions.
24. Private streets shall be built to City or County standards (depending upon the jurisdiction in which the plat is located) and inspected and accepted by same prior to issuance of any building permits in the subdivision.



1100 GARNETT CENTER

19-14 05

18.6

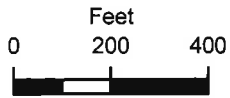




SUBJECT TRACT

1100 GARNETT CENTER

18.7



Aerial Photo Date: March 2014

19-14 05

Note: Graphic overlays may not precisely align with physical features on the ground.





0 50 100
Feet

1100 GARNETT CENTER

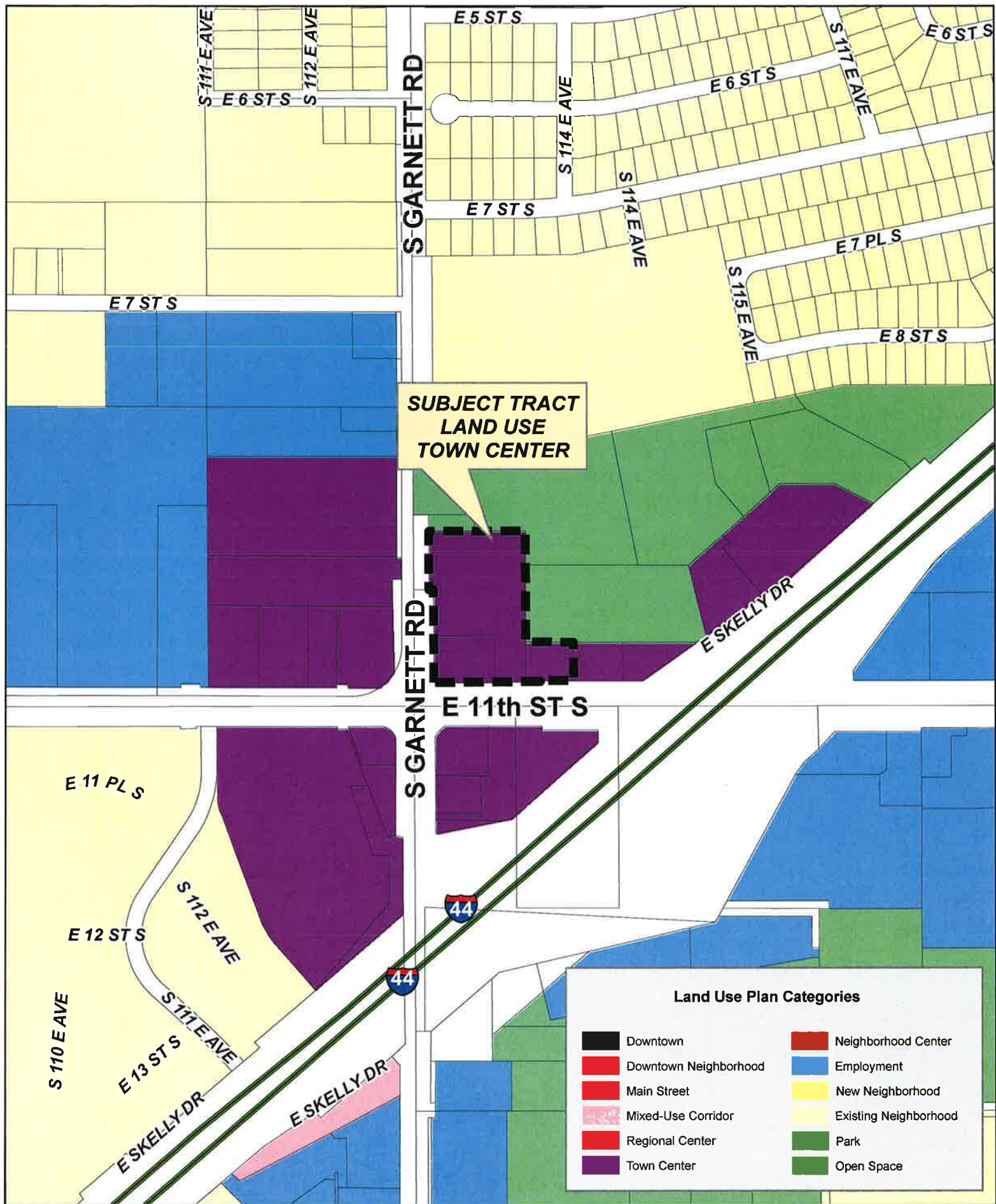
18.8

Aerial Photo Date: March 2014

19-14 05

Note: Graphic overlays may not precisely align with physical features on the ground.

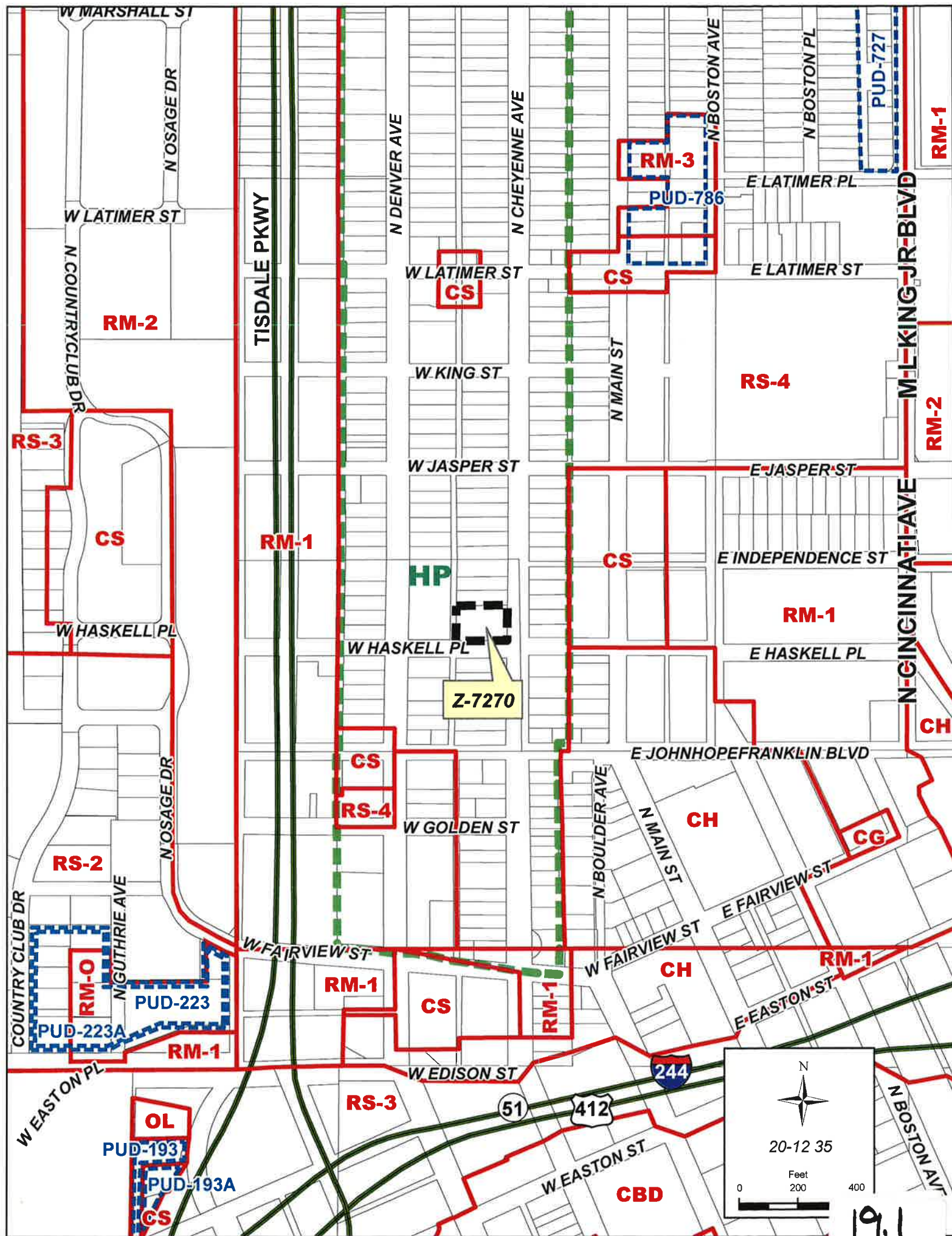




1100 GARNETT CENTER

19-14 05





From: Hoyt, Jay
Sent: Wednesday, September 24, 2014 2:55 PM
To: Wilkerson, Dwayne
Subject: FW: Z-7270 - Rezoning - Haskell Pl & Cheyenne Ave

Dwayne,
Here is confirmation from Will Wilkins that he would like the zoning case on 10/1 to be continued to 10/15.

Jay Hoyt

From: wwilkins@120developmentgroup.com [mailto:wwilkins@120developmentgroup.com]
Sent: Wednesday, September 24, 2014 2:53 PM
To: Hoyt, Jay
Subject: RE: Z-7270 - Rezoning - Haskell Pl & Cheyenne Ave

Good afternoon Jay. Yes, I will be out of country 10/1 and would like to have this heard on 10/15. I will be forwarding you additional information tomorrow afternoon as backup on the request.

Thank you

Will Wilkins
----- Original Message -----
Subject: Z-7270 - Rezoning - Haskell Pl & Cheyenne Ave
From: "Hoyt, Jay" <JHoyt@incog.org>
Date: Wed, September 24, 2014 1:50 pm
To: "wwilkins@120developmentgroup.com"
<wwilkins@120developmentgroup.com>

Will,

Your rezoning case Z-7270 was scheduled for the 10/1 TMAPC meeting. You had mentioned that you would like this to be continued to the 10/15 meeting since you would be out of the country at the time. Can you respond to this email confirming that you do indeed wish to continue the rezoning case to the 10/15 TMAPC meeting?

Thank you,

Jay Hoyt
Land Development Planner
INCOG
2 West 2nd Street
Suite 800
Tulsa, OK 74103

918.579.9476 phone
918.579.9576 fax
jhoyt@incog.org

19.2



Tulsa Metropolitan Area
Planning Commission

Case Number: Z-7280

Hearing Date: 10/1/2014 1:30 PM

Case Report Prepared by:

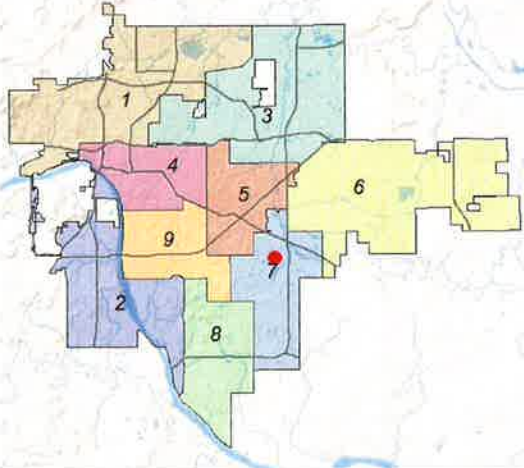
Dwayne Wilkerson

Owner and Applicant Information:

Applicant: Milton Berry

Property Owner: BERRY, MILTON H TRUSTEE
MILTON H BERRY TRUST

Location Map:
(shown with City Council Districts)



Applicant Proposal:

Present Use: Vacant

Proposed Use: Rezoning for light industrial use.

Concept summary: Rezoning requested for anticipated industrial uses to meet market demand for small business and small industrial users.

Tract Size: : 4.28 ± acres (186,572.6 ± sq. ft)

Location: South of southwest corner of S. Mingo Rd. & E. 51st St.

Zoning:

Existing Zoning: CS

Proposed Zoning: IL

Comprehensive Plan:

Land Use Map: Employment

Stability and Growth Map: Area of Growth

Staff Recommendation:

Staff recommends approval.

Staff Data:

TRS: 9336

CZM: 48

Atlas: 553/ 552

City Council District: 7

Councilor Name: Adrienne Moore

County Commission District: 3

Commissioner Name: Ron Peters

20.1

SECTION I: Z-7280

DEVELOPMENT CONCEPT:

The existing site is surrounded by fully developed property on the west, south and east with Industrial uses and zoning. North of the site is also fully developed however it is an area of CS. A large drainage channel has proven to be a physical barrier for commercial expansion into this site. The industrial use will be a consistent with the surrounding properties south and east of the drainage channel.

EXHIBITS:

INCOG Case map
INCOG Aerial
Tulsa Comprehensive Plan Land Use Map
Tulsa Comprehensive Plan Areas of Stability and Growth Map
Applicant Exhibits:
None

DETAILED STAFF RECOMMENDATION:

The zoning request is consistent with the Tulsa Comprehensive Plan; and

The IL zoning request harmonizes with the existing and expected development of the surrounding areas; therefore

Staff recommends Approval of Z-7280 to rezone property from CS to IL.

SECTION II: Supporting Documentation

RELATIONSHIP TO THE COMPREHENSIVE PLAN:

Staff Summary: The request for IL zoning is consistent with the Employment vision of the comprehensive plan. The rezoning request will allow use of significant City infrastructure that is already in place. The anticipated increased density and business opportunities allowed in an IL district will provide employment opportunities that are anticipated in this area.

Land Use Vision:

Land Use Plan map designation: Employment

Employment areas contain office, warehousing, light manufacturing and high tech uses such as clean manufacturing or information technology. Sometimes big-box retail or warehouse retail clubs are found in these areas. These areas are distinguished from mixed-use centers in that they have few residences and typically have more extensive commercial activity.

Employment areas require access to major arterials or interstates. Those areas, with manufacturing and warehousing uses must be able to accommodate extensive truck traffic, and rail in some instances. Due to the special transportation requirements of these districts, attention to design, screening and open space buffering is necessary when employment districts are near other districts that include moderate residential

20.2

Areas of Stability and Growth designation: Area of Growth

The purpose of an Area of Growth is to direct the allocation of resources and channel growth to where it will be beneficial and can best improve access to jobs, housing, and services with fewer and shorter auto trips. Areas of Growth are parts of the city where general agreement exists that development or redevelopment is beneficial. As steps are taken to plan for, and, in some cases, develop or redevelop these areas, ensuring that existing residents will not be displaced is a high priority. A major goal is to increase economic activity in the area to benefit existing residents and businesses, and where necessary, provide the stimulus to redevelop.

Areas of Growth are found throughout Tulsa. These areas have many different characteristics but some of the more common traits are in close proximity to or abutting an arterial street, major employment and industrial areas, or areas of the city with an abundance of vacant land. Also, several of the Areas of Growth are in or near downtown. Areas of Growth provide Tulsa with the opportunity to focus growth in a way that benefits the City as a whole. Development in these areas will provide housing choice and excellent access to efficient forms of transportation including walking, biking, transit, and the automobile.

Transportation Vision:

Major Street and Highway Plan: South Mingo is a secondary arterial. There is no multi-modal designation for this section of Mingo.

Trail System Master Plan Considerations: None

Small Area Plan: None

Special District Considerations: None

Historic Preservation Overlay: None

DESCRIPTION OF EXISTING CONDITIONS:

Staff Summary: This site is surrounded on the west and north with a large drainage channel which contains the 100 year flood plain but limits any connection options to the existing industrial uses west or the existing commercial uses north of the site. The center of the site is flat and appears to have been filled with anticipation of future development but has never been commercially developed.

Environmental Considerations: Other than the surrounding drainage channel the site is not limited by any known environmental considerations. The topography is nearly flat with no known obstacles for future development.

Streets:

| <u>Exist. Access</u> | <u>MSHP Design</u> | <u>MSHP R/W</u> | <u>Exist. # Lanes</u> |
|----------------------|--------------------|-----------------|-----------------------|
| South Mingo Road | Secondary Arterial | 100' | 4 lanes |

Utilities:

The subject tract has municipal water and sewer available.

20.3

Surrounding Properties: The subject tract is abutted on the east by light industrial and commercial property zoned CS and IL; on the north by a variety of small commercial uses zoned CS; on the south and west by a variety of light industrial uses all zoned IL.

SECTION III: Relevant Zoning History

ZONING ORDINANCE: Ordinance number 13147 dated April 23, 1974, established zoning for the subject property.

Surrounding Property:

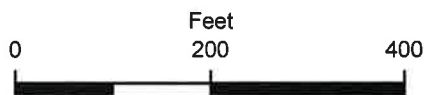
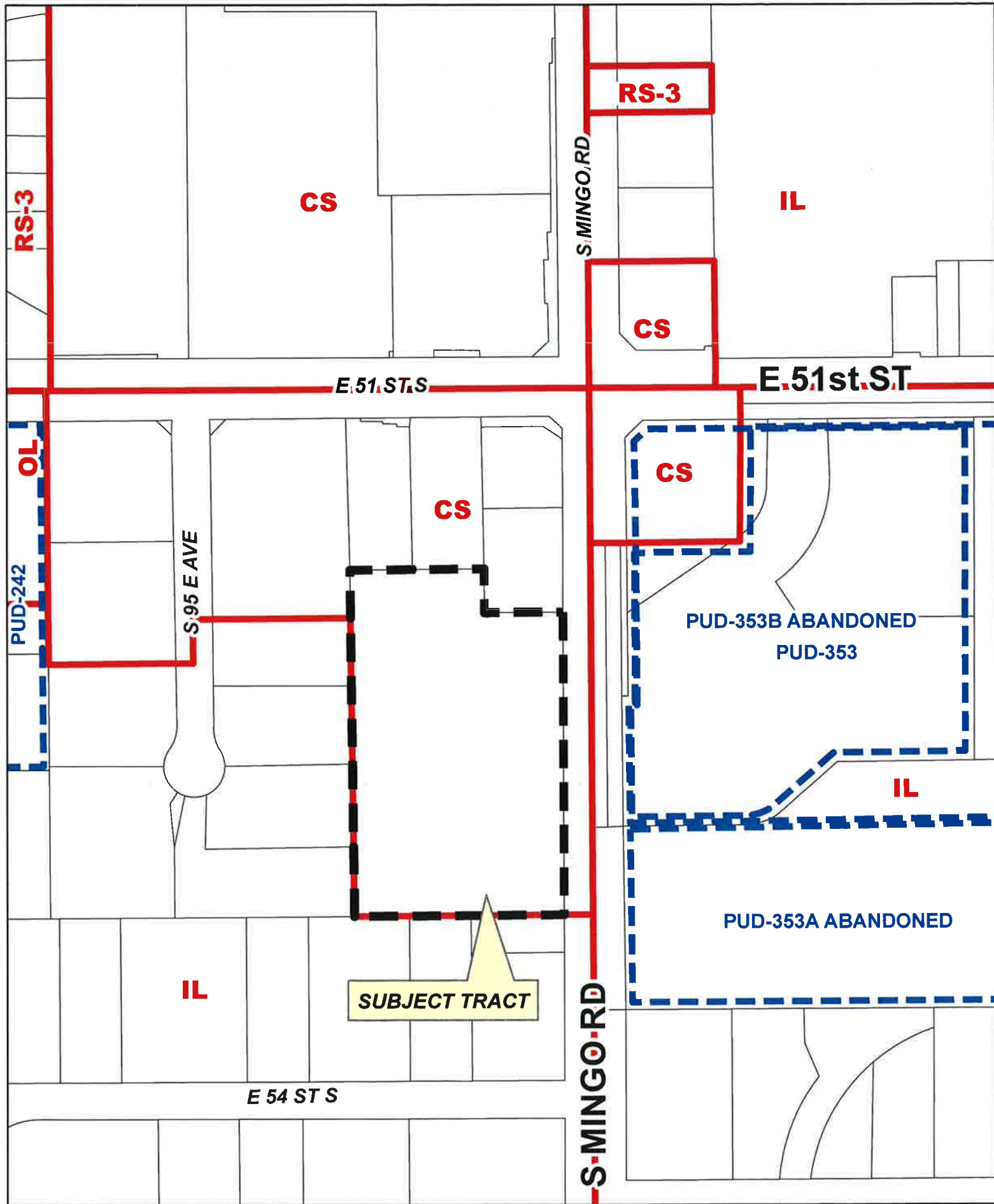
Z-7007 January 2006: All concurred in approval of a request for rezoning a 2± acre tract of land from CS to IL for warehouse and print shop, on property located south of the southeast corner East 51st Street South and South 95th East Avenue.

Z-6554 September 1996: All concurred in approval of a request to rezone a 1± acre lot from CS to IL for warehousing and light manufacturing, on property located south of southwest corner of South 95th East Avenue and East 51st Street.

Z-6354 May 1992: All concurred in approval of a request to rezone the 1± acre tract from CS to IL for warehouse and warehouse supply, on property located south of southwest corner of South 95th East Avenue and East 51st Street.

10/1/2014 1:30 PM

20.4



Z-7280

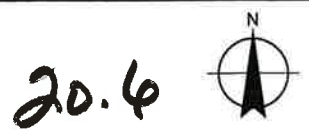
19-13 36

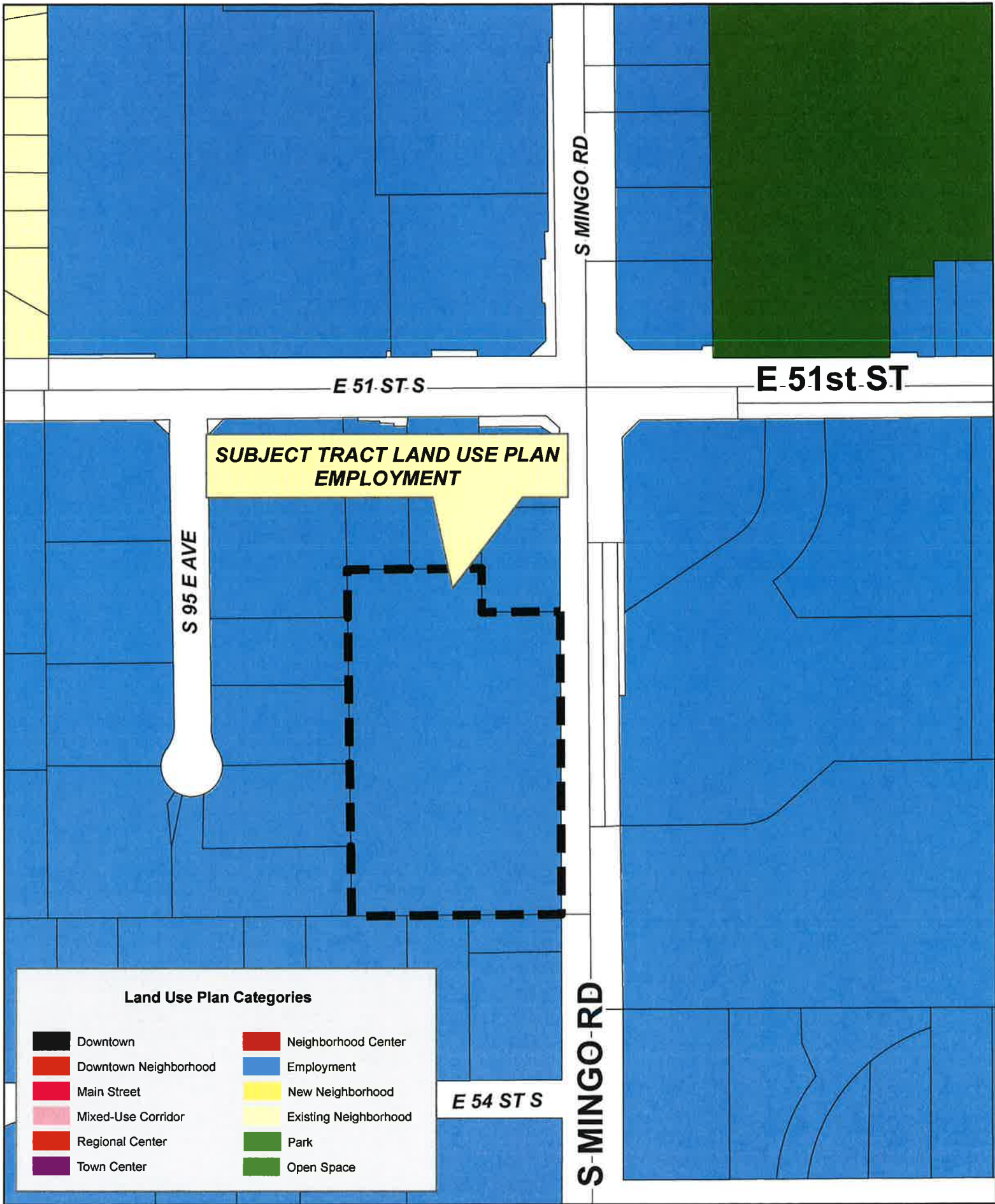




Z-7280

19-13 36



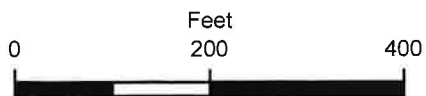
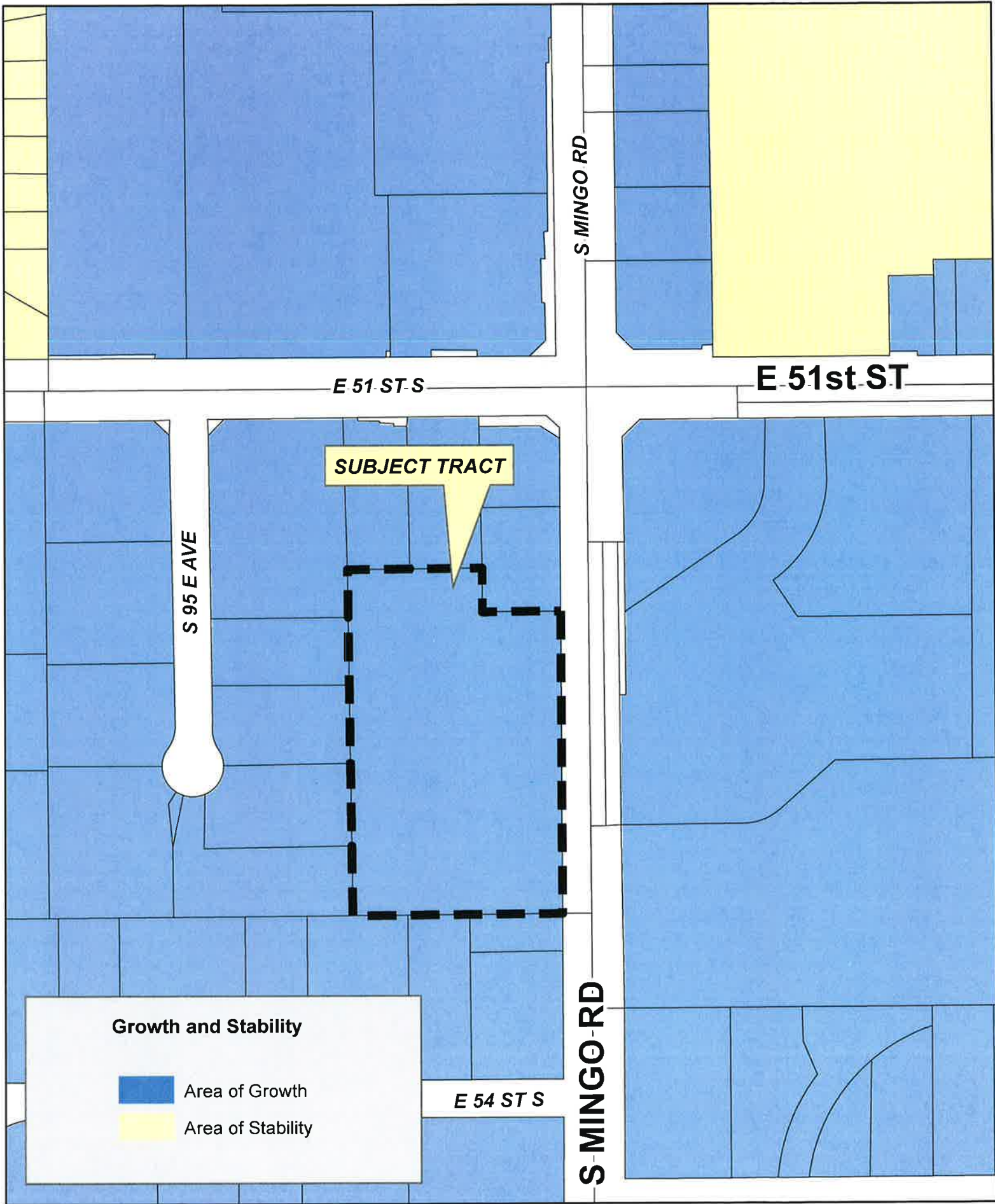


Z-7280

19-13 36

20.7





Z-7280

19-13 36





Tulsa Metropolitan Area
Planning Commission

Case Number: Z-7281

Hearing Date: 10/1/2014 1:30 PM

Case Report Prepared by:

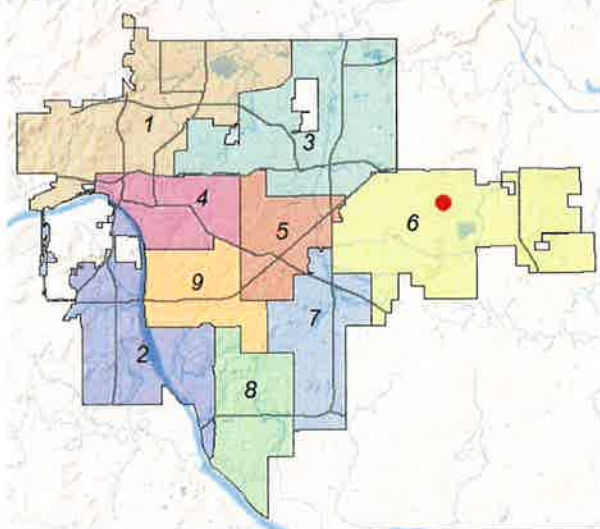
Dwayne Wilkerson

Owner and Applicant Information:

Applicant: Nancy Carter

Property Owner: Multiple owners

Location Map:
(shown with City Council Districts)



Applicant Proposal:

Present Use: Residential/Agriculture

Proposed Use: Residential/agricultural uses.

Concept summary:

Tract Size: : 32.28 ± acres

Location: Multiple properties between E. 15th St. & E. 12th St. also between S. 169th E. Ave. & S. 177th E Ave. Part of Lynn Lane Estates.

Zoning:

Existing Zoning: RS-1

Proposed Zoning: AG

Comprehensive Plan:

Land Use Map: New Neighborhood

Stability and Growth Map: Area of Growth

Staff Recommendation:

Staff recommends approval to rezone from RS-1 to AG.

Staff Data:

TRS: 9411

CZM: 40

Atlas: 1872/1873

City Council District: 6

Councilor Name: Skip Steele

County Commission District: 1

Commissioner Name: John Smaligo

21.1

SECTION I: Z-7281

DEVELOPMENT CONCEPT:

The applicant has requested rezoning several parcels of property at the owner's request. Everyone in Z-7281 has requested rezoning from RS-1 to AG. This rezoning request will help provide stability to the small scale agricultural character of the neighborhood that was subdivided in 1929 without City or County services.

EXHIBITS:

- INCOG Case map
- INCOG Aerial
- Lynn Lane Estates Plat: Dated May 1929
- Tulsa Comprehensive Plan Land Use Map
- Tulsa Comprehensive Plan Areas of Stability and Growth Map
- Applicant Exhibits:
 - Consent of property owners affected.

DETAILED STAFF RECOMMENDATION:

Rezoning request Z-7281 is not consistent with the new neighborhood vision for redevelopment on vacant land. This is not vacant land but is very low density single family residential development; and

Rezoning from RS-1 to AG is consistent with the concept that providing stability to an existing neighborhood is important. In Areas of Growth, as steps are taken to plan for, and, in some cases, develop or redevelop these areas, ensuring that existing residents will not be displaced is a high priority; and

Sanitary sewer availability and a poor street network will limit density in this area for the remainder of the neighborhood for years to come so it is unlikely that the zoning change will affect the visual character of the land; and

Rezoning from RS-1 to AG will support the existing character of the neighborhood and allow agricultural uses that have been part of the neighborhood since it was subdivided; therefore

Staff recommends Approval of Z-7281 to rezone property from RS-1 to AG.

SECTION II: Supporting Documentation

RELATIONSHIP TO THE COMPREHENSIVE PLAN:

Staff Summary: The Tulsa Comprehensive Plan considers this a new neighborhood area and an area of growth. Rezoning the site from RS-1 to AG is not consistent with that vision. The large lot agricultural area was developed in Radio Heights Plat filed in Tulsa County in 1929.

This plat did not develop by current standards and it is unlikely that any future infill can be expected without sanitary sewer service. Normally zoning to a lower density would be a deterrent to future growth and infill and would not be a sustainable use for existing infrastructure. In this instance a lack of sanitary sewer will prohibit a desirable density expected

in a new neighborhood vision. When sanitary sewer service is available it will be appropriate to reconsider a higher density zoning but now the residential zoning actually seems to be in conflict with the uses of the majority of the land owners. Agricultural zoning will stabilize the historic character of the neighborhood and will reduce pressure on the City of Tulsa to make street improvements or to provide sanitary sewer service.

Land Use Vision:

Land Use Plan map designation: New Neighborhood

The New Neighborhood is intended for new communities developed on vacant land. These neighborhoods are comprised primarily of single-family homes on a range of lot sizes, but can include townhouses and low-rise apartments or condominiums. These areas should be designed to meet high standards of internal and external connectivity, and shall be paired with an existing or new Neighborhood or Town Center.

Areas of Stability and Growth designation: Area of Growth

The purpose of an Area of Growth is to direct the allocation of resources and channel growth to where it will be beneficial and can best improve access to jobs, housing, and services with fewer and shorter auto trips. Areas of Growth are parts of the city where general agreement exists that development or redevelopment is beneficial. As steps are taken to plan for, and, in some cases, develop or redevelop these areas, ensuring that existing residents will not be displaced is a high priority. A major goal is to increase economic activity in the area to benefit existing residents and businesses, and where necessary, provide the stimulus to redevelop.

Areas of Growth are found throughout Tulsa. These areas have many different characteristics but some of the more common traits are in close proximity to or abutting an arterial street, major employment and industrial areas, or areas of the city with an abundance of vacant land. Also, several of the Areas of Growth are in or near downtown. Areas of Growth provide Tulsa with the opportunity to focus growth in a way that benefits the City as a whole. Development in these areas will provide housing choice and excellent access to efficient forms of transportation including walking, biking, transit, and the automobile.

Transportation Vision:

Major Street and Highway Plan: None except that any single family subdivision at this location would be required to provide a residential collector near East 15th street south.

Trail System Master Plan Considerations: None

Small Area Plan: None

Special District Considerations: None

Historic Preservation Overlay: None

DESCRIPTION OF EXISTING CONDITIONS:

Staff Summary: This area of Tulsa was developed long before annexation by the City. The street and drainage system is not developed to meet City standards. Most of the homes in this area are on large tracts that can support individual septic systems. Many of the residences maintain their homes with some agricultural component including animals that are not allowed in RS-1 districts.

Environmental Considerations:

Streets:

| <u>Exist. Access</u> | <u>MSHP Design</u> | <u>MSHP R/W</u> | <u>Exist. # Lanes</u> |
|-------------------------------------|--------------------|-----------------|--|
| South 173 rd East Avenue | None | 50 feet | 2 lane with side ditches |
| East 15 th Street | None | 50 feet | 2 lane with side ditches |
| East 14 th Street | None | 50 feet | 2 lane with side ditches |
| East 13 th Street | None | 50 feet | 2 lane with side ditches and sections with no pavement |
| East 12 th Street | None | 50 feet | No pavement |

Utilities:

The subject tract **has** municipal water however sanitary sewer is not available.

Surrounding Properties: The subject tract is abutted on all sides by large lot single family residential properties which are all zoned RS-1.

SECTION III: Relevant Zoning History

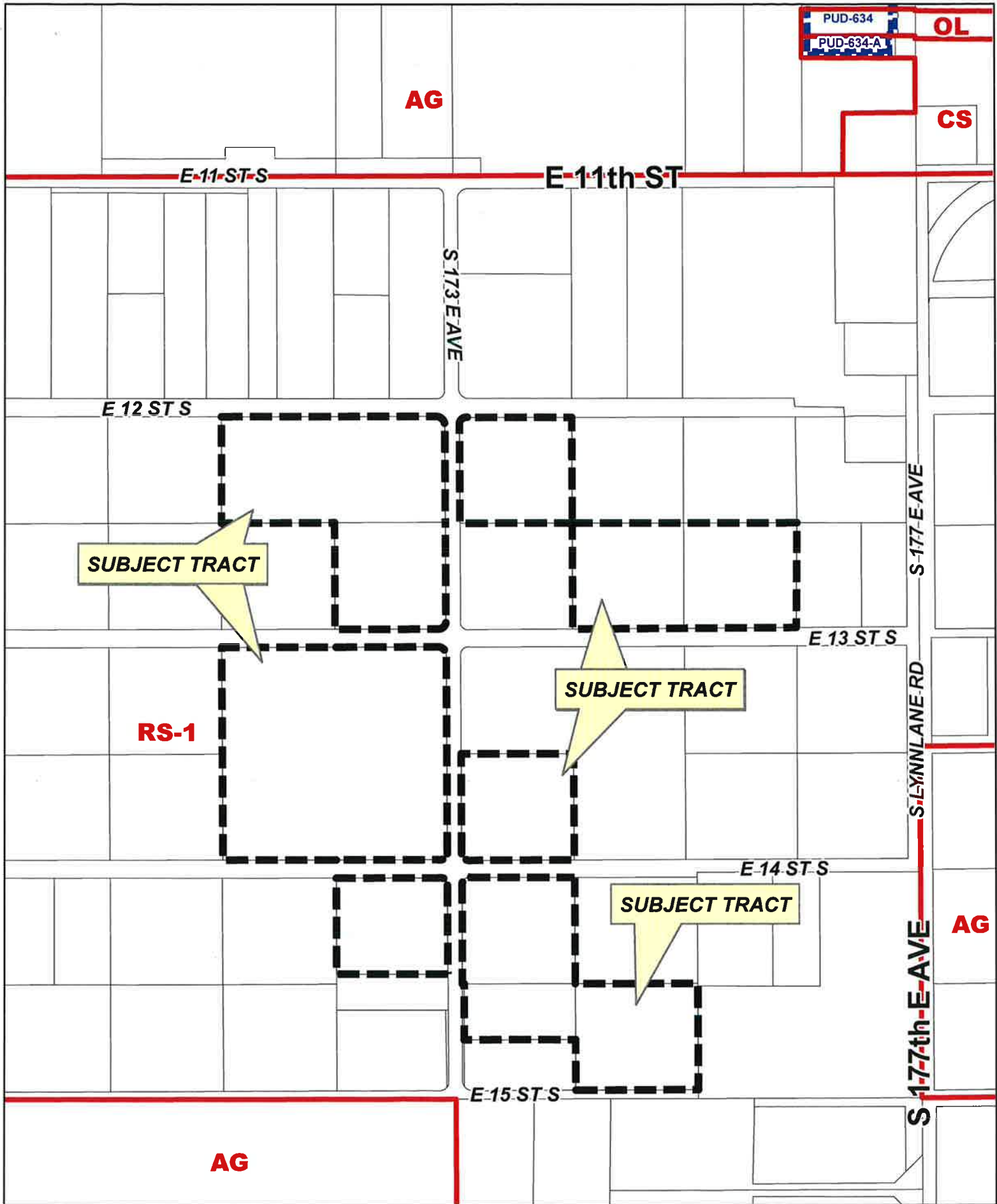
ZONING ORDINANCE: Ordinance number 11818 dated June 26, 1970, established zoning for the subject property.

No relevant history.

10/1/2014 1:30 PM

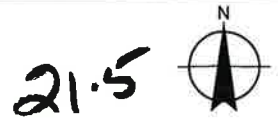
214

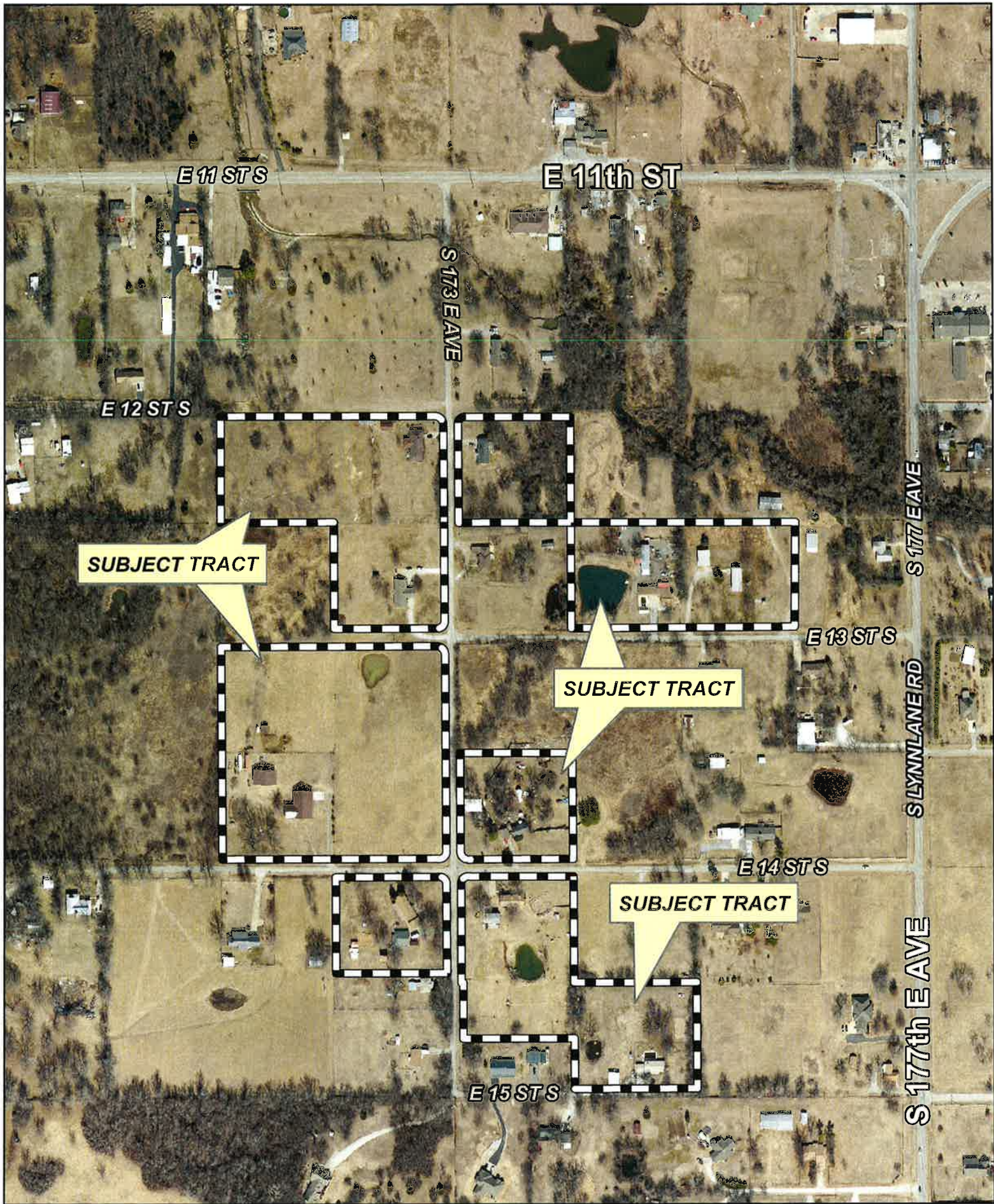
REVISED 9/24/2014



Z-7281

19-14 11





SUBJECT TRACT

SUBJECT TRACT

SUBJECT TRACT



Z-7281

19-14 11

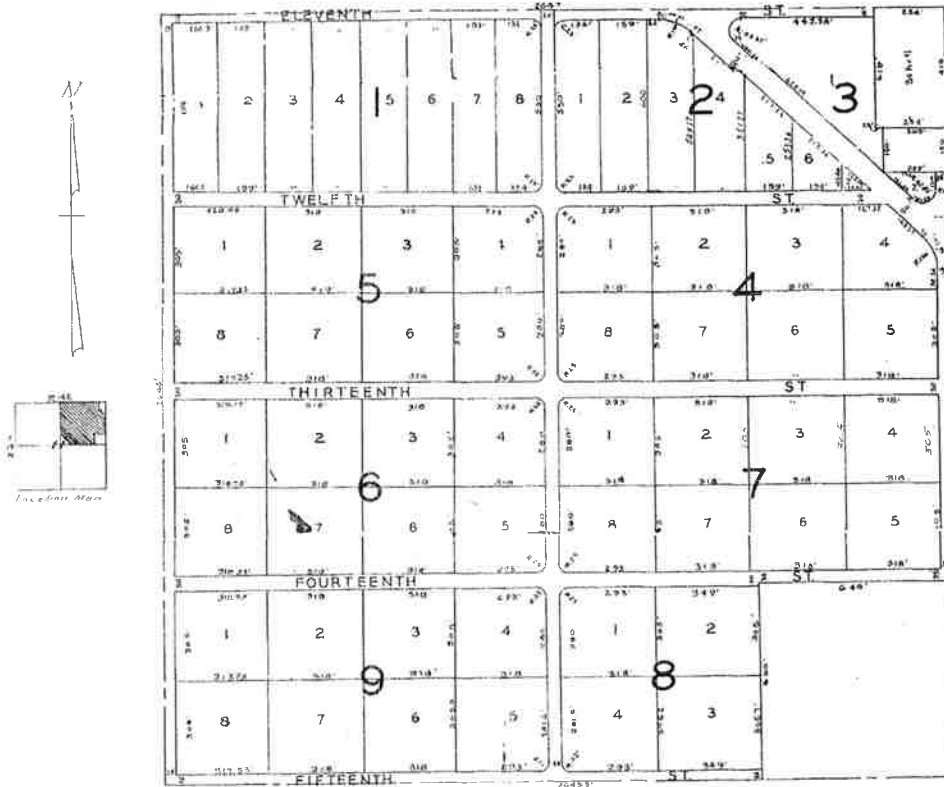
21.4



LYNN LANE ESTATES

AN ADDITION TO

TULSA — OKLA.



SCALE 1"=200'

W E DAVIS

MAY 1929

ENGINEER

DEEDS & RECORDS

KNOW ALL MEN BY THESE PRESENTS, That to certify that W. E. DAVIS, and his wife, LAURA BAILEY, are the owners of a certain tract of land, known as LYNN LANE ESTATES, being the Northeast Quarter (NE 1/4) of Section Eleven (11), Township Fifteen (15) North, Range Fourteen (14) East, (except the following described tract of land: Beginning at the Northeast Corner of the Northeast Quarter (NE 1/4) of Section Eleven (11), Township Fifteen (15) North, Range Fourteen (14) East, thence easterly along said section line a distance of 250 feet to a point, thence south and parallel to the East line of said Section a distance of 100 feet to a point, thence south a distance of 100 feet to a point, thence east a distance of 200 feet to a point on the section line between Section 11 and 12, thence North along said section line a distance of 500 feet to the point of beginning, and beginning at the Southeast corner of the Northeast Quarter (NE 1/4) of Section Eleven (11), Township Fifteen (15) North, Range Fourteen (14) East, thence East a distance of 500 feet to a point, thence North a distance of 500 feet to a point on the section line between Section 11 and 12, thence South a distance of 500 feet to the point of beginning), Tulsa County, Oklahoma, being the same as shown and blocked on the above plat, and that the same is a true and correct map thereof.

Dated this ____ day of June, 1929.

STATE OF OKLAHOMA)
COUNTY OF TULSA) ss.

I, the undersigned, Notary Public, within and for said County and State personally appeared W. E. DAVIS and his wife, Laura Bailey, to me known to be the identical persons who executed the foregoing instrument of writing and acknowledged to me that they executed the same as their free and voluntary act and deed for the uses and purposes therein set forth.

Witness my hand and seal this ____ day of June, 1929.

My Commission Expires ____ 19__

Notary Public

CERTIFICATE

I, hereby certify that I have carefully and separately surveyed and staked as required by law LYNN LANE ESTATES, being the Northeast Quarter (NE 1/4) of Section Eleven (11), Township Fifteen (15) North, Range Fourteen (14) East, except the following described tracts of land: Beginning at the Northeast corner of the Northeast Quarter (NE 1/4) of Section Eleven (11), Township Fifteen (15) North, Range Fourteen (14) East, thence easterly along said section line a distance of 250 feet to a point, thence south and parallel to the East line of said Section a distance of 100 feet to a point, thence south a distance of 100 feet to a point, thence east a distance of 200 feet to a point on the section line between Section 11 and 12, thence North along said section line a distance of 500 feet to the point of beginning, and beginning at the Southeast corner of the Northeast Quarter (NE 1/4) of Section Eleven (11), Township Fifteen (15) North, Range Fourteen (14) East, thence East a distance of 500 feet to a point, thence North a distance of 500 feet to a point on the section line between Section 11 and 12, thence South a distance of 500 feet to the point of beginning, as shown and blocked on the above plat, and that the same is a true and correct map thereof.

STATE OF OKLAHOMA)
COUNTY OF TULSA) ss.

Before me, the undersigned, Notary Public, within and for said County and State personally appeared W. E. DAVIS, to me known to be the identical person who executed the foregoing instrument of writing and acknowledged to me that he executed the same as his free and voluntary act and deed for the uses and purposes therein set forth.

Witness my hand and seal this ____ day of June, 1929.

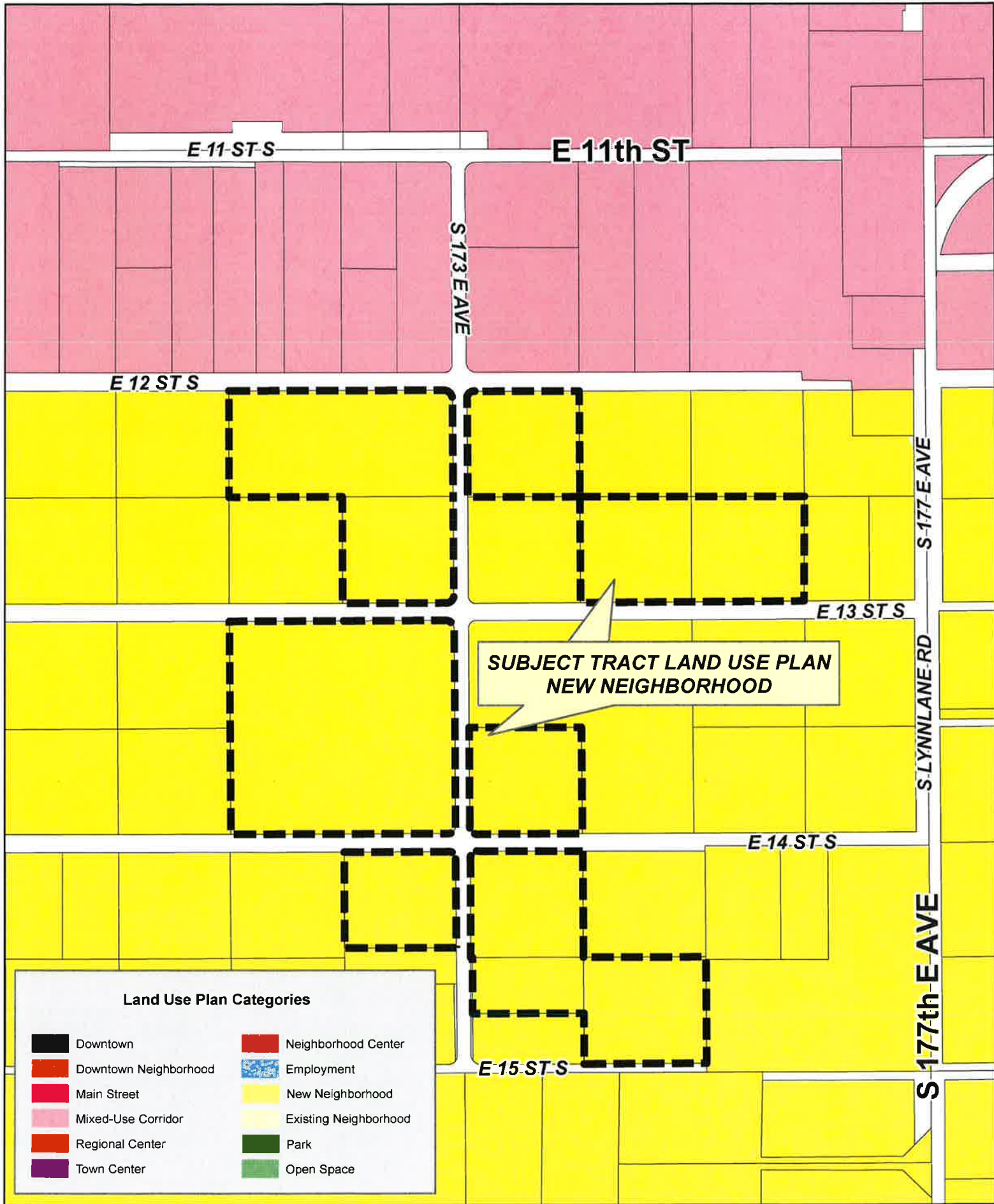
My Commission Expires ____ 19__

Notary Public

PLAT NO
984

PAGE
1 OF 1

21.7

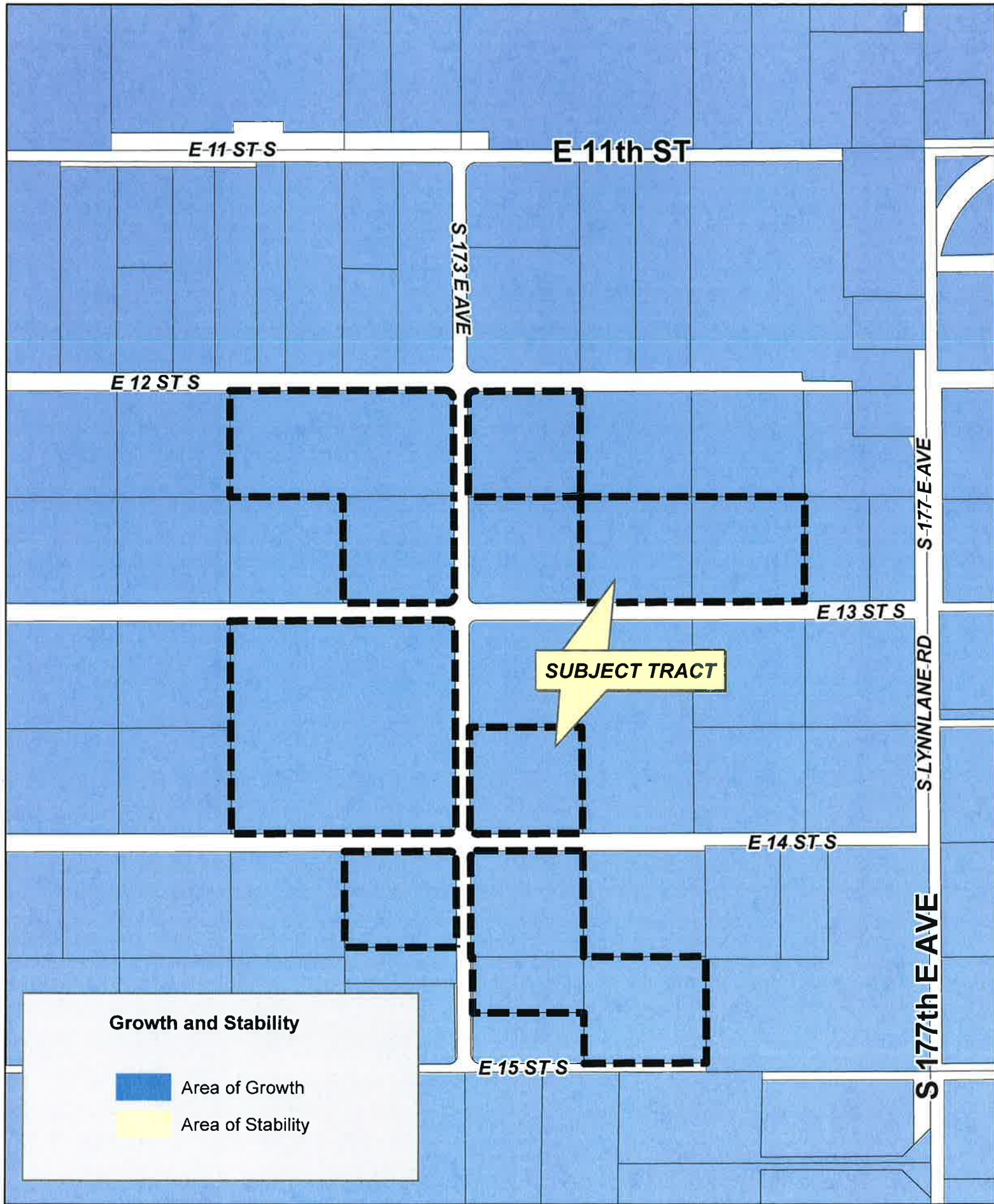


Z-7281

19-14 11

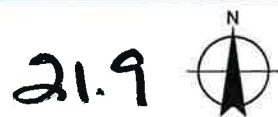
21.8





Z-7281

19-14 11





Jake Wilson
Senior Animal Control Investigator
Animal Welfare & Shelter
Working in Neighborhoods
jwilson@cityoftulsa.org

3031 N. Erie Ave., Tulsa, OK 74115
918-596-8005 phone, 918.669.6273 fax, www.cityoftulsa.org
918.596.8001 dispatch

IN THE MUNICIPAL CRIMINAL COURT OF RECORD OF THE CITY OF TULSA, OKLA.
CITATION/INFORMATION NO.

STATE OF OKLAHOMA
TULSA COUNTY
THE CITY OF TULSA

S.S.

5973366 0

☐ JUV

NAME (LAST, FIRST, MIDDLE)

Carter, Nancy Jayne

ZIP CODE

74108

RES. ADDRESS

17304 E 14th

CITY

Tulsa

STATE

OK

D.L. NO.

E083336486

CLASS

D

ENDRSMT

-

STATE

OK

SOC. SEC. NO.

N/A

RACE

W

SEX

F

HGT

505

WGT

130

HAIR

BRN

EYES

GRN

DATE OF BIRTH

02-13-1950

☐ TPD NO.

☐ PID NO.

EMPLOYER/SCHOOL

DID ON OR ABOUT (DATE)

08-21-14

AT (TIME)

1230

AT OR NEAR (LOCATION)

17304 E 14th

DID UNLAWFULLY

OPERATE ☐ PARK ☐ OTHER ☒

VEH. YR.

-

VEHICLE MAKE

-

VEHICLE MODEL

-

VEH. STYLE

-

VEH. COLOR/TOP/BOTTOM

-

TAG YEAR

-

TAG STATE

-

TAG NUMBER

-

DID WITHIN THE CITY OF TULSA, OKLAHOMA, COMMIT THE FOLLOWING OFFENSE

VIOLATION

unlawfully maintain

TITLE

AG

SECTION

200

PARA

A

FINE

\$

SPECIFIC FACTS SUPPORTING CRIMINAL CHARGE

sheep on property zoned

RS 3

Court

ACCIDENT INVOLVED

☐ YES ☒ NO

INJURIES INVOLVED

☐ YES ☒ NO

INSURANCE COVERAGE

☐ YES ☒ NO

SEAT BELTS IN USE

☐ YES ☒ NO

MPH IN

-

MPH ZONE

-

☐ PURSUIT

☐ RADAR

☐ COMM

☐ VEH

VIN. NO.

-

HAZARDOUS MATERIALS PLACARD

☐

PAVEMENT

☐ SNOW ☐ ICE ☐ RAIN ☐ OTHER

VISIBILITY

☐ GOOD ☐ FAIR ☐ POOR

I, THE UNDERSIGNED ISSUING OFFICER, HEREBY CERTIFY AND SWEAR THAT I HAVE READ THE FOREGOING INFORMATION AND KNOW THE FACTS AND CONTENTS THEREOF AND THAT THE FACTS SUPPORTING THE CRIMINAL CHARGE STATED THEREIN ARE TRUE.

OFFICER'S SIGNATURE

Jason Wilson

DATE

08-21-14

ID NO.

106125

ENFORCE. DIV.

901

WITHOUT ADMITTING GUILT, I PROMISE TO APPEAR IN SAID COURT ON

(5) DAY OF Sept YEAR 2014 AT 8 AM DIV. 2 OR PAY THE

FINE INDICATED ABOVE ON OR BEFORE THE COURT DATE. BY MY SIGNATURE I UNDERSTAND

MY RELEASE TO APPEAR FOR ARRANGEMENT IS CONDITIONAL AND THAT FAILURE TO APPEAR

AS PROMISED SHALL RESULT IN THE SUSPENSION OF MY DRIVER'S LICENSE IN OKLAHOMA OR

IF A NONRESIDENT, IN MY HOME STATE PURSUANT TO THE NONRESIDENT VIOLATOR COMPACT.

SIGNATURE

Nancy Carter

DATE

SEE REVERSE SIDE OF THIS CITATION FOR INFORMATION AND INSTRUCTIONS

WALK-IN PAYMENT

City Hall, Street Level

One Technology Center

175 East Second Street

Tulsa, Oklahoma 74103

MAILING ADDRESS:

City of Tulsa

Municipal Court

Dept. 1

Tulsa, Oklahoma 74187

ADDRESS OF COURT

Municipal Court

Second Floor

600 Civic Center

Tulsa, Oklahoma 74108

INCLUDE THIS CITATION OR A COPY WITH PAYMENT. DO NOT MAIL CASH

MAKE CHECKS PAYABLE TO THE CITY OF TULSA

WITNESS NAME

1 ADDRESS CITY ZIP

WITNESS NAME

2 ADDRESS CITY ZIP

WITNESS NAME

3 ADDRESS CITY ZIP



TUL-2002-X

21.10

August 7, 2014

Everett & Patsy Cox

17119 East 14th Street South

Tulsa, Ok 74108

We do apply for rezoning of our property Lots 3 thru 6, Blk 6, Section: 11, Township: 19, Range:14

Subdivision: Lynn Lane Estates: from Res Single-Family Low density to agriculture.

Everett Cox 8-7-2014
Patsy Cox 8-7-2014

Parcel Mapping



21.11

To whom it may concern,

I give my consent to the application for rezoning from residential to agriculture.
1402 S. 173rd E. Ave.
Tulsa, OK. 74108

A handwritten signature in cursive script, appearing to read "Sharon Ponder", written over a horizontal line.

Sharon Ponder

21.12

August 12, 2014

Tricia Beach
1204 S 173rd E Ave
Tulsa, OK 74108-5102


To Whom It May Concern,

I Mary P. (Tricia) Beach, the owner of Lots 3 & 4, Block 5, Lynn Lane Estates, am in the group proposing re-zoning from residential to agricultural. I have lived here 30 years, and still all utilities are not in like a normal residential neighborhood.

If you have any questions, please feel free to call me at (918) 438-1986.

Thank you for you consideration.

Cordially,


Tricia Beach

21.13

To whom it may concern,

We, Danny + Angelie Earp, located
at 17417 E 15th St. Tulsa OK 74108
agree to participate in the rezoning project
to become agricultural.

Angelie Earp
[Signature]



Mr. and Mrs. Art Reum
17304 E. 14th St.
Tulsa, OK 74108

We consent to be a part
of the agriculture rezoning.

Art + Jane Reum

August 19, 2014

No One Does More For Veterans.

TO Whom it may CONCERN

8-11-14

I CARL EDMUNDSON give my CONCENT
TO THE APPLICATION FOR REZONING TO AGRICULTURAL
AT 17317 E 14TH TULSA OK. 74108

Carl Edmundson

21.15

Joe Robertson
17603 E 13th
Tulsa Okla 74108

lot 6 block 4
Lynn Lane Estates

I would like to get
Re-zoned to agricultural

Joe Robertson

21.14

WENDELL Abbott

17313 E 13th ST

TULSA OK 74108

LOT 7, Block 4

LYNN LANE ESTATES

I WENDELL Abbott do joyfully
JOIN MY NEIGHBORS IN THIS
NEIGHBORHOOD IN DESIRING IT
TO BE REZONED FOR AGRICULTURE

THANK you!

Wendell Abbott

21.17

