

**TULSA METROPOLITAN AREA PLANNING
COMMISSION**

Meeting No. 2708

October 21, 2015, 1:30 PM

**175 East 2nd Street, 2nd Level, One Technology Center
Tulsa City Council Chamber**

CONSIDER, DISCUSS AND/OR TAKE ACTION ON:

Call to Order:

REPORTS:

Chairman's Report:

Worksession Report:

Director's Report:

Review TMAPC receipts for the month of September 2015

1. Minutes of September 28, 2015, TMAPC Special Meeting

CONSENT AGENDA:

All matters under "Consent" are considered by the Planning Commission to be routine and will be enacted by one motion. Any Planning Commission member may, however, remove an item by request.

2. **LS-20805** (Lot-Split) (CD 9) – Location: Southwest corner of East 39th Street South and South Evanston Avenue
3. **LC-710** (Lot-Combination) (CD 4) – Location: Northwest corner of East 7th Street South and South Owasso Avenue
4. **LC-711** (Lot-Combination) (County) – Location: Southwest corner of West 41st Street South and South 47th West Avenue
5. **LS-20816** (Lot-Split) (CD 9) – Location: East of the northeast corner of East 71st Street South and South Canton Avenue
6. **LC-712** (Lot-Combination) (CD 8) – Location: Southwest corner of East 64th Place South and South Oswego Avenue
7. **LS-20817** (Lot-Split) (CD 8) – Location: Southeast corner of East 119th Street South and South Norwood Avenue

8. **LS-20818** (Lot-Split) (CD 8) – Location: West of the southwest corner of East 106th Street South and South 77th East Avenue
9. **LS-20819** (Lot-Split) (CD4) – Location: Northeast corner of East 3rd Street South and South Greenwood Avenue
10. **LC-713** (Lot-Combination) (CD 3) – Location: North of the northeast corner of East Admiral Place and North 121st East Avenue
11. **Cypress Creek Estates – Final Plat**, Location: West of South 193rd East Avenue, North of East 51st Street South, (CD 6)
12. **PUD-426-8 – Darren and April Rager**, Location: Northwest corner of South Knoxville Avenue and East 103rd Street South, requesting a **PUD Minor Amendment** to increase the allowable building height from 35 feet to 40 feet, (CD 8)
13. **PUD-521 – Cedar Creek Consulting/Jason Emmett**, Location: East of the southeast corner of South 101st East Avenue and East 71st Street South, Requesting a **PUD Detail Site Plan** for a new retail building with in the PUD, (CD 7)

CONSIDERATION OF ITEMS REMOVED FROM THE CONSENT AGENDA:

PUBLIC HEARINGS:

14. **LS-20821** (Lot-Split) (County) – Location: West of the northwest corner of West 25th Street South and South 65th West Avenue
15. **Meadow Creek – Preliminary Plat**, Location: South of southeast corner of East 111th Street South and 33rd West Avenue (County)
16. **Cadent Park - Minor Subdivision Plat**, Location: West of the northwest corner of East 91st Street South and South Yale Avenue, (CD 8) (Continued from October 7, 2015 meeting) (**Staff requests a continuance to the November 4, 2015 meeting.**)
17. **PUD-221-H –Michael Joyce**, Location: Southeast corner of South 129th East Avenue and East 43rd Place South, requesting a **PUD Major Amendment** to allow an assisted living center, **RS-3/PUD-221-D to RS-3/PUD-221-H**, (CD 6) (Continued from 9/2/15 and 10/7/15)
18. **PUD 221 H – Plat Waiver**, Location: Southeast corner of South 129th East Avenue and 43rd Place South, (CD 6)
19. **Z-7319 – Situs of Sound LLC/Bruce Robbins, Jr.**, Location: East and south of southeast corner of East 11th Street and South 177th East Avenue, requesting rezoning from **AG to IL**, (CD 6)

OTHER BUSINESS

20. Commissioners' Comments

ADJOURN

CD = Council District

NOTE: If you require special accommodation pursuant to the Americans with Disabilities Act, please notify INCOG (918) 584-7526. Exhibits, Petitions, Pictures, etc., presented to the Planning Commission may be received and deposited in case files to be maintained at Land Development Services, INCOG. Ringing/sound on all cell phones and paggers must be turned off during the Planning Commission.

Visit our website at www.tmapc.org

email address: esubmit@incog.org

TMAPC Mission Statement: The Mission of the Tulsa Metropolitan Area Planning Commission (TMAPC) is to provide unbiased advice to the City Council and the County Commissioners on development and zoning matters, to provide a public forum that fosters public participation and transparency in land development and planning, to adopt and maintain a comprehensive plan for the metropolitan area, and to provide other planning, zoning and land division services that promote the harmonious development of the Tulsa Metropolitan Area and enhance and preserve the quality of life for the region's current and future residents.

TMAPC RECEIPTS
Month of September 2015

	----- Current Period -----			----- Year To Date -----				
	ITEM	CITY	COUNTY	TOTAL RECEIVED	ITEM	CITY	COUNTY	TOTAL RECEIVED
ZONING								
Zoning Letters	22	\$612.50	\$612.50	\$1,225.00	45	\$1,287.50	\$1,287.50	\$2,575.00
Zoning	5	4,072.50	4,072.50	8,145.00	22	10,532.50	10,532.50	21,065.00
PUDs & Plan Reviews	32	3,325.00	3,325.00	6,650.00	90	8,362.50	8,362.50	16,725.00
Refunds		(300.00)	(300.00)	(600.00)	0	(1,170.00)	(1,170.00)	(2,340.00)
NSF		0.00	0.00	0.00		\$0.00	\$0.00	0.00
Fees Waived		<u>0.00</u>	<u>0.00</u>	<u>0.00</u>	<u>0</u>	<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
		<u>\$7,710.00</u>	<u>\$7,710.00</u>	<u>\$15,420.00</u>		<u>\$19,012.50</u>	<u>\$19,012.50</u>	<u>\$38,025.00</u>
LAND DIVISION								
Minor Subdivisions	1	\$325.00	\$325.00	\$650.00	1	\$325.00	\$325.00	\$650.00
Preliminary Plats	3	1,742.50	1,742.50	3,485.00	11	6,180.00	6,180.00	12,360.00
Final Plats	2	1,010.00	1,010.00	2,020.00	4	1,987.50	1,987.50	3,975.00
Plat Waivers	0	0.00	0.00	0.00	4	500.00	500.00	1,000.00
Lot Splits	11	597.50	597.50	1,195.00	23	1,162.50	1,162.50	2,325.00
Lot Combinations	13	650.00	650.00	1,300.00	30	1,500.00	1,500.00	3,000.00
Access Changes	1	25.00	25.00	50.00	3	75.00	75.00	150.00
Other		0.00	0.00	0.00	0	0.00	0.00	0.00
NSF		0.00	0.00	0.00	0	0.00	0.00	0.00
Refunds		0.00	0.00	0.00	<u>0</u>	0.00	0.00	0.00
Fees Waived		<u>0.00</u>	<u>0.00</u>	<u>0.00</u>		<u>0.00</u>	<u>0.00</u>	<u>0.00</u>
		<u>\$4,350.00</u>	<u>\$4,350.00</u>	<u>\$8,700.00</u>		<u>\$11,730.00</u>	<u>\$11,730.00</u>	<u>\$23,460.00</u>
TMAPC COMP								
Comp Plan Admendment	1	\$200.00	\$0.00	\$200.00		\$400.00	\$0.00	\$400.00
Refund		<u>\$0.00</u>		<u>\$0.00</u>		\$0.00	\$0.00	\$0.00
		<u>\$200.00</u>	<u>\$0.00</u>	<u>\$200.00</u>		\$400.00	\$0.00	\$400.00
BOARDS OF ADJUSTMENT								
Fees	18	\$6,200.00	\$1,100.00	\$7,300.00	42	\$17,750.00	\$2,050.00	\$19,800.00
Refunds		0.00	0.00	\$0.00	34	\$0.00	\$0.00	0.00
NSF Check		0.00	0.00	\$0.00	0	\$0.00	\$0.00	0.00
Fees Waived		<u>0.00</u>	<u>0.00</u>	<u>\$0.00</u>		<u>\$0.00</u>	<u>0.00</u>	<u>0.00</u>
		<u>\$6,200.00</u>	<u>\$1,100.00</u>	<u>\$7,300.00</u>		<u>\$17,750.00</u>	<u>\$2,050.00</u>	<u>\$19,800.00</u>
TOTAL		\$18,460.00	\$13,160.00	\$31,620.00		\$48,892.50	\$32,792.50	\$81,685.00
LESS WAIVED FEES *		\$0.00		\$0.00		(\$55.77)		(\$55.77)
GRAND TOTALS		\$18,460.00	\$13,160.00	\$31,620.00		\$48,836.73	\$32,792.50	\$81,629.23

* Advertising, Signs & Postage Expenses for City of Tulsa Applications with Fee Waivers.

Final Subdivision Plat

Cypress Creek Estates - (CD 6)

West of South 193rd East Avenue, North of East 51st Street South

This plat consists of 119 Lots, 8 Blocks, on 40 acres.

Staff has received release letters for this plat and can recommend **APPROVAL** of the Final Plat.

1/1

10/13/15



Case Number: PUD-426-8
Minor Amendment

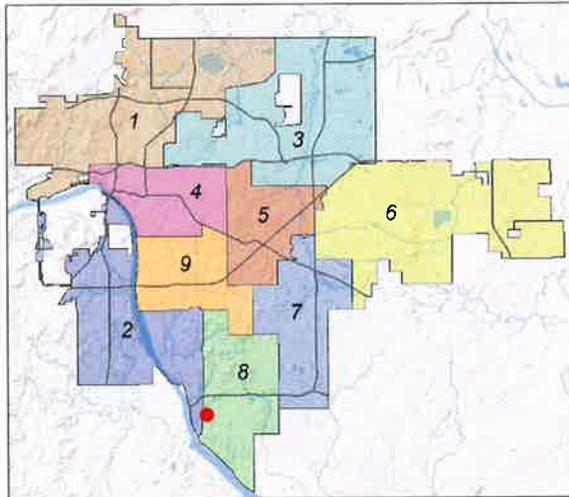
Hearing Date: October 21, 2015

Case Report Prepared by:
 Jay Hoyt

Owner and Applicant Information:
 Applicant: Darren and April Rager

Property Owner: Glen and Jennifer Russell

Location Map:
 (shown with City Council Districts)



Applicant Proposal:

Concept summary: PUD minor amendment to increase the allowable building height from 35 feet to 40 feet

Gross Land Area: .53 acres

Location: Northwest corner of South Knoxville Avenue and East 103rd Street South

Lot 3, Block 1 Estates of Chelsea Pond

Zoning:
 Existing Zoning: RS-1/PUD-426
 Proposed Zoning: No Change

Staff Recommendation:
 Staff recommends **APPROVAL**.

Comprehensive Plan:
 Land Use Map: Existing Neighborhood
 Growth and Stability Map: Stability

Staff Data:
 TRS: 8328
 CZM: 56 Atlas: 2473

City Council District: 8
 Councilor Name: Phil Lakin

County Commission District: 3
 Commissioner Name: Ron Peters

SECTION I: PUD-426-8 Minor Amendment

STAFF RECOMMENDATION

Amendment Request: Modify the PUD to increase the allowable building height from 35 feet to 40 feet.

Staff Comment: This request can be considered a Minor Amendment as outlined by Section 1107.H.9 PUD Section of the City of Tulsa Zoning Code.

"Changes in structure heights, building setbacks, yards, open spaces, building coverage and lot widths or frontages, provided the approved Development Plan, the approved PUD standards and the character of the development are not substantially altered."

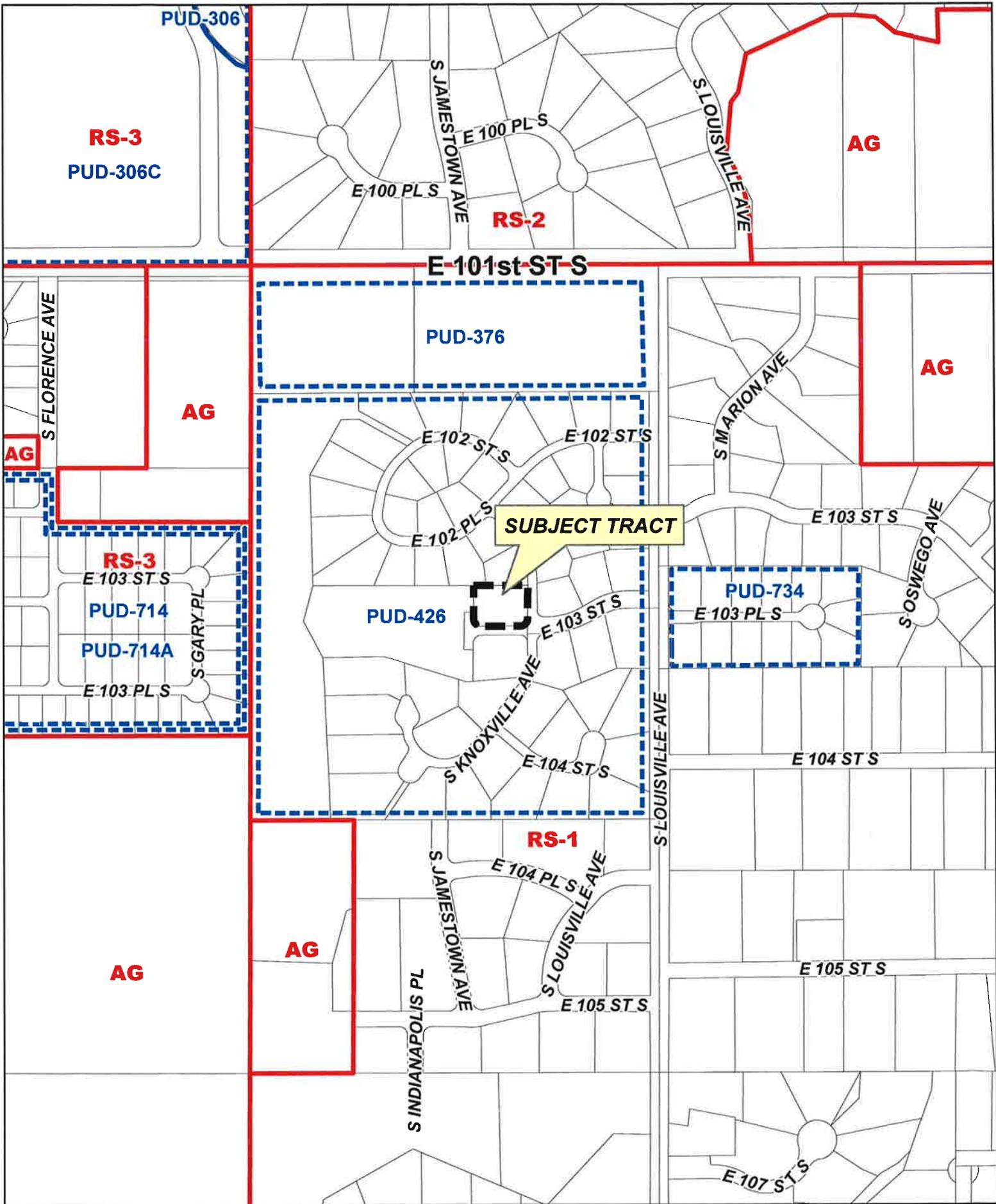
Staff has reviewed the request and determined:

- 1) The requested amendment does not represent a significant departure from the approved development standards in the PUD.
- 2) All remaining development standards defined in PUD-426 and subsequent minor amendments shall remain in effect.

Exhibits included with staff recommendation:

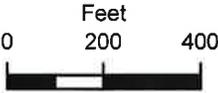
INCOG zoning case map
INCOG aerial photo
INCOG aerial photo enlarged
Applicant Exterior Elevations

With considerations listed above, staff recommends **approval** of the minor amendment request to increase the allowable building height from 35 feet to 40 feet.

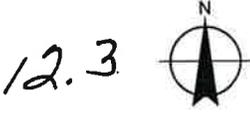


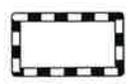
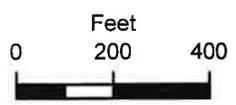
SUBJECT TRACT

PUD-426-8



18-13 28





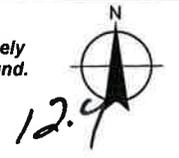
Subject Tract

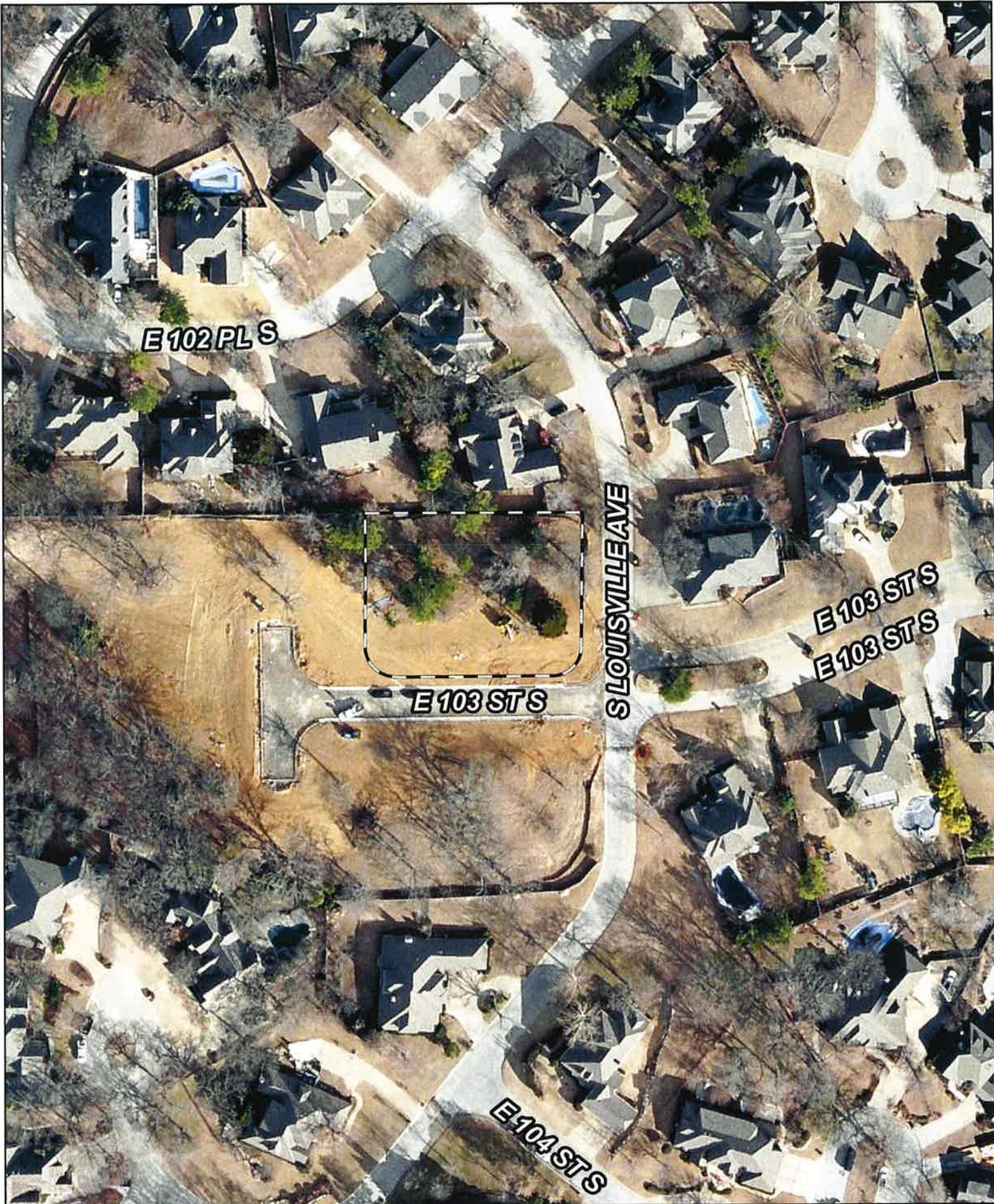
PUD-426-8

18-13 28

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: March 2014





E 102 PL S

S LOUISVILLE AVE

E 103 ST S
E 103 ST S

E 103 ST S

E 104 ST S



Subject
Tract

PUD-426-8

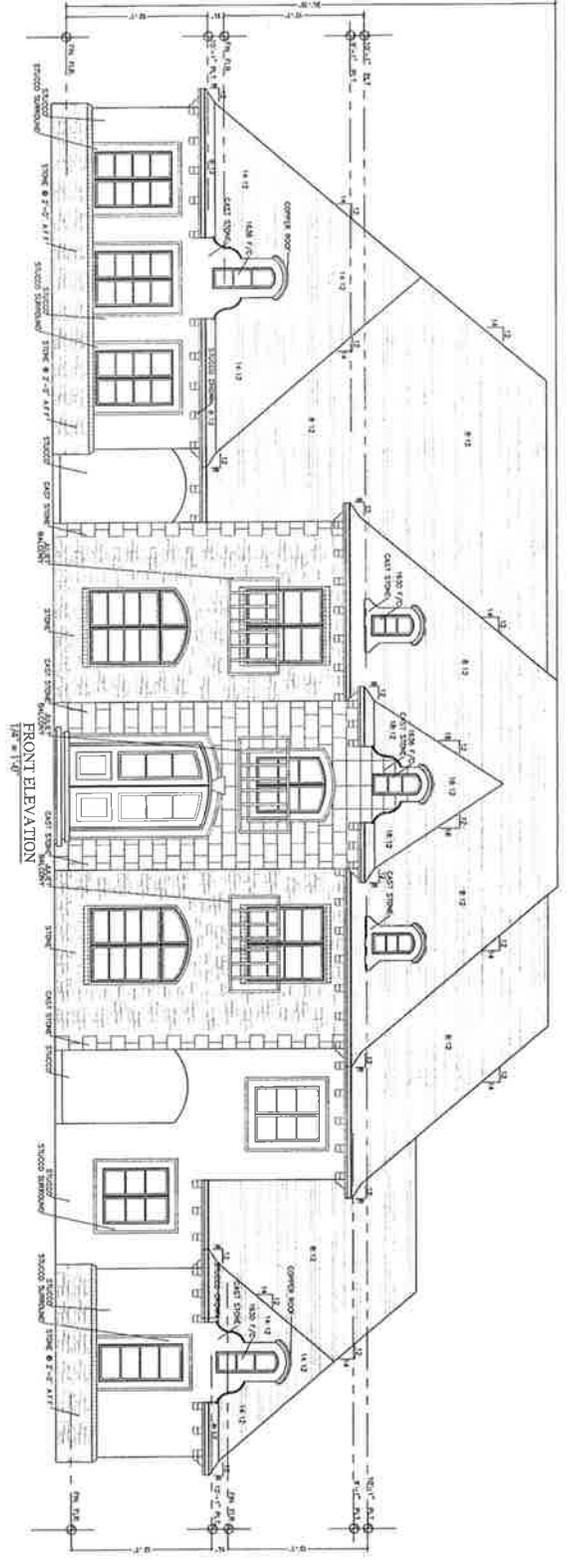
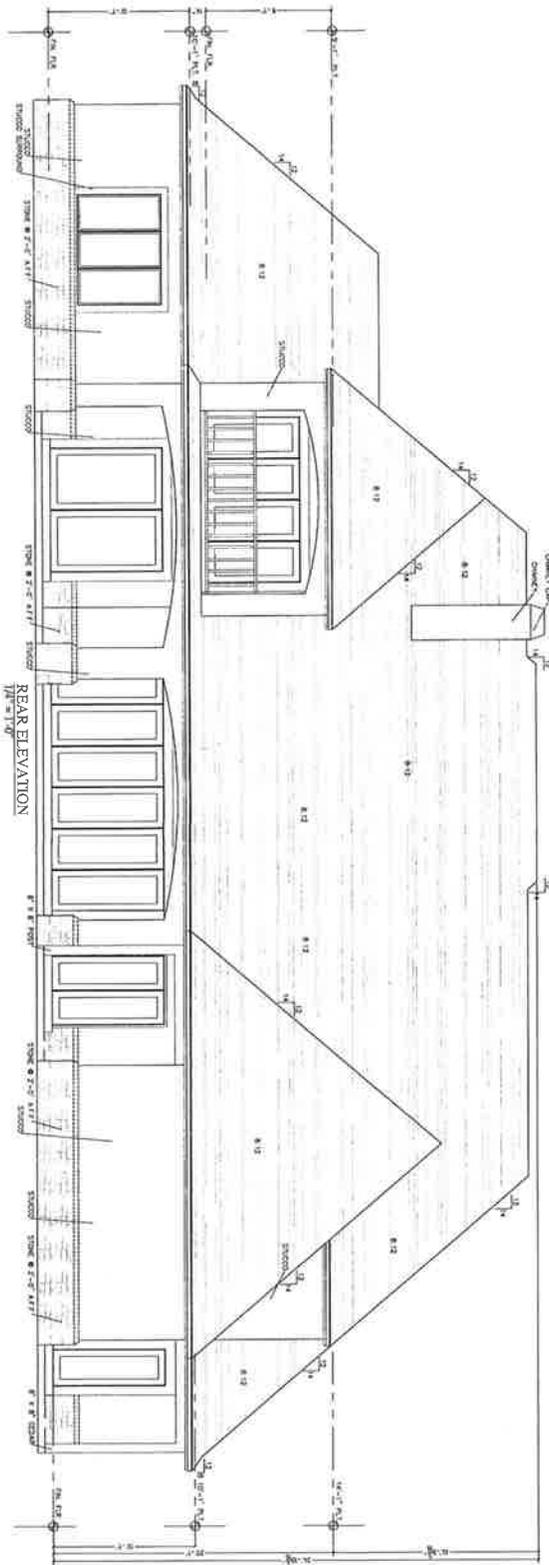
18-13 28

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: March 2014 12.5



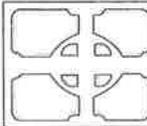
12.4



CANTERBURY DESIGN GROUP
 RESIDENTIALDESIGNSERVICES
 405.684.0424
 400 MILLS AVENUE #405 GREENVILLE, SC 29605

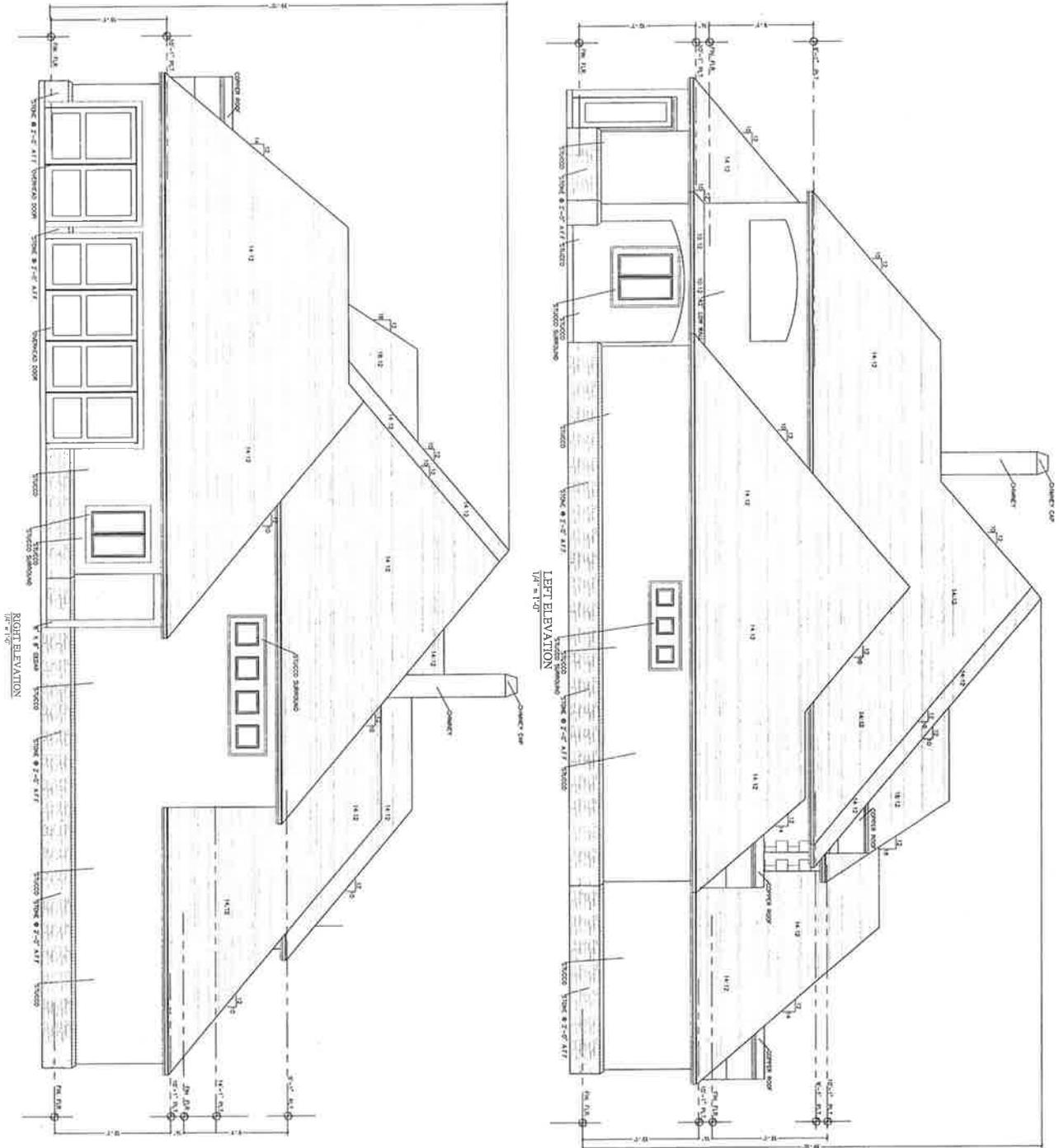
DATE: 06/10/2015
 PROJECT OWNER: ARTISAN ARTISAN VENTURES
 JOB LOCATION: 407 S. JAY, GREENVILLE, SC
 DRAWN BY: C.D. LITTLE
 REVISED:

NOTE: VERIFY ALL DIMENSIONS IN THE FIELD
 SQUARE FOOTAGE
 FLOOR: 2000.00
 TOTAL FINISHED AREA



SHEET NO.
5

12.7



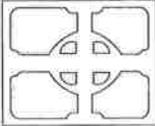
CANTERBURY DESIGN GROUP
RESIDENTIALDESIGNSERVICES

405.684.0424

400 MILLS AVENUE #405 GREENVILLE, SC 29605

SQUARE FOOTAGE
 FLOOR 1 171
 FLOOR 2 185
 TOTAL 356
 TOTAL FINISHED SQ FT 373

DATE: 06/16/2015
 PROJECT OWNER:
 ARCHITECT:
 JOB LOCATION:
 LOT: 8 BK 1 Cantelora Park
 BLOCK: 30
 C.D. TITLE:
 REVISIONS:



SHEET NO.
6



Case Number: PUD-521
Detail Site Plan

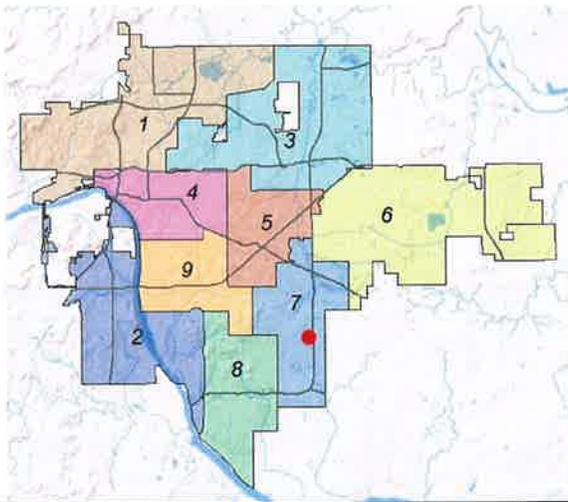
Hearing Date: October 21, 2015

Case Report Prepared by:
 Jay Hoyt

Owner and Applicant Information:
 Applicant: Cedar Creek Consulting

Property Owner: Sleep Center Properties, LLC

Location Map:
 (shown with City Council Districts)



Applicant Proposal:

Detailed Site Plan:
 Plan represents details for a new retail building within the PUD.

Gross Land Area: 0.97 Acres

Location: East of the Southeast corner of South 101st East Avenue and East 71st Street South

Development Area C

Zoning:
 Existing Zoning: CS/PUD-521
 Proposed Zoning: No Change

Staff Recommendation:
 Staff recommends **APPROVAL**.

Comprehensive Plan:
 Land Use Map: Regional Center
 Growth and Stability Map: Growth

Staff Data:
 TRS: 8407
 CZM: 54 Atlas: 1127

City Council District: 7
 Councilor Name: Anna America
County Commission District: 3
 Commissioner Name: Ron Peters

SECTION I: PUD-521 Detailed Site Plan

STAFF RECOMMENDATION

CONCEPT STATEMENT:

The applicant is requesting detail site plan approval on a 0.97 Acre site in a Planned Unit Development for a new retail building including one, one story building.

PERMITTED USES:

Use Units 11, 12, 13, 14 and vehicular repair and service except body repair or painting and customary accessory uses. The retail building proposed for this project is allowed by right.

DIMENSIONAL REQUIREMENTS:

The submitted site plan meets all applicable building height, floor area, density, open space, and setback limitations. No modifications of the previously approved Planned Unit Development are required for approval of this site plan.

ARCHITECTURAL GUIDELINES:

The new building meets all applicable architectural guidelines in the Planned Unit Development.

OFF-STREET PARKING AND VEHICULAR CIRCULATION:

The site plan meets the minimum parking defined in the Tulsa Zoning Code and the Planned Unit Development.

LIGHTING:

Site lighting plans provided. All parking lot lighting shall be directed downward and away from adjacent residential areas.

SIGNAGE:

The site plan does not illustrate signage. Any new signage will require a separate permit. All signage will be required to meet the Planned Unit Development Standards. Any ground or monument signs placed in an easement will require a license agreement with the City prior to receiving a sign permit. This staff report does not remove the requirement for a separate sign plan review process.

SITE SCREENING AND LANDSCAPING:

The open space, landscape area and screening are consistent with the Planned Unit Development requirements and meet the minimum standards of the Landscape portion of the Tulsa Zoning Code. This staff report does not remove the requirement for a separate landscape plan review process.

PEDESTRIAN ACCESS AND CIRCULATION:

The plan displays pedestrian paths adjacent to the proposed building.

MISCELLANEOUS SITE CONSIDERATIONS:

There are no concerns regarding the development of this area.

SUMMARY:

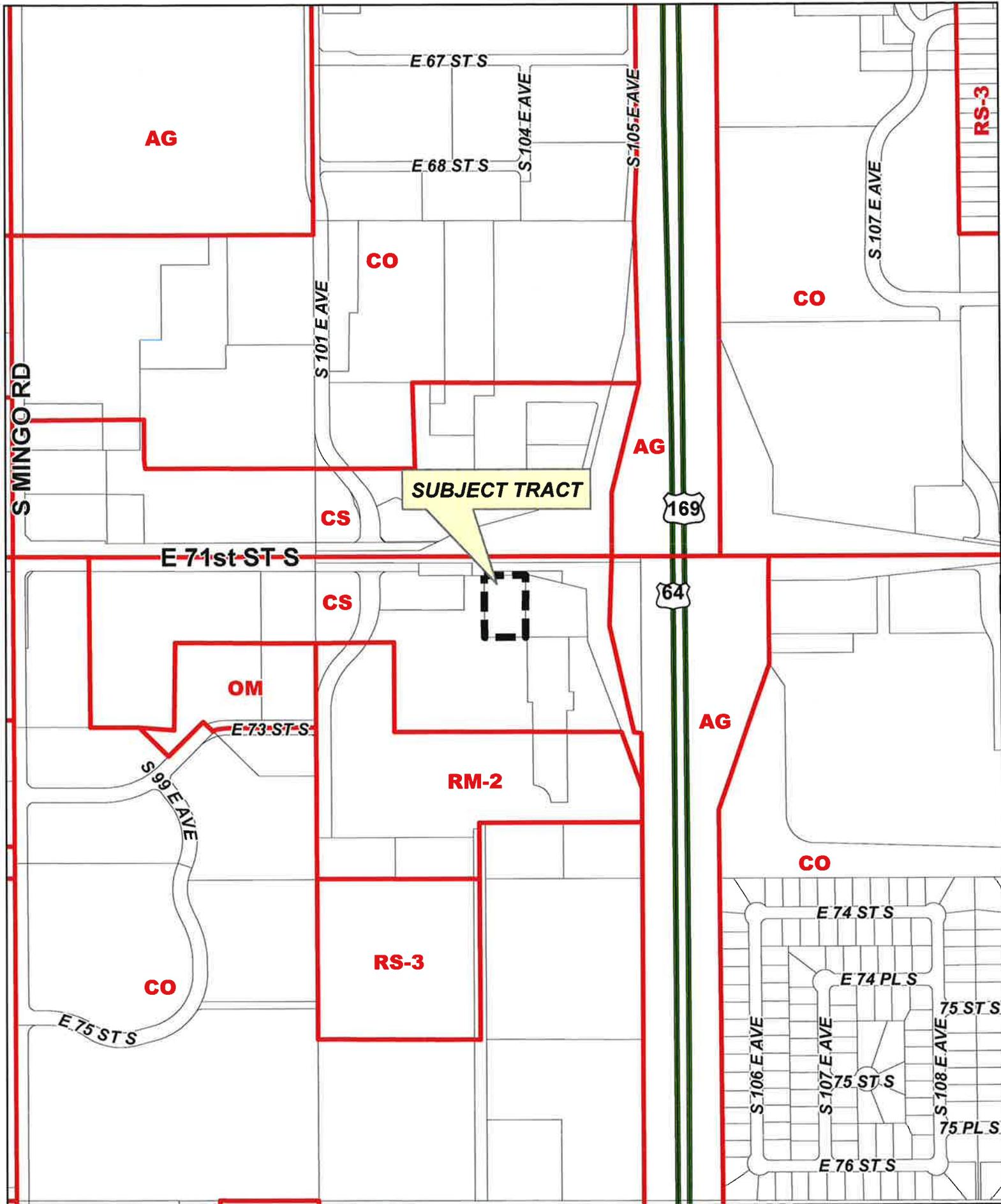
Staff has reviewed the applicant's submittal of the site plan as it relates to the approved **PUD-521**. The site plan submittal meets or exceeds the minimum requirements of the Planned Unit Development. Staff finds that the uses and intensities proposed with this site plan are consistent with the approved Planned Unit Development, and the stated purposes of the Planned Unit Development section of the Zoning Code.

Exhibits included with staff recommendation:

INCOG zoning case map
INCOG aerial photo
INCOG aerial photo enlarged
Applicant Site Plan
Applicant Exterior Elevations
Applicant Site Lighting Plan
Applicant Dumpster Enclosure Details

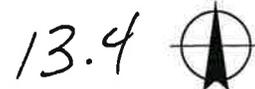
Staff recommends **APPROVAL** of the detail site plan for the proposed new retail building.

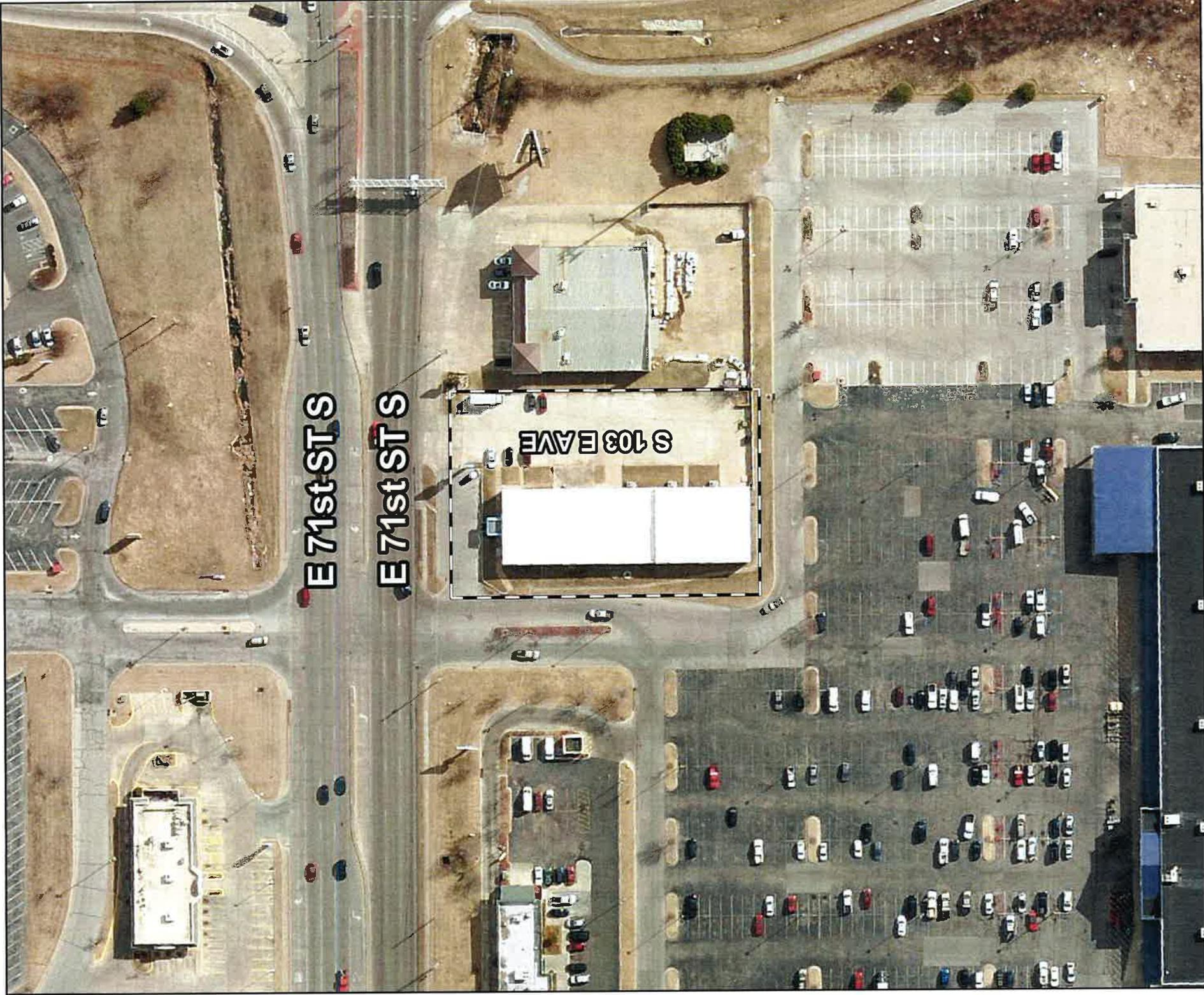
(Note: Detail site plan approval does not constitute sign plan or landscape plan approval.)



PUD-521 DSP

18-14 07

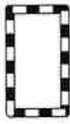




E 71st ST S

E 71st ST S

S 103 E AVE



Subject Tract

PUD-521 DSP

18-14 07

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: March 2014 / 3.6





PROJECT:
SLEEP CENTER
 TULSA, OK

PROJECT NUMBER: 18
DRAWING DATE: 08.15
ISSUE DATE: 08.11

ISSUED FOR PERMIT

SEAL:
 PROFESSIONAL ENGINEER
 STATE OF OKLAHOMA
 No. 12345
SUBMITTAL

SITE PLAN

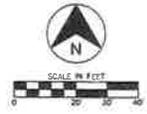
C1.00

LEGEND

--- BOUNDARY LINE	--- RIGHT OF WAY LINE	○ EX. POWER POLE	○ EX. POWER POLE
--- EASEMENT LINE	--- EXISTING CONCRETE CURB AND GUTTER	□ PROP. POWER POLE	□ PROP. POWER POLE
--- PROPOSED CONCRETE CURB AND GUTTER	--- PROPOSED FIRE LANE STRIPING	□ EX. TELEPHONE PED.	□ EX. TELEPHONE PED.
--- OVERHEAD ELECTRIC	--- UNDERGROUND ELECTRIC	○ EX. TELEPHONE MANHOLE	○ EX. TELEPHONE MANHOLE
--- GAS LINE	--- UNDERGROUND FIBER OPTIC	○ EX. TRAFFIC SIGNAL LIGHT	○ EX. TRAFFIC SIGNAL LIGHT
--- SANITARY SEWER	--- BENCHMARK	□ EX. TRAFFIC CONTROL BOX	□ EX. TRAFFIC CONTROL BOX
○ FIRE HYDRANT	○ EX. WATER METER	○ EX. FLAG POLE	○ EX. FLAG POLE
○ WATER VALVE	○ EX. WATER METER PIT	○ EX. YARD LIGHT	○ EX. YARD LIGHT
○ EX. WATER METER	○ PROP. WATER METER	○ EX. GREASE TRAP	○ EX. GREASE TRAP
○ EX. SPRINKLER VALVE	○ EX. AUTO SPRINKLER	○ EX. SS MANHOLE	○ EX. SS MANHOLE
○ EX. ELECT. PEDESTAL	○ EX. ELECT. TRANSFORMER	○ PROP. SS MANHOLE	○ PROP. SS MANHOLE
○ EX. ELECT. METER	○ PROP. ELECT. METER	○ EX. GAS METER	○ EX. GAS METER
○ EX. AIR CONDITIONER	○ EX. LIGHT POLE	○ PROP. GAS METER	○ PROP. GAS METER
○ EX. SIGNAGE	○ PROP. LIGHT POLE	○ EX. ELECT. MANHOLE	○ EX. ELECT. MANHOLE
○ EX. BOLLARD	○ EX. BOLLARD	○ EX. STORM MANHOLE	○ EX. STORM MANHOLE
□ PROP. INLETS (SEE GRADING PLAN FOR TYPE)	□ PROP. INLETS (SEE GRADING PLAN FOR TYPE)		
○ VERTICAL SEPARATION REQUIREMENT			

NOTE: CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL PROPOSED WORK MEETS ADA REQUIREMENTS. REFER TO www.access-board.gov/ada-aba/ada-standards-cd.cfm

NOTE: CONTRACTOR SHALL CONSTRUCT AND INSTALL WHEEL STOPS, SIGNS, AND ADA RAMPS AT ALL HANDICAP SPACES



CITY OF TULSA STANDARD DETAILS

THE FOLLOWING CITY OF TULSA PUBLIC WORKS STANDARD DETAILS ARE REQUIRED AND PROVIDED ON THE CIVIL DETAIL SHEETS:

- 126 - STANDARD SILT FENCE AND CONSTRUCTION ENTRANCE
- 304 - BEDDING DETAIL RIGID PIPE
- 305 - BEDDING DETAIL, SEMI-RIGID PIPE
- 361 - STANDARD DETAIL FOR IN-LINE TEES FOR SERVICE CONNECTION
- 362 - RISER DETAIL
- 504 - STANDARD METER SETTINGS FOR 2" WATER SERVICE
- 505 - METER CAN WITH RM & LID FOR 2" WATER METER INSTALLATION
- 700 - RESIDENTIAL CONCRETE DRIVEWAY ASPHALT STREET
- 706 - COMMERCIAL DRIVEWAY
- 726 - ASPHALT PAVEMENT STD DETAILS FOR RESIDENTIAL AND COLLECTOR STREETS
- 727 - CONCRETE PAVEMENT STD DETAILS FOR RESIDENTIAL AND COLLECTOR STREETS
- 751 - STANDARD PIPE BEDDING DETAIL FOR STORM SEWER
- 755 - INLET CONFIGURATION
- 764 - STD REINFORCED CONCRETE STORMWATER INLETS
- 790 - STANDARD SIDEWALK RAMP

- ### SITE NOTES
- CONTRACTOR SHALL REFER TO THE CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO THE WRITTEN SPECIFICATIONS, CONSTRUCTION DRAWINGS, STORM WATER POLLUTION PLAN, AND GEOTECHNICAL REPORT.
 - ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE OWNERS DESIGN GUIDELINES AND SPECIFICATIONS, AND WHERE APPLICABLE SHALL MEET THE REQUIREMENTS OF THE GOVERNING PERMITTING AUTHORITY HAVING JURISDICTION.
 - CONTRACTOR IS RESPONSIBLE FOR THEIR OWN HORIZONTAL AND VERTICAL CONTROL, REFERENCE POINTS AND CONSTRUCTION STAKING AS INCIDENTAL TO THE PROJECT.
 - THE CONTRACTOR SHALL FIELD VERIFY EXISTING ELEVATIONS/PROPERTY LINES/UTILITIES/DRAINAGE PRIOR TO CONSTRUCTION START.
 - ALL WORK NOT CLASSIFIED AS A CONTRACT PAY ITEM SHALL BE CONSIDERED AN INCIDENTAL AND THE COST THEREOF SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS WHICH ARE CLASSIFIED FOR PAYMENT.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL AND MEP PLANS AND SPECIFICATIONS BEING A PART OF THE CONSTRUCTION DOCUMENTS FOR THE EXACT LOCATIONS AND DIMENSIONS OF ENTRY, EXIT PORCHES, PRECISE BUILDING DIMENSIONS, EXACT BUILDING UTILITY ENTRANCE, AND DOWNSPOUT LOCATIONS/SPECIFICATIONS/DETAILS.
 - ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB (FC) UNLESS OTHERWISE NOTED.
 - PARKING LOT STRIPING SHALL BE 4" WIDE AND WHITE IN COLOR. HANDICAP PARKING STALLS STRIPING SIGNAGE SHALL BE IN STRICT ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS.
 - UNLESS OTHERWISE NOTED ALL RADII SHALL BE 2'.
 - BUILDING DIMENSIONS ARE TO OUTSIDE OF MASONRY, UNLESS OTHERWISE SHOWN.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION AND DETAILS OF ALL UTILITY ENTRANCES. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED, AS WELL AS COORDINATED WITH ANY UTILITY COMPANIES FOR APPROVED LOCATIONS AND SCHEDULING OF TIE-INS/CONNECTIONS TO THEIR FACILITIES.
 - REFER TO ARCHITECTURE PLANS FOR SITE LIGHTING AND ELECTRICAL CONDUIT PLANS. POLE LOCATIONS ARE SHOWN ON THIS SHEET FOR REFERENCE ONLY. IT IS THE CONTRACTORS RESPONSIBILITY TO IDENTIFY AND ADJUST ANY CONSTRUCTED CONFLICTS WITH UNDERGROUND UTILITIES, SIDEWALKS, ETC.
 - CHECK ARCHITECTURAL PLANS FOR EXACT DOWNSPOUT LOCATIONS.
 - CONTRACTOR SHALL REFER TO LANDSCAPE AND IRRIGATION PLAN FOR LOCATION AND CONSTRUCTION DETAILS OF LANDSCAPING AND IRRIGATION.

SITE DATA

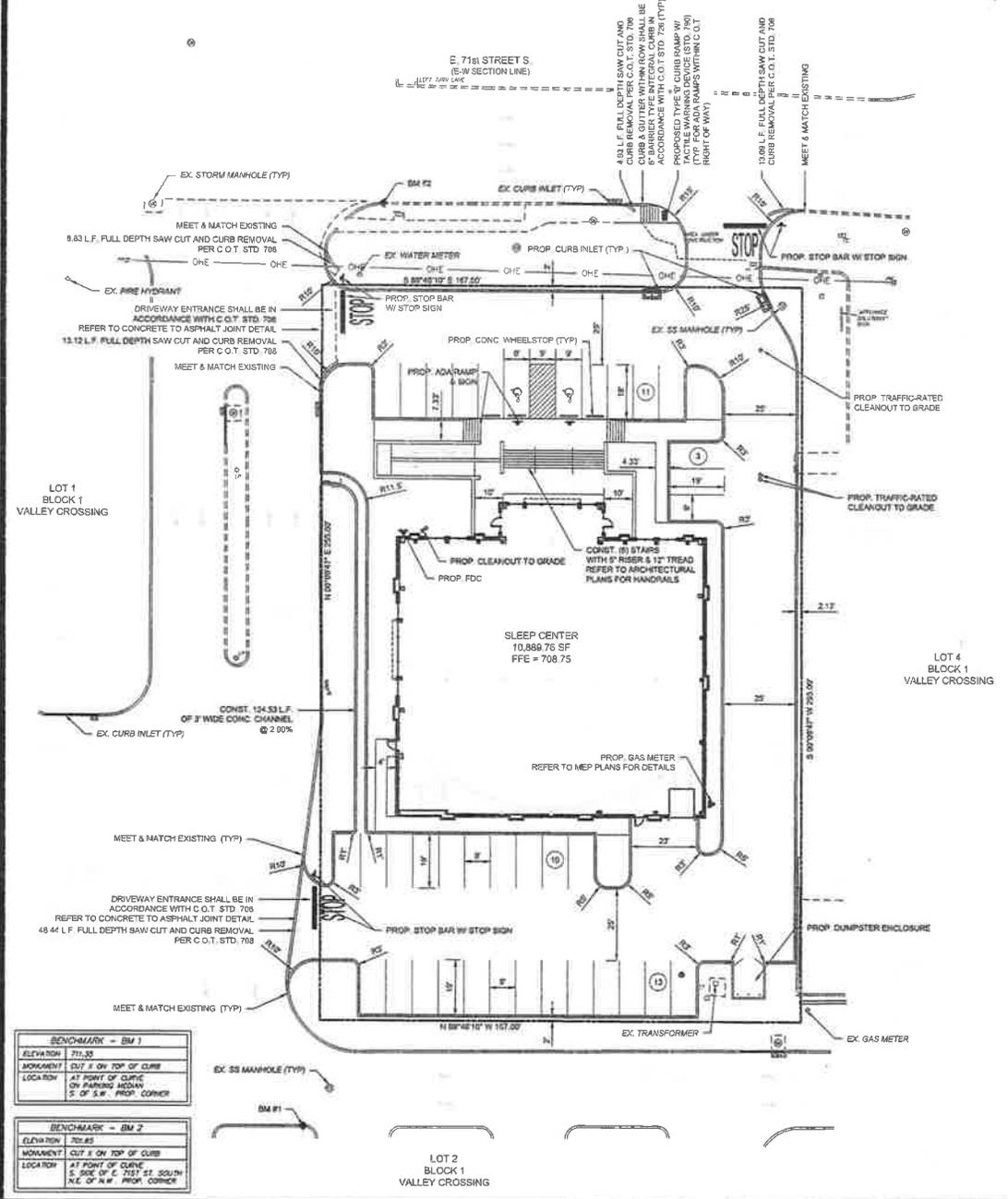
LOT INFORMATION:
 ZONING - PUD S21-1
 PROPOSED USE: RETAIL
 LOT SIZE: 0.97 ACRES (42,354.97 SF)
 BUILDING SIZE: 10,889.76 SF
 ALLOWABLE BUILDING HEIGHT: 25 FEET
 PROPOSED BUILDING HEIGHT: 25 FEET
 BUILDING LAND COVERAGE: 25.57%

PARKING REQUIREMENTS:
 CRITERIA
 TOTAL REQUIRED PARKING: 37 P S
 TOTAL PROVIDED PARKING: 37 P S
 HANDICAP PARKING REQUIREMENTS:
 PROVIDED: 2 P S

IMPERVIOUS SURFACE AREA:
 TOTAL OVERALL AREA: 42,554.97 SF
 EXISTING IMPERVIOUS AREA: 0.00 SF (0.00%)
 PROPOSED IMPERVIOUS SURFACE AREA: 35,817.49 SF (84.11%)
 TOTAL IMPERVIOUS AREA: 35,817.49 SF (84.11%)

LANDSCAPED AREA:
 TOTAL OVERALL AREA: 42,554.97 SF
 REQUIRED LANDSCAPE AREA: 4,298.58 SF (10.10%)
 PROPOSED LANDSCAPE AREA: 6,767.48 SF (15.89%)

LEGAL DESCRIPTION
 LOT TWO (2) BLOCK ONE (1), VALLEY CROSSING, AN ADDITION IN TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF.



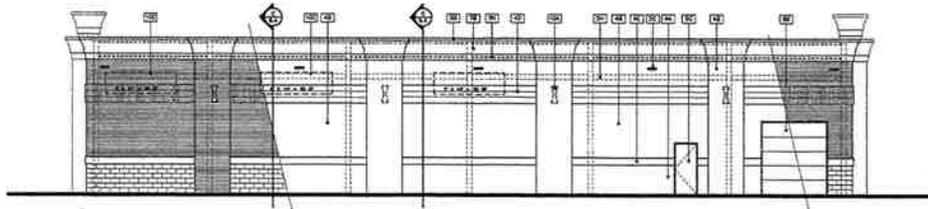
BENCHMARK - BM 1

ELEVATION:	771.35
MONUMENT:	5" DIA. ON TOP OF CURB
LOCATION:	AT POINT OF CURB ON PARKING MEDIAN S. OF S.W. PROP. CORNER

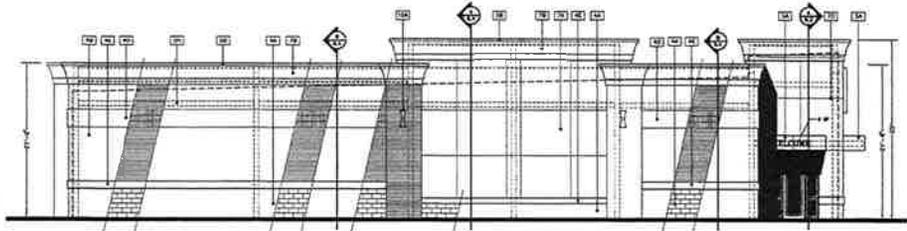
BENCHMARK - BM 2

ELEVATION:	726.85
MONUMENT:	4" DIA. ON TOP OF CURB
LOCATION:	AT POINT OF CURB S. SIDE OF E. 71ST ST SOUTH N.E. OF N.W. PROP. CORNER

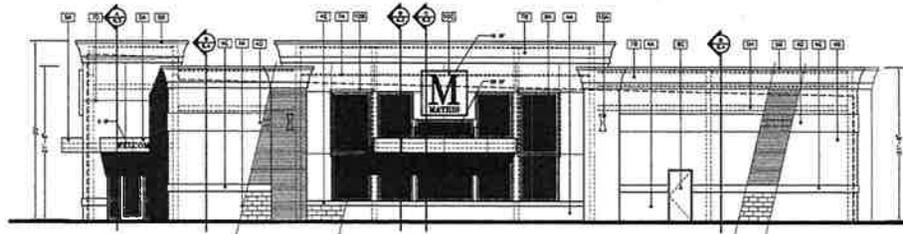
13.7



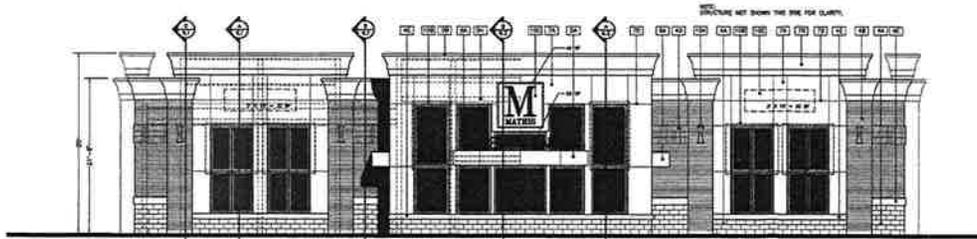
SOUTH BUILDING ELEVATION
SCALE 1/8" = 1'-0"



EAST BUILDING ELEVATION
SCALE 1/8" = 1'-0"



WEST BUILDING ELEVATION
SCALE 1/8" = 1'-0"



NORTH BUILDING ELEVATION
SCALE 1/8" = 1'-0"

- ELEVATION NOTES:**
- 4 MASONRY
 - 4A. CALL UP FACE VENEER
 - 4B. BRICK VENEER
 - 4C. RED BRICK
 - 4D. BRICK COURSE
 - 4E. CORNER BRICK TIE

NOTE: BRICK, WITH A CALL LETTER SHALL BE ORDERED ON TYPED WRITER SAMPLE ON 1/2" THICK GLASS SHEETING.
FIELD: SUBMIT SAMPLES OF ALL VENEER FOR OWNER APPROVAL.
 - 5 METAL
 - 5A. GALV. WITH PINK PRIME
 - 5B. METAL-FINISHED METAL SHIP FLASHING ON FLUOROPOLYMER 200 1/2" COULDER P.A. FINISHES. SUBMIT SAMPLE FOR OWNER APPROVAL.
 - 5C. DOWNBAR BELLOWS. RE. METAL - SEE SUPPLIER FOR SIZE REQ'D.
 - 5D. BRASSING BRASS METAL ROOF
 - 5E. METAL BRACKET - BRASS BRASS FOR APPROVAL.
 - 5F. METAL CLIP & CONNECTIONS. SEE OTHER & LOCAL CODES. METAL IS REQUIRED FOR PORTALS AND BRACKETS IN ALL LOCAL CODES. METAL
 - 5G. METAL FLASH / GABLE TRIM
 - 5H. LAY-UP BRACKET - BRASS BRASSING. FIELD UP'S SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION. FIELD UP'S
 - 7 THERMAL
 - 7A. 1" GLAZ - WALL BRACKET
 - 7B. 1/2" GLAZ FACIA CORNER TRIM
 - 7C. 1/2" GLAZ ACCENT BAND
 - 7D. RUBBERGUM JOINT

NOTE:
ALL GLAZ & THERMAL COMPONENTS SHALL BE MANUFACTURED BY BRANCO / BRAY
EPF CLASSIFICATION
BRAND: 3M. CONTACT: ADVANCE DESIGN
BRAND: 3M. CONTACT: ADVANCE DESIGN
ALL GLAZ SHALL BE ORDERED ON 1/2" THICK GLASS SHEETING. SUBMIT SAMPLES OF ALL GLAZ FOR APPROVAL.
COLORS & FINISHES TO MATCH OWNER'S SAMPLES.
MATCH ALL GLAZ & EPF COMPONENTS IN BRAY
RESPONSIBLE WITH ALL'S PROFESSIONAL.
 - 8 DOORS & WINDOWS
 - 8A. ALUM. FRAMES. 2 1/2" INSULATED GLAZES - SUBMIT GLAZ SAMPLES BY TRIMMER SYSTEMS FOR OWNER APPROVAL.
ALUMINUM FINISHES SYSTEMS BY VAC. OR APPROVED EQUAL. SUBMIT ALUM. & GLAZ SAMPLES FOR APPROVAL.
 - 8B. OVERHEAD DOOR - SUBMIT COLOR SAMPLE FOR APPROVAL.
 - 8C. HOLLOW METAL DOOR & FRAME - PAINT
 - 10 SPECIALTIES
 - 10A. LIGHT FIXTURE - VERIFY LOCATION PRIOR TO INSTALLATION. SUBMIT SPEC'S FOR OWNER APPROVAL.
 - 10B. WIRE MESH - SUBMIT TO SAMPLE OWNER FOR APPROVAL.
 - 10C. SIGNAGE BY OWNER. ALL SIGNAGE SHALL COMPLY WITH ALL LOCAL INSPECTION AND BRACKETING REQ'S. BY TRIMMER. SUBMIT ALL SIGNAGE FOR TRIMMER / OWNER APPROVAL.
- SIGNAGE**
COORDINATE LOCATION, SIZE, ANCHORAGE, ETC. FOR COMPLETE INSULATION BY YOUR COMPANY.
- EXTERIOR COLOR NOTE:**
ALL EXTERIOR COLORS & FINISHES SHALL BE SUBMITTED BY CONTRACTOR FOR OWNER APPROVAL PRIOR TO CONSTRUCTION.

CLARK CONSTRUCTION, INC.
ONE WILSON ROAD
OKLAHOMA CITY, OKLAHOMA



PROPOSED PROJECT FOR:
SLEEP CENTER - 71st & MINGO RD.
C. THE STREET SOUTH & SOUTH MINGO ROAD
TULSA, OKLAHOMA

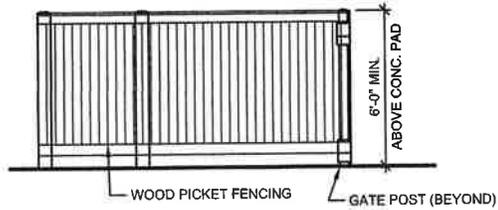
DATE: 9/24/2018
SHEET TITLE:
BUILDING E.L.



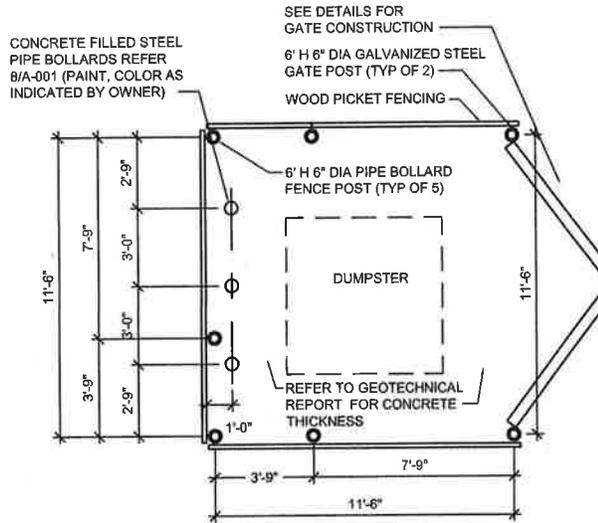
COSTIGAN & ASSOCIATES, INC.
ARCHITECTURE
PLANNING
ENGINEERING & INTERIORS
TELEPHONE: 918.438.1000
OKLAHOMA

SHEET NUMBER:
A4.1
OF 1.2 SHEETS

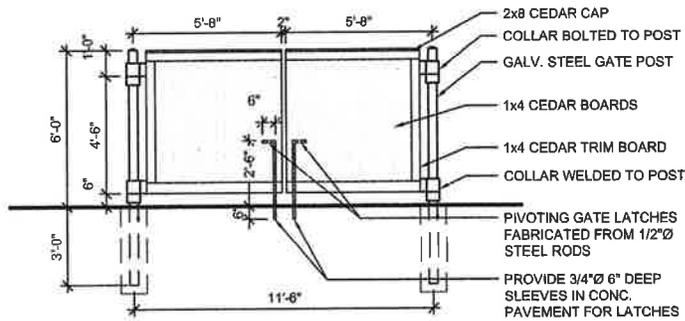
13.8



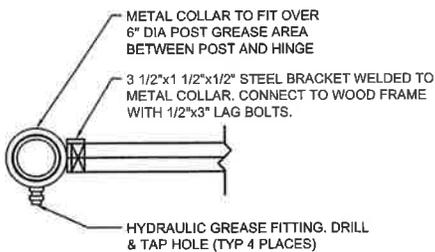
DUMPSTER ENCLOSURE ELEVATION
NOT TO SCALE



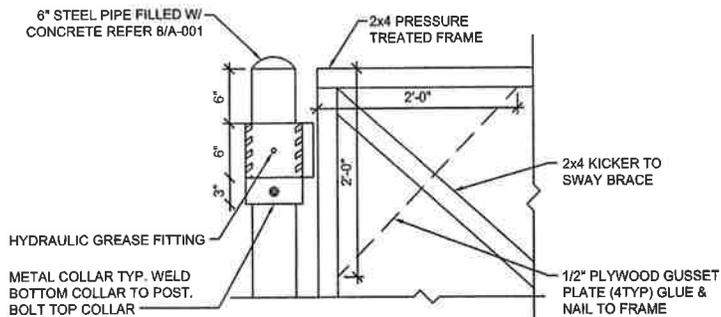
DUMPSTER ENCLOSURE PLAN
NOT TO SCALE



DUMPSTER ENCLOSURE GATE
NOT TO SCALE



PLAN SECTION
NOT TO SCALE



GATE DETAILS
NOT TO SCALE

13.10

LOT-SPLIT

October 21, 2015

LS-20821

Jennifer Hake & Heath Comstock, (9218) (RS) (County)

West of the northwest corner of West 25th Street South and South 65th

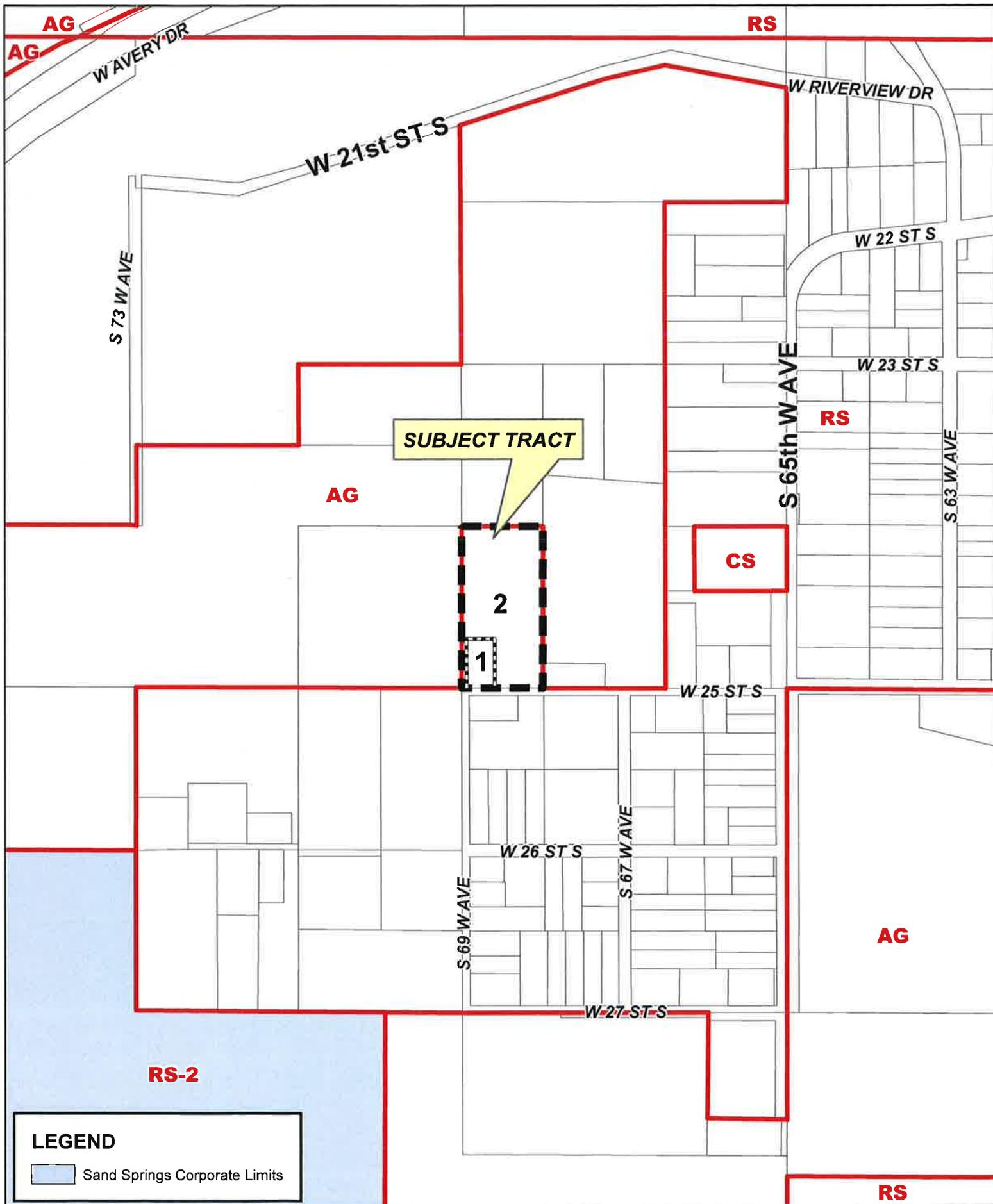
West Avenue (6733 West 25th Street South)

The Lot-Split proposal is to split an existing RS (Residential Single Family) tract into two tracts. Both of the resulting tracts exceed the Bulk and Area requirements of the Tulsa County Zoning Code.

Technical Advisory Committee met on September 30, 2015. The County Engineer is requiring 30 feet of right-of way on West 25th Street South..

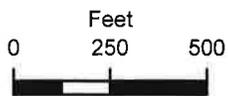
The proposed lot-split would not have an adverse affect on the surrounding properties and staff recommends **APPROVAL** of the lot-split and the waiver of the Subdivision Regulations that no lot have more than three side lot lines.

14.1



LEGEND

 Sand Springs Corporate Limits



LS-20821

19-12 18

14.2





Subject
Tract

LS-20821

19-12 18

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: March 2014



14.3



S 69 WAVE

W 25 ST S

1

2



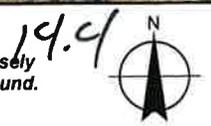
Subject Tract

LS-20821

19-12 18

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: March 2014





Tulsa Metropolitan Area
Planning Commission

Case : Meadow Creek

Preliminary Plat

Hearing Date: October 21, 2015

Case Report Prepared by:

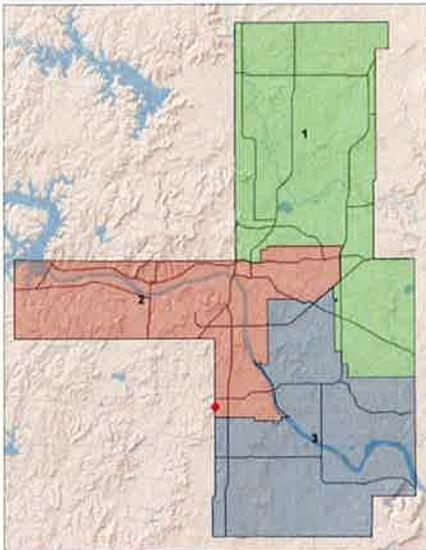
Diane Fernandez

Owner and Applicant Information:

Applicant: Tanner Consulting LLC

Owner: Jenks Land LLC

Location Map:
(shown with City Council Districts)



Applicant Proposal:

Tract Size: 5 acres

Location: South of southeast corner of East 111th Street South and 33rd West Avenue

Zoning: Planned Unit Development 839
(pending), (AG existing)

Staff Recommendation:

Staff recommends Approval with conditions.

City Council District:

Councilor Name: N/A

County Commission District: 2

Commissioner Name: Karen Keith

EXHIBITS:

- INCOG Aerials
- INCOG Case Map
- Subdivision Map

15.1

PRELIMINARY SUBDIVISION PLAT

Meadow Creek - (County)

South of southeast corner of East 111th Street South and 33rd West Avenue

The plat consists of 8 Lots, 1 Block, on 5 acres.

The following issues were discussed October 1, 2015, at the Technical Advisory Committee (TAC) meeting:

1. **Zoning:** The property is zoned PUD 839 (pending) (AG existing). The County Inspector will need to be shown schematics of site plans for development.
2. **Streets:** City – no comment. County Engineer will need to see proof of adequate access through previous lot split. Cul-de-sac design will need to be approved through County Engineer. Creek County will accept some right-of-way dedication. Right of way dedication documents will need to be provided to County Engineer.
3. **Sewer:** City – out of service area – no comment.
4. **Water:** City – no comment. Inside RWD #2 service area. An 8 inch water line will need to be looped.
5. **Storm Drainage:** The County Engineer will require a drainage study and will need to approve drainage plans.
6. **Utilities: Telephone, Electric, Gas, Cable, Pipeline, Others:**
7. **Other: Fire:** City – out of City Limits. A release letter from fire department serving site will be required. This is believed to be the Sapulpa fire department.
8. **Other: GIS :** Identify all subdivisions on location map. Provide owner surveyor/engineer email addresses. Need addresses caveat. Provide all boundary line dimensions. Need addresses for all lots. Submit control data sheet. Show area of plat in 100 year floodplain area. Correct legal description. Show site in location map. Correct street names in location map. Define basis of bearing between two known points. Provide bearing from point of commencement to point of beginning. Provide symbol for pins set for

plat.

Staff recommends **APPROVAL** of the preliminary subdivision plat with the TAC recommendations and the special and standard conditions listed below.

Waivers of Subdivision Regulations:

1. None requested.

Special Conditions:

1. The concerns of the County Engineer must be taken care of to his satisfaction.

Standard Conditions:

1. Utility easements shall meet the approval of the utilities. Coordinate with Subsurface Committee if underground plant is planned. Show additional easements as required. Existing easements shall be tied to or related to property line and/or lot lines.
2. Water and sanitary sewer plans shall be approved by the Public Works Department prior to release of final plat. (Include language for W/S facilities in covenants.)
3. Pavement or landscape repair within restricted water line, sewer line, or utility easements as a result of water or sewer line or other utility repairs due to breaks and failures shall be borne by the owner(s) of the lot(s).
4. Any request for creation of a Sewer Improvement District shall be submitted to the Public Works Department Engineer prior to release of final plat.
5. Paving and/or drainage plans (as required) shall be approved by the Public Works Department.
6. Any request for a Privately Financed Public Improvement (PFPI) shall be submitted to the Public Works Department.
7. A topography map shall be submitted for review by TAC (Subdivision Regulations). (Submit with drainage plans as directed.)
8. Street names shall be approved by the Public Works Department and shown on plat.
9. All curve data, including corner radii, shall be shown on final plat as applicable.
10. Bearings, or true N/S, etc., shall be shown on perimeter of land being platted or other bearings as directed by the County Engineer.
11. All adjacent streets, intersections and/or widths thereof shall be shown on

15.3

plat.

12. It is recommended that the developer coordinate with the Public Works Department during the early stages of street construction concerning the ordering, purchase and installation of street marker signs. (Advisory, not a condition for plat release.)
13. It is recommended that the applicant and/or his engineer or developer coordinate with the Tulsa City/County Health Department for solid waste disposal, particularly during the construction phase and/or clearing of the project. Burning of solid waste is prohibited.
14. The method of sewage disposal and plans therefor shall be approved by the City/County Health Department. [Percolation tests (if applicable) are required prior to preliminary approval of plat.]
15. The owner(s) shall provide the following information on sewage disposal system if it is to be privately operated on each lot: type, size and general location. (This information to be included in restrictive covenants on plat.)
16. The method of water supply and plans therefor shall be approved by the City/County Health Department.
17. All lots, streets, building lines, easements, etc., shall be completely dimensioned.
18. The key or location map shall be complete.
19. A Corporation Commission letter, Certificate of Non-Development, or other records as may be on file, shall be provided concerning any oil and/or gas wells before plat is released. (A building line shall be shown on plat on any wells not officially plugged. If plugged, provide plugging records.)
20. A "Letter of Assurance" regarding installation of improvements shall be provided prior to release of final plat. (Including documents required under 3.6.5 Subdivision Regulations.)
21. Applicant is advised of his responsibility to contact the U.S. Army Corps of Engineers regarding Section 404 of the Clean Waters Act.
22. All other Subdivision Regulations shall be met prior to release of final plat.
23. All PUD standards and conditions shall be included in the covenants of the plat and adequate mechanisms established to assure initial and continued compliance with the standards and conditions.
24. Private streets shall be built to City or County standards (depending upon the jurisdiction in which the plat is located) and inspected and accepted by same prior to issuance of any building permits in the subdivision.

5/51

PRELIMINARY PLAT

Meadow Creek

PART OF THE NORTHWEST QUARTER OF THE NORTH-WEST QUARTER, [NW/4 NW/4] OF SECTION THIRTY-FOUR [34] TOWNSHIP EIGHTEEN (18) NORTH, RANGE TWELVE (12) EAST, OF THE INDIAN MERIDIAN AN ADDITION TO TULSA COUNTY, STATE OF OKLAHOMA

FINAL PLAT
CERTIFICATE OF APPROVAL

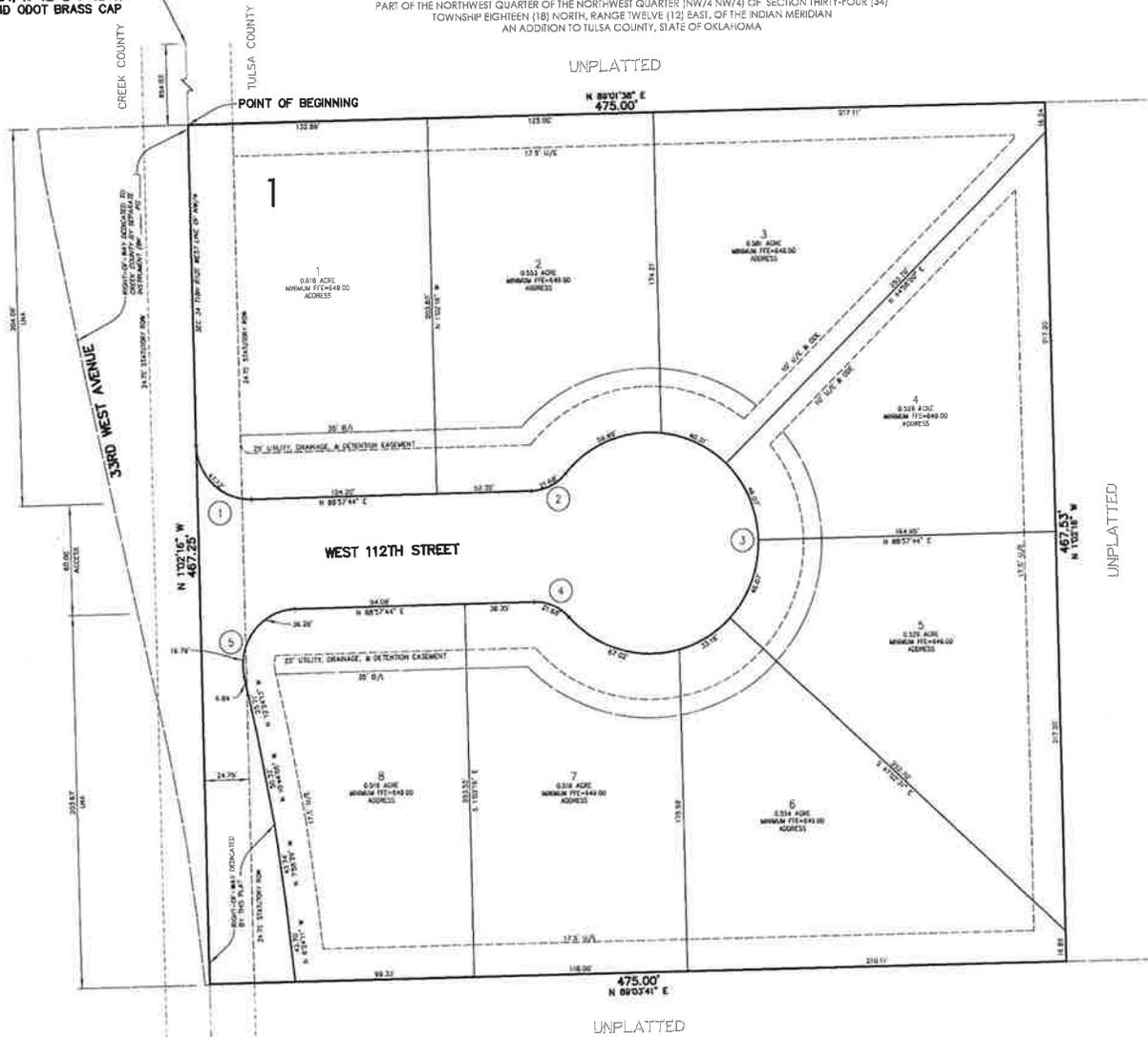
I hereby certify that this plat was approved by the Tulsa Mayor and City Council on this _____ day of _____, 2013.

TULSA COUNTY ENGINEER

Notes:

1. THIS PLAT MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
2. ALL PROPERTY CORNERS ARE SET 3/8" IRON NAILS WITH YELLOW CAP STAMPED "TANNER NLS 1433" UNLESS OTHERWISE NOTED.
3. THE BEARINGS SHOWN HEREOIN ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, NORTH ZONE (SPO), NORTH AMERICAN DATUM 1983 (NAD83).

POINT OF COMMENCEMENT
NW CORNER OF NW/4
SECTION 34, R-12-E T-18-N
FOUND 000T BRASS CAP



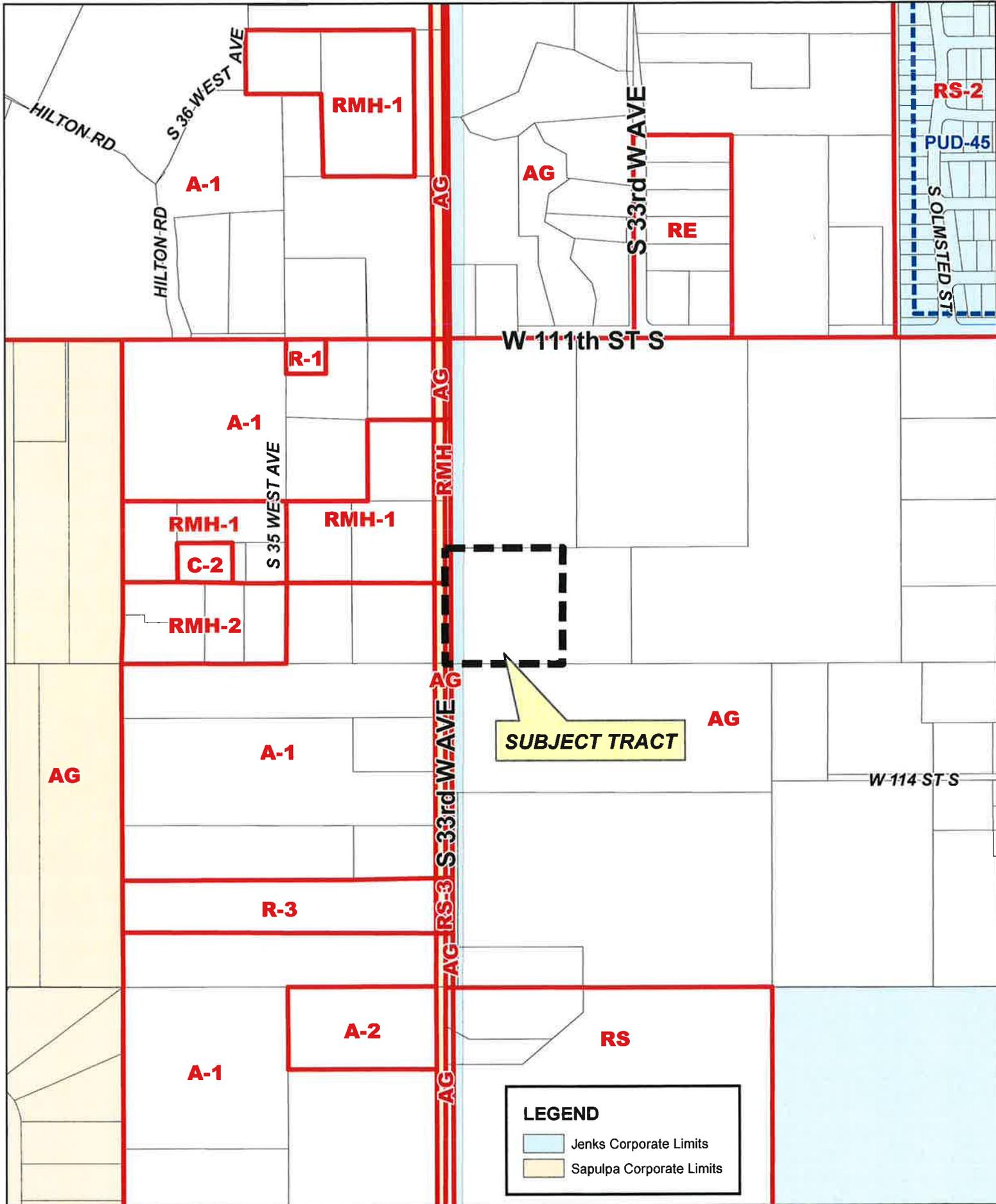
- SUBDIVISION CONTAINS:**
- EIGHT BELLOTTIS IN ONE (8) BLOCK
 - GROSS SUBDIVISION AREA: 5.07 ACRES
- LEGEND:**
- B/A BUILDING LINE
 - B/E/P BLOCK & PACE
 - F/E FINISHED FLOOR ELEVATION
 - L/NO LIMITS OF NO ACCESS
 - O/E OVERLAND DRAINAGE EASEMENT
 - R/W RIGHT OF WAY
 - SEC SECTION
 - U/E UTILITY EASEMENT

OWNER:
Jenks Land, L.L.C.
AN OKLAHOMA LIMITED LIABILITY COMPANY
MIKE WALLACE, MANAGER
114 South 3rd Street
Jenks, Oklahoma 74037
Phone: (918)298-6100

SURVEYOR/ENGINEER:
Tanner Consulting, L.L.C.
DAVE TANNER, P.L.S. NO. 1435
OK CA NO. 2681, EXPIRES 8/30/2017
5323 South Lewis Avenue
Tulsa, Oklahoma 74105
Phone: (918)745-9929

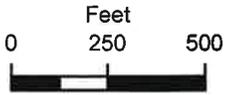
CURVE	LENGTH(L)	RADIUS(R)	DELTA(A)	CHORD BRG(CB)	CHORD(CD)
1	41.17	30.00	78°38'03"	N 51°43'14" W	38.02
2	21.68	25.00	49°42'47"	N 64°10'21" E	23.00
3	292.54	60.00	279°41'34"		
4	21.68	25.00	49°42'47"	N 67°11'52" W	23.00
5	53.08	30.00	101°21'57"	N 38°16'46" W	46.42

DATE OF PREPARATION: SEPTEMBER 11, 2013



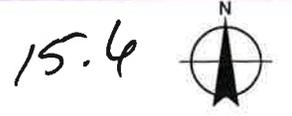
LEGEND

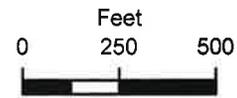
- Jenks Corporate Limits
- Sapulpa Corporate Limits



MEADOW CREEK

18-12 34





Subject Tract

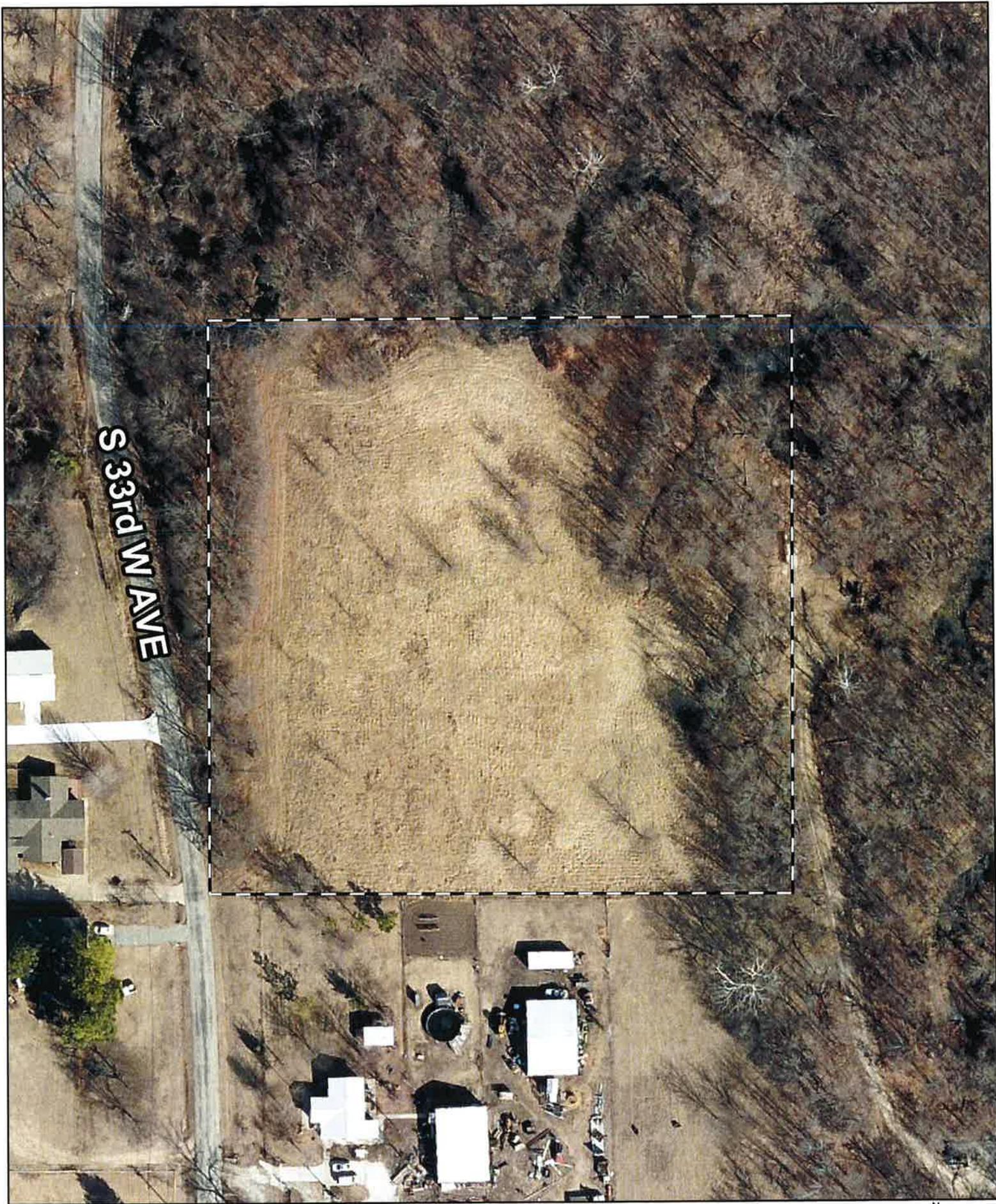
MEADOW CREEK

18-12 34

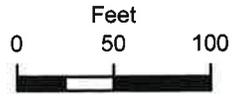
15.7

Note: Graphic overlays may not precisely align with physical features on the ground.
Aerial Photo Date: March 2014





S 33rd W AVE



Subject Tract

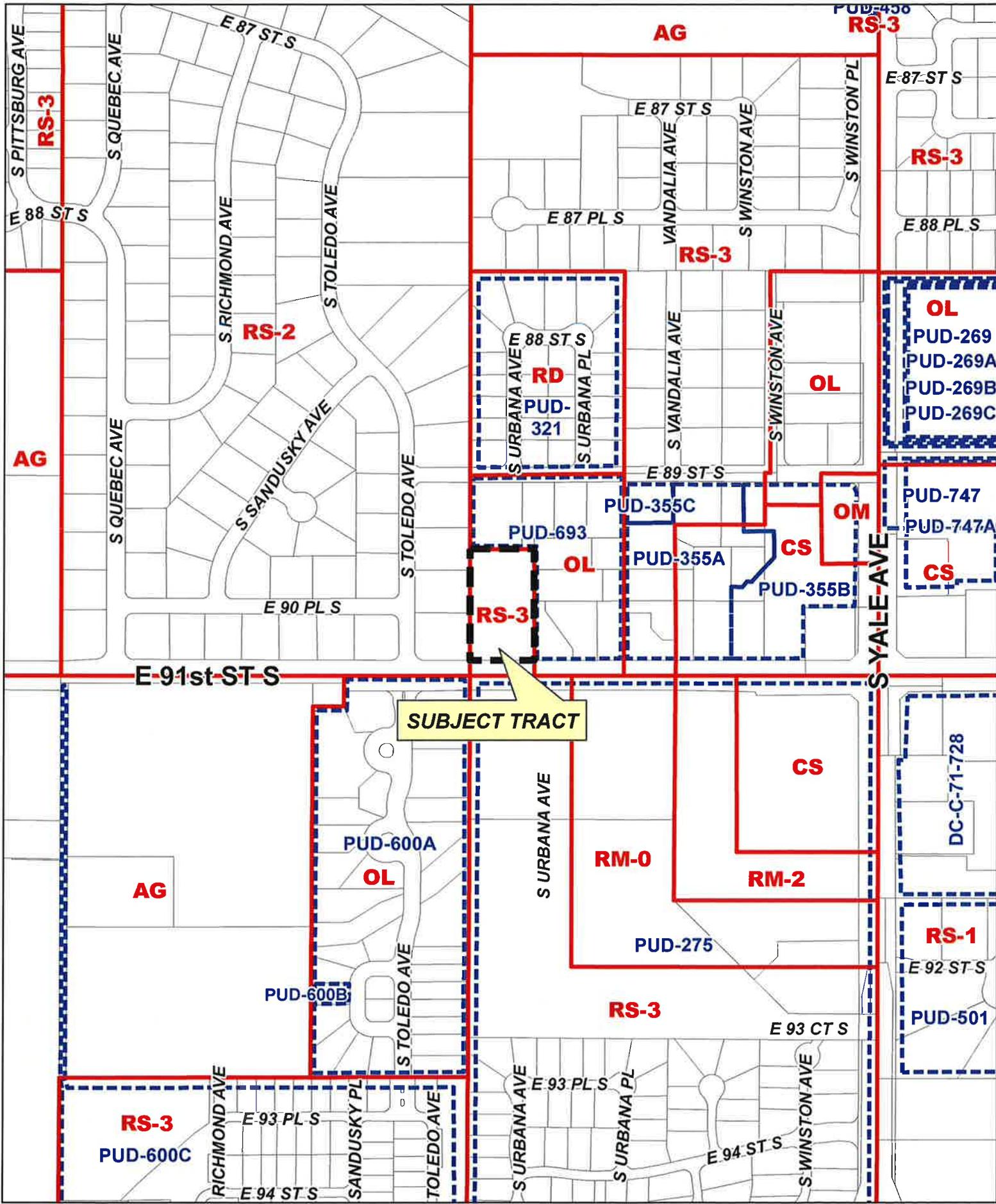
MEADOW CREEK

18-12 34

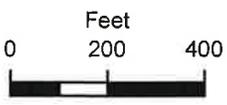
15.8

Note: Graphic overlays may not precisely align with physical features on the ground.
Aerial Photo Date: March 2014





SUBJECT TRACT



CADENT PARK

16.1





Aerial Photo Date: March 2014
Note: Graphic overlays may not precisely align with physical features on the ground.

16.2

CADENT PARK

18-13 16

Subject Tract



S URBANA AVE

E 91st STS

E 90 PLS

S TOLEDO AVE

E 89 STS



Tulsa Metropolitan Area
Planning Commission

Case Number: PUD-221-H

Hearing Date: October 21, 2015
(continued from 9/2/15 and 10/7/15)

Case Report Prepared by:

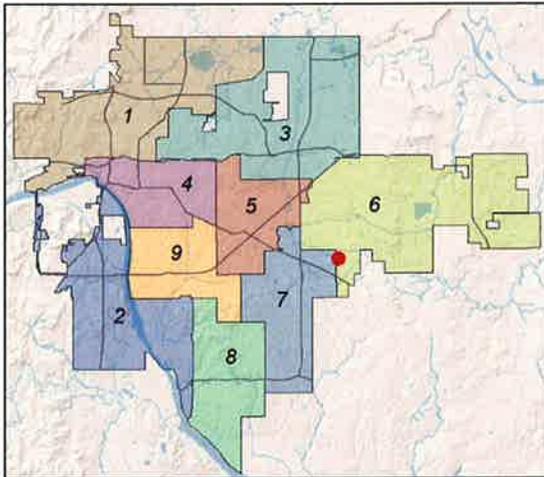
Dwayne Wilkerson

Owner and Applicant Information:

Applicant: Michael Joyce

Property Owner: SCHWERS, JIM COMPANY INC

Location Map:
(shown with City Council Districts)



Applicant Proposal:

Present Use: Vacant

Proposed Use: Multifamily - Assisted Living and
Life Care Retirement

Concept summary: Existing PUD 221-D allows
office uses. Amend the PUD to allow an assisted
care living center.

Tract Size: 2.58 ± acres
112407.04 ± sq. ft

Location: Southeast corner of S. 129th E. Ave. and
E. 43rd Pl. S.

Zoning:

Existing Zoning: RS-3/ PUD-221-D

Proposed Zoning: RS-3/ PUD-221-H

Comprehensive Plan:

Land Use Map: Existing Neighborhood

Stability and Growth Map: Area of Growth

Staff Recommendation:

Staff recommends approval.

The PUD will permit an assisted care living center
with significant development standards that are
established to integrate the site into an existing
neighborhood.

Staff Data:

TRS: 9428

CZM: 49

Atlas: 1115/ 1116

City Council District: 6

Councilor Name: Connie Dodson

County Commission District: 1

Commissioner Name: John Smaligo

17.1

SECTION I: PUD-221-H

DEVELOPMENT CONCEPT

The Applicant is seeking a major amendment to PUD 221-D Quail ridge, Development Area B (Balance of Lot 11, Block 9) hereinafter the "Senior Living Site, but excluding Development Area A (Day Care Lot) of Lot 11, block 9. Approval of this application is sought in order to allow for the construction of a new assisted living and memory care center with a maximum height of 3 stories and a maximum of 120 dwelling units.

The PUD major amendment will add Use Unit 8: Multifamily dwelling and similar use for assisted living and life care retirement center. The PUD if approved will allow an increase in the maximum land coverage for the building upon on the site not to exceed 42,000 square feet on the ground level allowing for a building three stories in height but not to exceed fifty five feet at its highest point. The total floor area of the building will not exceed 105,000 square feet.

In order to buffer the adjoining day care and single family residential properties from the proposed facilities, the applicant will heavily landscape the south and east boundaries that exceeds the current landscape requirements of the Tulsa Zoning Code.

The property is currently part of a subdivision plat. Any new PUD requires a new plat or plat waiver. In this instance the applicant is expected to request a plat waiver.

Section 1104.1 of the Tulsa Zoning Code provides a method of calculation that provides a maximum dwelling unit count for residential density. The original PUD is a large overlay with CS, RM-1 and RD zoning districts. The original PUD 221 density was based on RM-1 and RM-2 multi family density standards. The dwelling unit capacity of the original PUD was limited to 890. 400 dwelling units were constructed in 1981 in the PUD area. Also a large open space has been provided in the PUD for the community to share. Ample open space can be found to supplement the livability space requirements for this new site in a large open space containing greater than 12 acres of land set aside for drainage and a pedestrian path. The green space is less than 300 feet from the north side of this project.

EXHIBITS:

- INCOG Case map
- INCOG Aerial (small scale)
- INCOG Aerial (large scale)
- Tulsa Comprehensive Plan Land Use Map
- Tulsa Comprehensive Plan Areas of Stability and Growth Map
- Applicant Exhibits:
 - Conceptual Site plan
 - Conceptual Grading and drainage
 - Exterior concept with birds eye view
 - ALTA Survey
 - Neighborhood meeting Notes (September 29th, 2015)

SECTION II PUD-221-H DEVELOPMENT STANDARDS:

PERMITTED USES:

Those uses permitted by right within Section 1208, Use Unit 8 of the Zoning Code of the City of Tulsa, Title 42 (the "Code"), including customary accessory uses, but specifically excluding "Apartment", "Community Group Home", "Convent, Monastery, Novitiate", "Fraternity or Sorority

17.2

House”, “Multifamily Dwelling”, and “Rooming/Boarding House” as specified in Use Unit 8, with the primary intended uses being “Assisted Living Facility”, Elderly/Retirement Housing”, and/or “Life Care Retirement Center” as specified in Use Unit 8 of the Code.

TOTAL PROJECT LAND AREA:

113,013 square feet (Gross)

Maximum Dwelling Unit:

Maximum dwelling units allowed 120

MAXIMUM PERMITTED BUILDING FLOOR AREA WITHIN THE PROJECT:

105,000 SF (TOTAL)

MAXIMUM LOT COVERAGE RATIO FOR PROJECT BUILDING:

45% of gross land area

BUILDING SETBACKS FROM:

Centerline of South 129 th East Avenue	100 feet
Centerline of East 43 rd Place South	100 feet
South Boundary of the PUD	50 feet
East Boundary South of the Southeast Corner of Day Care lot*	50 feet
East Boundary North of the Southwest Corner of Day Care lot*	20 feet
North Boundary East of the Southwest Corner of Day Care lot*	12 feet

*The day care lot is lot 11 block 9 Quail Ridge

MAXIMUM BUILDING HEIGHT:

Three (3) stories (not to exceed 55') for the portion of the Building located on that portion of the Project being located to the **North** of an East/West line running parallel to East 43rd Place South and being located 225' to the South of the C/L of East 43rd Place South (the “Project Division Line”); and two (2) stories (not to exceed 40') for that portion of the Building located on that portion of the Project being located to the **South** of the Project Division Line.

SIGNS:

Signs accessory to the allowed uses shall be permitted and shall comply with the restrictions applicable to permitted uses within Use Unit 8 of the Code. All signs shall be in compliance with TMAPC approved Detail Sign Plans for the Project (to be submitted at a later date).

MINIMUM OFF-STREET PARKING:

Off street parking shall be based on a ratio per dwelling unit. On site parking shall provide a minimum of 0.45 parking spaces per dwelling unit.

PROJECT STREET ACCESS POINTS:

17.3

There shall be no more than two (2) vehicular access points (driveway/curb cuts) onto the Project site from and along South 129th East Avenue. There shall be no more than one (1) vehicular access point (driveway/curb cut) onto the Project site from and along East 43rd Place South. All street vehicular access points (driveway/curb cuts) shall be in compliance with applicable Limits of No Access and in accordance with TMAPC approved Detail Site Plans.

CROSS ACCESS EASEMENT:

The fire code requires access from the south east corner of the site.

A perpetual easement from the owner of Lot 5, Block 9 Quail Ridge Addition will be granted to satisfy that requirement. The access will not be a public access and will require a locked gate with emergency access only for Fire, ambulance, and police and secured with a Knox Box system. Temporary construction access to the building site will be prohibited.

The gate is required at the south boundary of the PUD unless provided off site similar to the site plan exhibit provided.

SCREENING REQUIRMENTS:

A masonry screening wall (stucco, concrete, concrete block, brick, stone or combination thereof) of not less than 6' in height shall be constructed and maintained along the South and East boundaries of the Project (excepting point of access to the Lot 5 cross access easement which shall be a metal gate of same height) as well as the North boundary of the Project abutting the Day Care Lot.

LANDSCAPE STANDARDS:

A landscaped edge with a minimum width of ten(10) feet shall be installed and maintained along the South 129th East Avenue and East 43rd Place South street frontages (excepting points of access) this in addition to the South Project boundary (excepting point of access to the Lot 5 cross access easement), the East Project boundary running South from the Southeast Corner of the Day Care Lot and the North Project boundary abutting the South boundary of the Day Care Lot.

In addition to the required landscaping as defined in the Tulsa Zoning Code a minimum 10 foot wide green space adjacent to the street right-of-way for South 129th East Avenue and East 43rd Place South will be provided. Within the 10 foot green space, shrubs with sufficient density and height will be installed and maintained to provide a 3' tall effective visual screen from South 129th East Avenue and East 43rd Place South within a three year growing cycle. A berm with a minimum height of 3 feet may be used in lieu of shrubs however the berm may not be used for more than 30% of the street frontage length.

Adjacent to the east 200 feet of the north, and the south and east edge of the PUD trees must be planted and maintained with a maximum spacing of 25 feet and within 15 feet of the edge of the PUD. Trees must be a minimum 2.5 caliper height with a minimum height of 12 feet when planted.

PARKING LOT AND EXTERIOR BUILDING LIGHTING:

Exterior lighting shall be in conformance with the applicable provisions of the Code for Use Unit 8 except that light poles shall not exceed 20' in height and the parking lot lighting shall be directed downward and shielding of such lighting shall be designed so as to prevent the light-

producing element of the light fixtures from being visible to a person standing in the abutting property or street right of way.

TRASH ENCLOSURES:

All trash enclosures, mechanical and equipment areas shall be screened from public view and shall be constructed and maintained in accordance with TMAPC approved Detail Site Plans (to be submitted at a future date). The trash enclosure shall be masonry construction with a minimum height of 6 feet or taller as required to screen the dumpster from view at ground level and gated. Location of the trash enclosure will be limited to the location illustrated on the conceptual site plan and will face west or away from the single family residential homes north of East 43rd Street South.

PERMITS:

No Zoning Clearance Permit shall be issued for development with the Project site until a Detail Site Plan for the Project, which includes all buildings and required parking, has been submitted to the TMAPC and approved as being in compliance with the approved PUD 221-H Development Standards.

DETAILED STAFF RECOMMENDATION:

The development standards and proposed assisted care center are consistent with the Existing Neighborhood infill land use visions contemplated in the Tulsa Comprehensive Plan and,

PUD 221-H and its development standards are consistent with the expected development pattern in the area and,

The use and development standards identified in the PUD are compatible with the existing development pattern and,

PUD 221-H is consistent with the PUD chapter of the Tulsa Zoning Code and the original PUD that was approved in 1979 and subsequently amended therefore,

Staff recommends Approval of PUD-221-H as outlined in Section II above.

SECTION III: Supporting Documentation

RELATIONSHIP TO THE COMPREHENSIVE PLAN:

Staff Summary: The proposed use and the development standards are consistent with the Tulsa Comprehensive Plan. This infill project provides clear and objective setback, height and design standards that will help integrate this site into the edge of this existing neighborhood. This infill project will provide a more efficient use of existing street and utility infrastructure.

Land Use Vision:

Land Use Plan map designation: Existing Neighborhood

The Existing Residential Neighborhood category is intended to preserve and enhance Tulsa's existing single family neighborhoods. Development activities in these areas should be limited to the rehabilitation, improvement or replacement of existing homes, and small-scale infill projects, as permitted through clear and objective setback, height, and other development standards of the zoning code. In cooperation with the existing

community, the city should make improvements to sidewalks, bicycle routes, and transit so residents can better access parks, schools, churches, and other civic amenities.

Areas of Stability and Growth designation: Area of Growth

The purpose of an Area of Growth is to direct the allocation of resources and channel growth to where it will be beneficial and can best improve access to jobs, housing, and services with fewer and shorter auto trips. Areas of Growth are parts of the city where general agreement exists that development or redevelopment is beneficial. As steps are taken to plan for, and, in some cases, develop or redevelop these areas, ensuring that existing residents will not be displaced is a high priority. A major goal is to increase economic activity in the area to benefit existing residents and businesses, and where necessary, provide the stimulus to redevelop.

Areas of Growth are found throughout Tulsa. These areas have many different characteristics but some of the more common traits are in close proximity to or abutting an arterial street, major employment and industrial areas, or areas of the city with an abundance of vacant land. Also, several of the Areas of Growth are in or near downtown. Areas of Growth provide Tulsa with the opportunity to focus growth in a way that benefits the City as a whole. Development in these areas will provide housing choice and excellent access to efficient forms of transportation including walking, biking, transit, and the automobile.

Transportation Vision:

Major Street and Highway Plan: East 129th is a Secondary Arterial and has been fully developed. Some modification to the existing street striping may be required during the engineering design process for this project.

Trail System Master Plan Considerations: None

Small Area Plan: None

Special District Considerations: None

Historic Preservation Overlay: None

DESCRIPTION OF EXISTING CONDITIONS:

Staff Summary: This site is vacant grass covered site that has never been developed. The site slopes from a high point on the east side of the site down toward the southwest corner of the site. Approximately 9 feet of elevation change will be integrated into the site plan. The conceptual grading plan illustrates a building finished floor elevation that is compatible with the adjacent residential neighborhood on the south side of the site. The north east edge of the site adjacent to the existing day care will require a retaining wall or part of the building may be partially buried into the edge of the slope.

Environmental Considerations: None that would affect site development

Streets:

17.6

<u>Exist. Access</u>	<u>MSHP Design</u>	<u>MSHP R/W</u>	<u>Exist. # Lanes</u>
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South 129 th East Avenue	Secondary Arterial	100 feet	5
East 43 rd Place South	None	50 feet	2

Utilities:

The subject tract has municipal water and sewer available.

Surrounding Properties: The subject tract is abutted on the east by single family residential and a day care, zoned RS-3, PUD 221-D and 221-E; on the north by single family residential and day care, zoned RS-3, PUD 221-D and 221-E; on the south by single family residential uses, zoned RS-3 and PUD 221-D; and on the west by a large corporate structure, zoned Scientific Research (SR).

SECTION IV: Relevant Zoning History

ZONING ORDINANCE: Ordinance number 17317 dated May 15, 1990 (PUD-221-D) and 13313 dated November 14, 1974 (Z-4712), established zoning for the subject property.

Subject Property:

PUD-221-D May 1990: All concurred in **approval** of a request for a *Major Amendment to PUD*, on a 180' x 200' tract, to allow a day care center in Development Area A, and office use in Development Area B, located on the southeast corner of East 43rd Place South and South 129th East Avenue and also known as the subject property.

PUD-221-C October 1985: All concurred in **denial** for a request for a *Major Amendment to PUD* to develop a 3.2+ acre tract, for office and commercial uses, on property located on the southeast corner of East 43rd Place South and South 129th East Avenue and also known as the subject property.

PUD-221-A December 1981: All concurred in **approval** of a *Major Amendment to PUD* convert the commercial portion of the CS floor area to multifamily purposes on a tract located on the southeast corner of East 41st Street South and South 129th East Avenue and also known as the subject property.

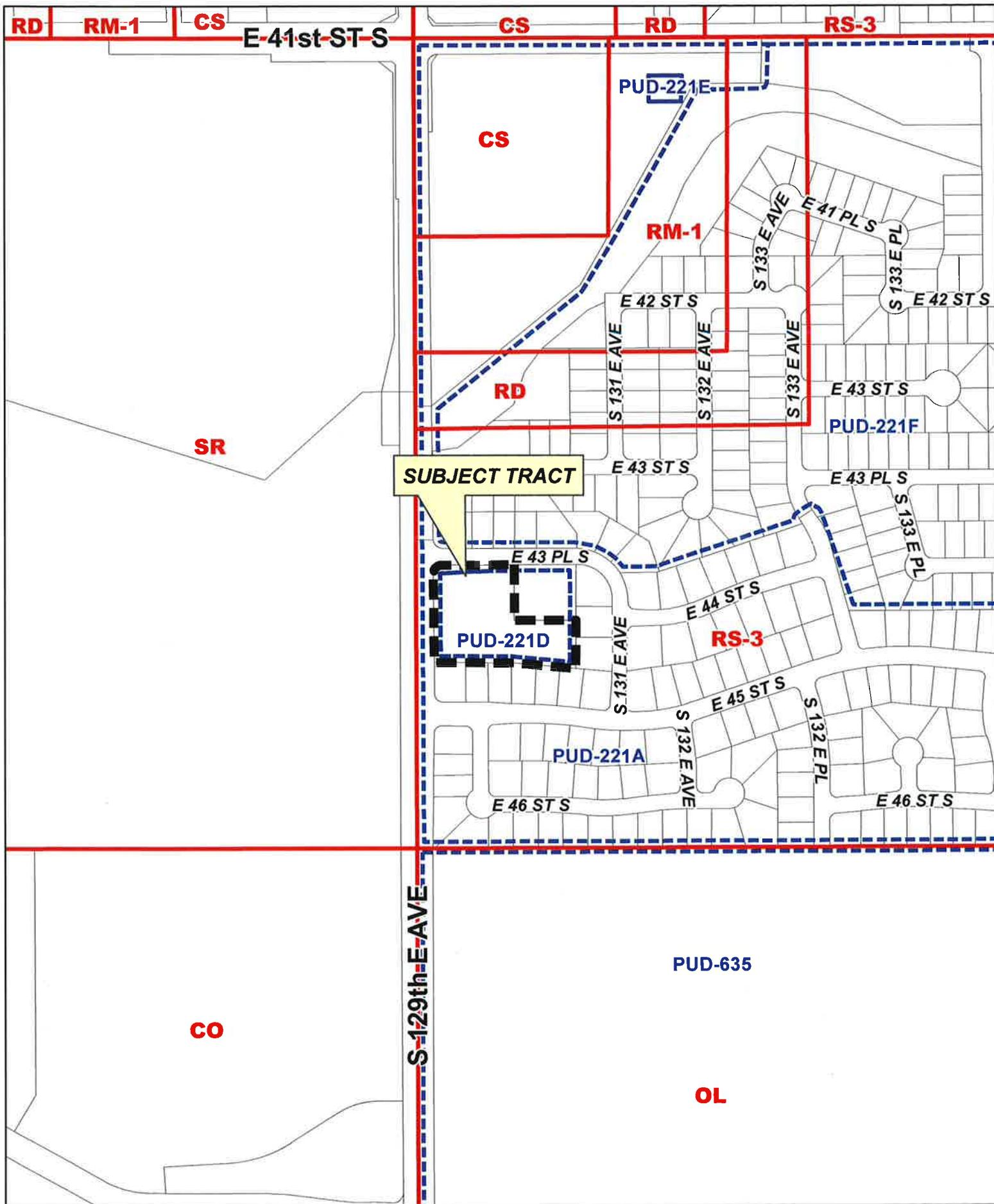
PUD-221 October 1979: All concurred in **approval** of a proposed *Planned Unit Development*, on a 160+ acre tract of land, to develop for commercial, office, multifamily, single-family and industrial uses, in multiple Development Areas, subject to conditions, located at the southeast corner of East 41st Street and South 129th East Avenue and including the subject tract.

Z-4712 November 1974: All concurred in **approval** of a request for *rezoning* a 160+ acre tract of land from AG to 10 acres to CS; 15 acres to RM-1, 13 acres to RD and RS-3 on the remainder, on property located on the southeast corner of E. 41st St. and S. 129th E. Ave. and also known as a part of the subject property.

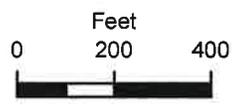
Surrounding Property:

BOA-21259 May 24, 2011: The Board of Adjustment **approved** a *Special Exception* to permit a college use (Use Unit 5) in an SR district; per plan on page 9.5, on property located at 4500 S. 129th E. Ave. and abutting across S. 129th E. Ave. to the west.

PUD-221-F May 1999: All concurred in **approval** of a proposed *Major Amendment to PUD* on a 38+ acre tract of land, to add church, school and accessory uses; to amend development standards and to reallocate floor area in development areas, on property located south and east of the southeast corner of East 41st Street and South 129th East Avenue.



SUBJECT TRACT



PUD-221-H

19-14 28

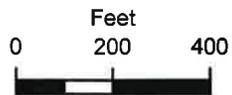
17.8





E 41st ST S

S 129th E AVE



Subject Tract

PUD-221-H

19-14 28

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: March 2014



17.9

E 41st ST S

SUBJECT TRACT LAND USE PLAN
EXISTING NEIGHBORHOOD

S 129th E AVE

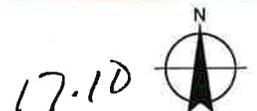
Land Use Plan Categories

- | | | | |
|---|-----------------------|---|-----------------------|
|  | Downtown |  | Neighborhood Center |
|  | Downtown Neighborhood |  | Employment |
|  | Main Street |  | New Neighborhood |
|  | Mixed-Use Corridor |  | Existing Neighborhood |
|  | Regional Center |  | Park & Open Space |
|  | Town Center | | |



PUD-221-H

19-14 28



E 41st ST S

SUBJECT TRACT

S 129th E AVE

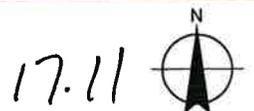
Growth and Stability

-  Area of Growth
-  Area of Stability



PUD-221-H

19-14 28



17.12

SPRING VALLEY SENIOR LIVING
ASSISTED LIVING & MEMORY CARE
 129TH East Avenue & 43rd Place South, Tulsa, OK

ARCHITECT
KSQ Architects PC
 408 South Boulder Avenue
 Suite 100
 Tulsa Oklahoma 74103
 918 522 0822 phone
 918 522 0545 fax
 www.ksqarchitects.com

DATE: 10/09/15

SITE PLAN
 SCALE: 1" = 30'
 75 PARKING SPACES
 TYPICAL SERVICE 10' x 18' x 10'
 TYPICAL DRIVEWAY 14' x 30'



DETAIL SITE PLAN

PLU/Conditional Site Plan Number: 221
 Development Area: 113,122 SF

Permitted Uses: Use Unit 11 and customary accessory uses
 Proposed Uses: Use Unit 8 Multi-Family (Assisted Living, Facility and Life Care Residential Center (Memory Care) and other uses

Maximum Bldg. Floor Area Permitted: 45,340 SF based on 4 FAR of the project
 Max Bldg. Floor Area Proposed for Each Use: 41,762 SF building footprint

Maximum Bldg. Height Permitted: 3 stories
 Maximum Building Height Proposed: 3 stories (80'-0")

Minimum Bldg. setbacks Required: Cornerline S. 129th East Ave.: 100'-0"
 (from cornerline of adjacent alleyway) and
 PLU and/or Development Area boundaries) South and East boundaries: 00'-0"

Off Street Parking
 Ratio Per Use: 100%
 Number of Spaces reserved per Use: 80
 Number of Spaces proposed per Use: 73
 Total number of Spaces required: 88
 Total number of Spaces proposed: 73

Minimum Percentage and Corresponding Landscaped Area Required: ___ % ___ SF
 (12 per PLU 221 prior amendment)
 Minimum Percentage and Corresponding Landscaped Area Provided: ___ % ___ SF
 (10 per PLU 221 prior amendment)

Landscaped Street Frontage Street Frontage
 Required: Along S. 129th East Avenue: 2,504 SF
 Along 43rd Place South: 4,400 SF
 Total Project: 7,124 SF

Additional Landscaping (area) required (if any): N/A

Lighting Height for Parking Area: _____ Height Proposed: _____ (Pending)

PROJECT AREA ALLOCATIONS

ENTIRE SITE	113,122 SF	100%
BUILDING FOOTPRINT	41,762 SF	37%
LANDSCAPE	16,336 SF	15%
PAVING & SIDEWALKS	52,022 SF	46%

NOTE: ALL LANDSCAPE AREAS WILL HAVE AUTOMATIC IRRIGATION SYSTEM.

3 STORY BUILDING AREAS

FIRST FLOOR	41,762 SF
SECOND FLOOR	42,251 SF
THIRD FLOOR	18,987 SF
TOTAL	102,999 SF

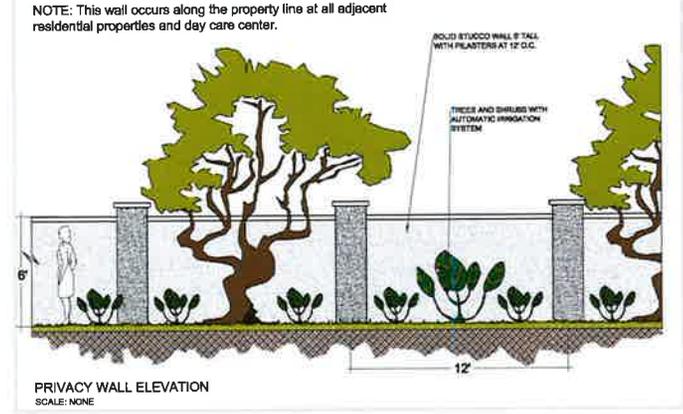
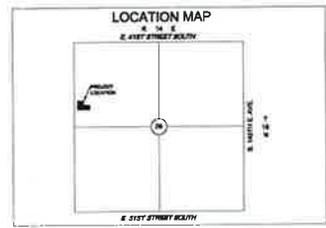
RESIDENT UNITS

ASSISTED LIVING	40 UNITS
MEMORY CARE	40 UNITS
TOTAL	114 UNITS

PARKING CALCULATIONS REF. SECTION 1208D

ASSISTED LIVING UNITS	74 X 38 = 2812
LIFE CARE/MEMORY CARE UNITS	46 X 38 = 1748
FACILITY VEHICLES	= 4
STAFF	74 UNITS + 46 UNITS = 120
REQUIRED SPACES	87
PROVIDED SPACES	73

LEGAL DESCRIPTION
 A PART OF LOT 11, BLOCK 2 QUAD 180-C, BLOCK 1 THRU 10, AN ADDITION TO THE CITY OF TULSA, TULSA COUNTY, OKLAHOMA, P.L.S. NO. 221 DEVELOP AREA 8 OF LOT 11, BLOCK 4



17.13

DETAIL SITE PLAN

PUD/Conditional Site Plan Number: 231
 Development Area: 113,103 SF

Permitted Uses: Use Unit 11 and customary accessory areas
 Proposed Uses: Use Unit 8 Multi-Family (Assisted Living, Facility and Life Care Retirement Center, Memory Care) and other uses

Maximum Bldg. Floor Area Permitted: 45,240 SF based on 4 FAR of the project site area
 Bldg. Floor Area Proposed for Each Use: 41,762 SF building footprint

Maximum Bldg. Height Permitted: 3 stories
 Maximum Building Height Proposed: 3 stories (90'-0")

Minimum Bldg. Setbacks Required:
 From centerline of adjacent streets: 10'-0" (East Ave.), 100'-0" (3rd Floor)
 From corner of adjacent streets: 10'-0" (East Ave.), 100'-0" (3rd Floor)
 PUD and/or Development Area boundaries: South and East boundaries: 80'-0"

Off Street Parking:
 Ratio Per Unit: 100%
 Number of Spaces required per Use: 66
 Number of Spaces proposed per Use: 73
 Total number of Spaces required: 66
 Total number of Spaces proposed: 73

Minimum Percentage and Corresponding Landscaped Area Required:
 (10' per PUD 221 prior amendment) _____ % _____ SF
 (10' per PUD 221 prior amendment) _____ % _____ SF

Landscaped Street Front and Street Frontage:
 Required: Aiding S. 129th East Avenue: 2,824 SF
 Aiding 43rd Place South: 4,430 SF
 Total Project: 7,254 SF

Additional Landscaped Areas required (7' x 15'): N/A

Lighting Height for Parking Areas:
 Maximum Height Permitted: _____ Height Proposed: (Pending)

PROJECT AREA ALLOCATIONS

ENTIRE SITE	113,103 SF	100%
BUILDING FOOTPRINT	41,762 SF	37%
LANDSCAPE	16,200 SF	14%
PARKING & DRIVEWAYS	55,141 SF	48%

NOTE: ALL LANDSCAPE AREAS WILL HAVE AUTOMATIC SPRINKLER SYSTEM

3 STORY BUILDING AREAS

FIRST FLOOR	=	61,762 SF
SECOND FLOOR	=	40,251 SF
THIRD FLOOR	=	16,867 SF
TOTAL	=	100,880 SF

RESIDENT UNITS

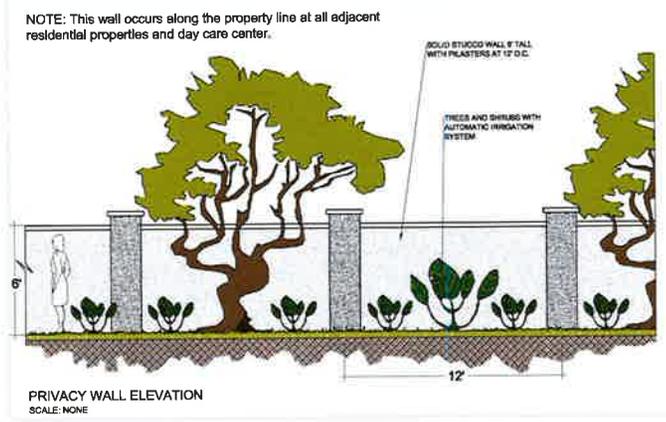
ASSISTED LIVING	74 UNITS
MEMORY CARE	40 UNITS
TOTAL	114 UNITS

PARKING CALCULATIONS
 REF. SECTION 1208D

ASSISTED LIVING UNITS	74 X .88 = 65
LIFE CARE/MEMORY CARE UNITS	40 X .35 = 14
FACILITY VEHICLES	= 4
STAFF	74 (1/2) + 40 (1/2) = 57
REQUIRED SPACES	89
PROVIDED SPACES	73

LEGAL DESCRIPTION

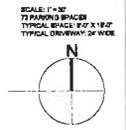
A PART OF LOT 11, BLOCK 8 EQUAL, NEIGH. BLOCKS 1 THRU 10, AN ADDITION TO THE CITY OF TULSA, TULSA COUNTY, OKLAHOMA, P.U.C. NO. 291 DEVELOP. AREA 8 OF LOT 11, BLOCK 8



SPRING VALLEY SENIOR LIVING
ASSISTED LIVING & MEMORY CARE
 129TH East Avenue & 43rd Place South, Tulsa, OK

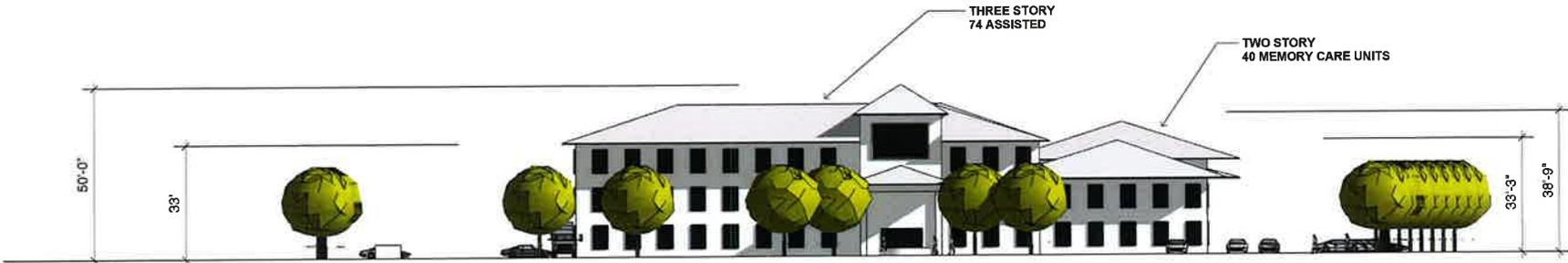
ARCHITECT
KSQ Architects PC
 408 South Boulder Avenue
 Suite 500
 Tulsa Oklahoma 74103
 918.582.0822 phone
 918.582.0645 fax
 www.ksqarchitects.com

DATE: 10/09/15
 Conceptual Grading & Drainage Plan

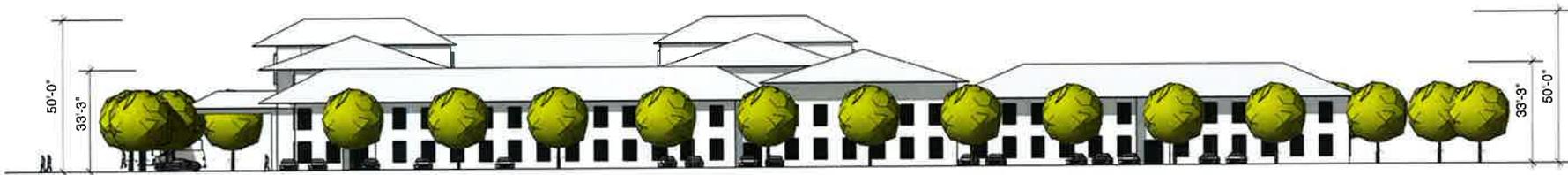


17.14

SPRING VALLEY SENIOR LIVING
ASSISTED LIVING & MEMORY CARE
129TH East Avenue & 43rd Place South, Tulsa, OK



WEST ELEVATION



SOUTH ELEVATION

DESIGN CONCEPT

The Spring Valley Senior Living Community features a Mediterranean Villa style architecture. Exterior materials include stucco, sandstone, and cast stone.



BIRD'S EYE VIEW



ARCHITECT
ArchName>
406 South Boulder Ave
Suite 500
Tulsa, Oklahoma 74103
T 918 592 0622
www.ksqarchitect.com

DATE: 9/25/2015

EXTERIOR
CONCEPT

ALTA/ACSM Land Title Survey QUAIL RIDGE

OWNER/DEVELOPER
JIM SCHWERS COMPANY, INC
an Oklahoma corporation

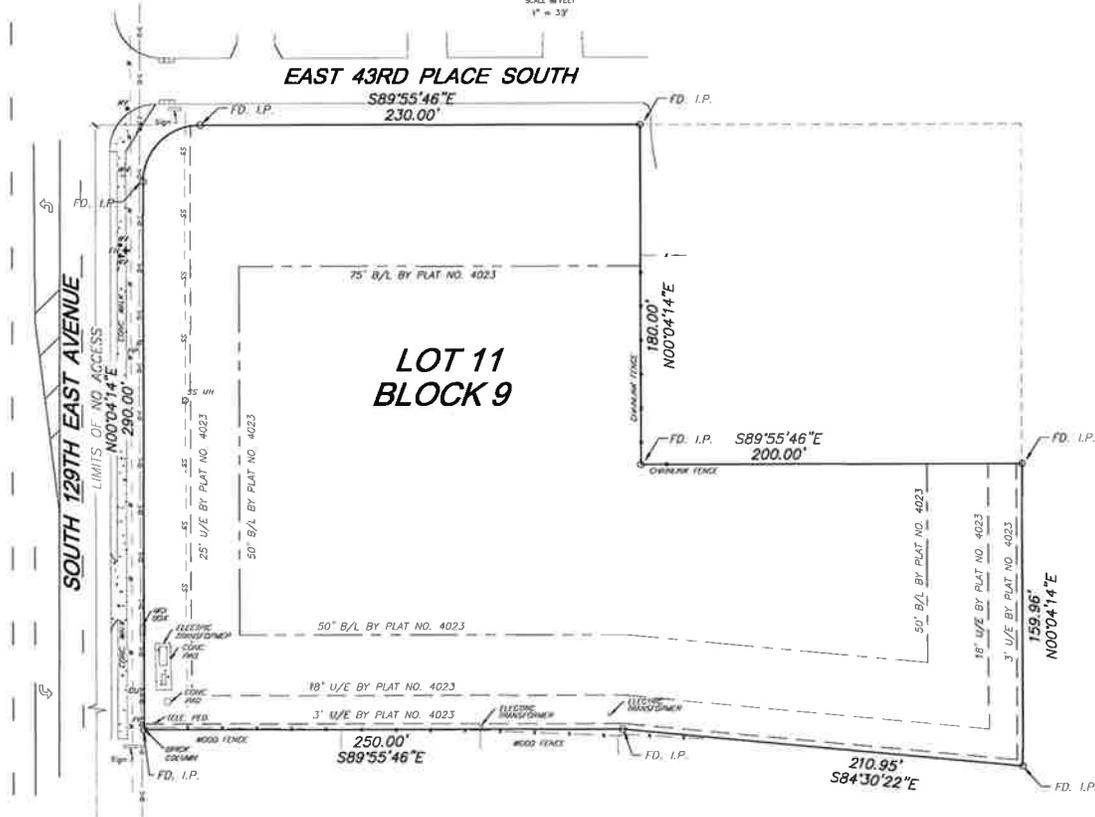
A PART OF LOT 11, BLOCK 9, QUAIL RIDGE, BLOCKS 1 THRU 10,
AN ADDITION TO THE CITY OF TULSA, TULSA COUNTY, OKLAHOMA
P.U.D. NO. 221



ENGINEER/SURVEYOR
TUTTLE & ASSOCIATES, INC.
9714 E. 55TH PL.
TULSA, OKLAHOMA 74118
PHONE: (918) 583-5567
CERTIFICATE OF AUTHORITY CA-465
EXPIRATION 6-30-15



SCALE IN FEET
1" = 33'



SURVEY NOTES

1. THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

Re: JIM SCHWERS COMPANY, INC., an Oklahoma corporation; STEWART TITLE GUARANTY COMPANY, Case Number 98-6087COM, doled October 7, 1998, Schedule B

Item:

7. Covenants, conditions, restrictions, easement and setback lines contained in the Certificate of Dedication of QUAIL RIDGE, BLOCKS 1 THRU 10, dated June 3, 1989, filed June 11, 1980, as ratified by Ratification of Deed of Dedication dated June 20, 1984, filed June 25, 1984 in Book 4799, Page 1528 in the Office of the Tulsa County Clerk which does not provide for a forfeiture or reversion of interest, but omitting any covenant or restriction based on race, color, religion, sex, handicap, familial status or national origin unless and only to the extent that said covenant (a) is exempt under Chapter 24, Section 3607 of the United States code or (b) relates to the handicap but does not discriminate against handicap persons affects this tract as shown.
8. Easements, setback lines, and restrictions, as shown on the Plat of QUAIL RIDGE, BLOCKS 1 THRU 10, Plat No. 4023, as filed in the Office of the Tulsa County Clerk, and as provided for in the Certificate of Dedication described above affects this tract as shown.
9. Covenants, conditions, restrictions, easement and setback lines contained in Dedication of Additional Restrictive Covenants Affection Lot 11, Block 9 of QUAIL RIDGE, BLOCKS 1 THRU 10, dated October 8, 1980, filed October 17, 1980 in Book 5283, Page 1135 in the office of the Tulsa County Clerk affects this tract.
10. Terms, conditions and provisions of Certificate of Correction filed October 12, 1988 in Book 5133, Page 2359 in the Office of Tulsa County Clerk does not affect this tract.
11. Terms, conditions and provisions of Statement and Agreement dated April 27, 1981, filed May 12, 1981 in Book 4544, Page 635 in the Office of the Tulsa County Clerk affects this tract as a blanket statement.

LEGAL DESCRIPTION

LOT ELEVEN (11), BLOCK NINE (9), QUAIL RIDGE, BLOCK 1 THRU 10, AN ADDITION IN TULSA COUNTY, OKLAHOMA, ACCORDING TO THE RECORDED PLAT NO. 4023, LESS THE NORTH 180 FEET OF THE EAST 200 FEET.

The parcel described herein lies within flood zone "X" in accordance with the document entitled "Department of Housing and Urban Development, Federal Insurance Administration Flood Hazard Area Map/F.E.M.A. Flood Insurance Rate Map panel no. 40143C0377L, Effective Date October 15, 2012.

LEGEND

- FD. PIN FOUND IRON PIN
- SET 3/8" IRON PIN
- WH MANHOLE
- WM WATER METER
- WV WATER VALVE
- FH FIRE HYDRANT
- CHE OVERHEAD ELECTRIC
- SS SANITARY SEWER
- W WATER
- SIGN SIGN
- POW POWER POLE
- LP LIGHT POLE
- TR TREE

The undersigned certifies to JIM SCHWERS COMPANY, INC., an Oklahoma corporation, STEWART TITLE GUARANTY COMPANY, that this Survey shows, on the basis of a field instrument survey which meets the current "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys" jointly established and adopted by ALTA and NSPS in 2011, and includes items B, 10, 11, 14 & 16 thereof. Pursuant to the Accuracy Standards as adopted by ALTA and NSPS and in effect on the date of this certification, undersigned further certifies that in my professional opinion, as a land surveyor registered in the State of Oklahoma, the Relative Positional Accuracy of this survey does not exceed that which is specified herein and the accuracy requirements of a Class A Survey (as defined therein) and according to the provisions of its all matters of record contained in Case Number 98-6087COM, dated October 7, 1998, prepared by Firsttitle and Abstract Services, Inc.

Jeffrey A. Tuttle
Jeffrey A. Tuttle

Registration Number RPLS 1094



17.15



September 29, 2015
6:00 PM Neighborhood Meeting

NEIGHBORHOOD MEETING NOTES SPRING VALLEY SENIOR LIVING

Those present:

- | | | |
|-----------------------------------|------------------------------------|--|
| 1. Mike Joyce Attorney | | |
| 2. Randy Westbrook KSQ Architects | | |
| 3. Billie Stafford | 12905 E. 45 th St | T.P.Creations@aol.com |
| 4. Brandi McGuire | 13032 E. 46 th St | colorfulone23@aol.com |
| 5. Cliff Slater | 4516 S. 130 th East Ave | CLSlater@cox.net |
| 6. Robert Stage | 4505 S. 132 nd East Ave | Robertstage1@gmail.com |
| 7. Roberta Schackt | 4603 S. 134 th East Ave | CASRLS@cox.net |
| 8. Glenda Hawkins | 13015 E. 45 th | 1greatda@cox.net |
| 9. Gloria Easton | 13227 E. 45 th St | geaston579@cox.net |
| 10. Jane Green | 13233 E. 43 ^{5th} St | jgreenwrite@gmail.com |
| 11. Cathey Luckenbach | 13007 E. 46 th St | catluck@gmail.com |
| 12. Ron Arnold | 13433 E. 43 rd Pl | rla@tulsacoxmail.com |
| 13. Frank Ostrowski | 13210 E. 46 th St | f.ostrowski@cox.net |
| 14. C.W. Bill Frampton | 13003 E 45 th St | Frampton@valornet.com |
| 15. Tanya Renond | 4541 S. 135 th East Ave | bigtrenownd@yahoo.com |
| 16. Sean Renond | 4541 S. 135 th East Ave | bigtrenownd@yahoo.com |
| 17. Vernon Hawkins | 13015 E. 45 th St | vhawkinsa1@gmail.com |
| 18. Virginia Self | 4519 s. 132 E. Pl | |
| 19. Darrel May | 4507 S. 132 nd E. Place | darrelmay@windstream.net |

Comments:

1. The TMAPC meeting will be on October 21 at 1:30 PM in the City Hall building.
2. Do you have to bring fire trucks through the neighborhood?
Yes, the fire department needs access to the east end of the building. The access through the residential lot will only be used in the case of a fire which we hope will never happen since the building is non-combustible and we will have a fire sprinkler system. All other emergency vehicles will use the front entrance off of 129th East Avenue.
3. Will the exterior lighting in the parking areas be high on poles and shine light directly into the windows of the adjacent residential properties?
No, we will locate the exterior lighting in a way that we will not shine light directly into the windows of the adjacent residential properties.

17.16.



4. Discuss the location of the wall and gate on the residential lot.
The stucco wall can either extend out to the south property line, on the building setback at 35' back from the south property line, on the north property line or anywhere in between. Mike stated that the final location is up to the neighbors. There was discussion to locate the wall some distance north of the 35' building setback line. We will coordinate the final location with the adjacent neighbor.
5. Explain what types of care will be offered at Spring Valley Senior Living.
We will offer private pay Assisted Living and Memory Care. The AL units will have small kitchenettes with a dormitory sized refrigerator, micro wave and small sink, no cook top or dishwasher. The AL residents will be offered a variety of care options including help with daily activities like dressing, bathing, etc. Many of the AL residents will use a walker or scooter. None of the AL residents drive. The Memory Care units will have no kitchenette. These residents have various levels of dementia and memory impairment.
6. Who in the neighborhood received the project announcement letter?
The city sent the letter to neighbors whose property is within 300' of the project.
7. What kind of landscape will be provided at the residential lot?
We will provide trees and landscaping on the inside and the outside of the new wall. We will also provide an automatic irrigation system for the entire site.
8. Will the city restripe 129th East Avenue?
Yes there will be new striping to show the proper turning lanes.
9. Would Jim Schwerts consider paying for a new entry feature to the neighborhood?
We will discuss with Jim.
10. What will happen to all of the overhead utilities in the area?
We don't know.
11. How long will it take for construction?
About 18 months.
12. How many people will work there?
The staff tending to the residents will be 13 plus food service and housekeeping.
13. What will happen to the site if the project goes bankrupt?
We will write the PUD amendment so the property must be used for assisted living and memory care.
14. Who will manage the facility?



We are currently talking with two national senior living management companies that have national experience in successfully managing senior living communities.

END OF MEETING

PLAT WAIVER

August 19, 2015

PUD 221 H- Southeast corner of South 129th East Avenue and 43rd Place South, (CD 6)

The platting requirement is being triggered by a major amendment to PUD 221 H.

Staff provides the following information from TAC for their August 6, 2015 meeting:

ZONING: TMAPC Staff: The property has been previously platted.

STREETS: Limits of No Access along 129th East Avenue need to be modified. Sidewalks required per subdivision regulations. Sidewalks shall be constructed along South 43rd Place and South 129th East Avenue within a dedicated easement or within the right of way, with a minimum of five feet in width, and constructed in accordance with City of Tulsa standards.

SEWER: No comment.

WATER: No comment.

STORMWATER: On-site stormwater detention easement will be required. Stormwater discharge must be directed to 129th Street and may exceed the street drainage criteria, if it does interception of runoff will be required before discharging to the street. Contact Michael Holmes, Senior Hydrologist, COT (City of Tulsa) Development Services.

FIRE: No comment.

UTILITIES: No comment.

Staff can recommend **APPROVAL** of the plat waiver as most requirements have been met for the platted property.

A YES answer to the following 3 questions would generally be FAVORABLE to a plat waiver:

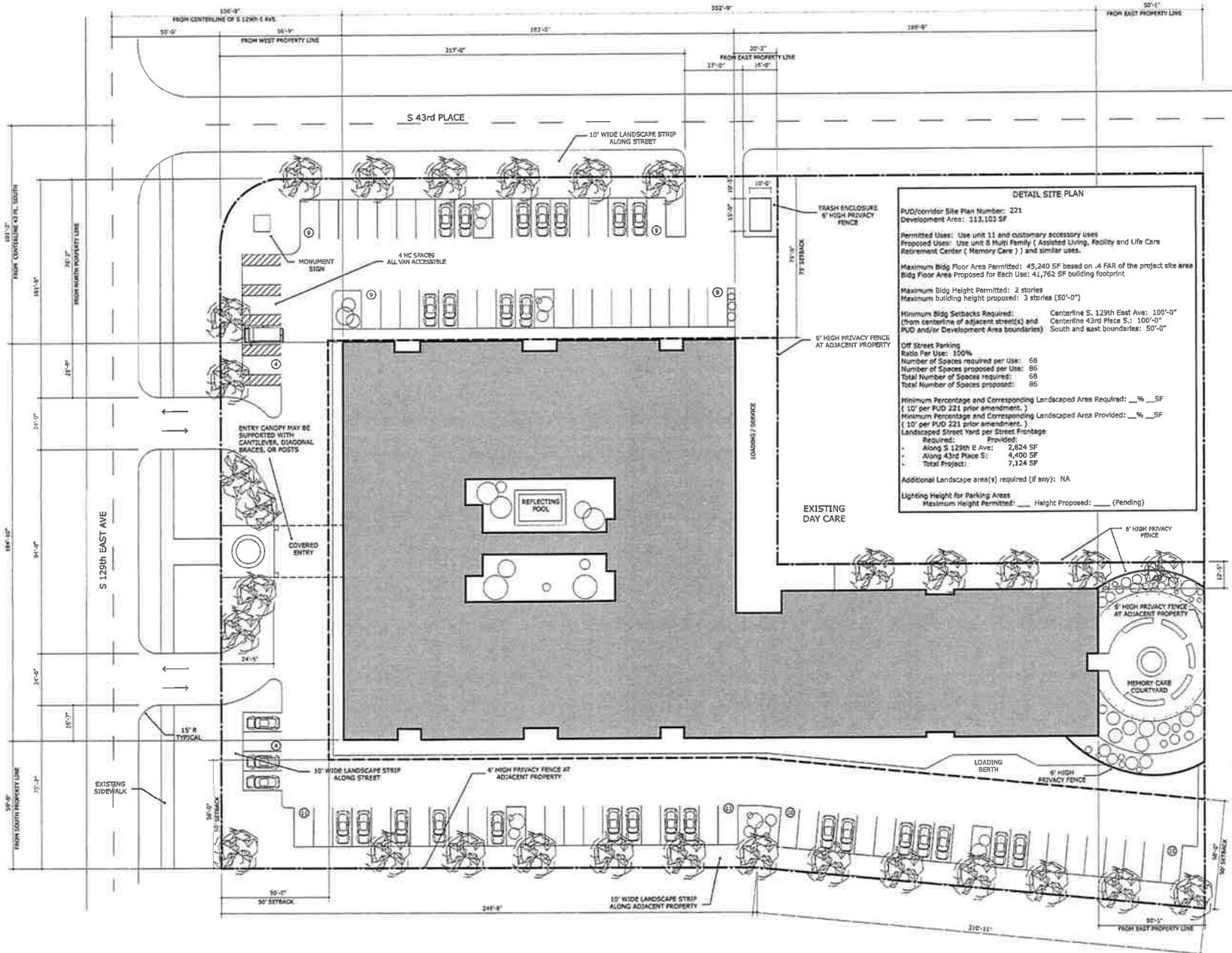
- | | Yes | NO |
|---|-----|----|
| 1. Has Property previously been platted? | X | |
| 2. Are there restrictive covenants contained in a previously filed plat? | X | |
| 3. Is property adequately described by surrounding platted properties or street right-of-way? | X | |

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A YES answer to the remaining questions would generally NOT be favorable to a plat waiver:

	YES	NO
4. Is right-of-way dedication required to comply with Major Street and Highway Plan?		X
5. Would restrictive covenants be required to be filed by separate instrument if the plat were waived?		X
6. Infrastructure requirements:		
a) Water		
i. Is a main line water extension required?		X
ii. Is an internal system or fire line required?		X
iii. Are additional easements required?		X
b) Sanitary Sewer		
i. Is a main line extension required?		X
ii. Is an internal system required?		X
iii. Are additional easements required?		X
c) Storm Sewer		
i. Is a P.F.P.I. required?		X
ii. Is an Overland Drainage Easement required?		X
iii. Is on site detention required?		X
iv. Are additional easements required?		X
7. Floodplain		
a) Does the property contain a City of Tulsa (Regulatory) Floodplain?		X
b) Does the property contain a F.E.M.A. (Federal) Floodplain?		X
8. Change of Access		
a) Are revisions to existing access locations necessary?	X	
9. Is the property in a P.U.D.?	X	
a) If yes, was plat recorded for the original P.U.D.	X	
10. Is this a Major Amendment to a P.U.D.?	X	
a) If yes, does the amendment make changes to the proposed physical development of the P.U.D.?	X	
11. Are mutual access easements needed to assure adequate access to the site?		X
12. Are there existing or planned medians near the site which would necessitate additional right-of-way dedication or other special considerations?		X

Note: If, after consideration of the above criteria, a plat waiver is granted on unplatted properties, a current ALTA/ACSM/NSPS Land Title Survey (and as subsequently revised) shall be required. Said survey shall be prepared in a recordable format and filed at the County Clerk's office by the applicant.



DETAIL SITE PLAN

PUD/Corridor Site Plan Number: 221
 Development Area: 113,103 SF

Permitted Uses: Use Unit 11 and customary accessory uses
 Proposed Uses: Use Unit 8 Multi Family (Assisted Living, Facility and Life Care Retirement Center (Memory Care)) and similar uses.

Maximum Bldg Floor Area Permitted: 45,240 SF based on .4 FAR of the project site area
 Bldg Floor Area Proposed for Each Use: 41,762 SF building footprint

Maximum Bldg Height Permitted: 2 stories
 Maximum building height proposed: 3 stories (50'-0")

Minimum Bldg Setbacks Required: Centerline S. 129th East Ave: 100'-0"
 (from centerline of adjacent street(s) and PUD and/or Development Area boundaries) Centerline 43rd Place S: 100'-0"
 South and east boundaries: 50'-0"

Off Street Parking
 Ratio Per Use: 100%
 Number of Spaces required per Use: 68
 Number of Spaces proposed per Use: 86
 Total Number of Spaces required: 68
 Total Number of Spaces proposed: 86

Minimum Percentage and Corresponding Landscaped Area Required: ___% ___SF
 (10' per PUD 221 prior amendment.)
 Maximum Percentage and Corresponding Landscaped Area Provided: ___% ___SF
 (10' per PUD 221 prior amendment.)

Landscaped Street Yards per Street Frontage
 Required: Provided:
 - Along S. 129th E Ave: 2,824 SF
 - Along 43rd Place S: 4,400 SF
 - Total Project: 7,124 SF

Additional Landscape area(s) required (if any): NA

Lighting Height for Parking Areas
 Maximum Height Permitted: ___ Height Proposed: ___ (Pending)



LEGAL DESCRIPTION

A PART OF LOT 11, BLOCK 9
 QUAIL RIDGE, BLOCKS 1
 THRU 10, AN ADDITION TO
 THE CITY OF TULSA, TULSA
 COUNTY, OKLAHOMA
 P.U.D. NO. 221 DEVELOP
 AREA B OF LOT 11,
 BLOCK 9

PROJECT AREA ALLOCATIONS

ENTIRE SITE :	113,103 SF	100%
BUILDING FOOTPRINT :	41,762 SF	37%
LANDSCAPE :	10,309 SF	14%
PAVING & SIDEWALKS :	52,032 SF	46%

3 STORY BUILDING AREAS

FIRST FLOOR	= 41,762 SF
SECOND FLOOR	= 40,021 SF
THIRD FLOOR	= 18,997 SF
TOTAL	= 100,480 SF

RESIDENT UNITS

ASSISTED LIVING :	74 UNITS
MEMORY CARE :	49 UNITS
TOTAL :	114 UNITS

**PARKING CALCULATIONS
 REF. SECTION 1208D**

ASSISTED LIVING UNITS :	74 X 50 = 37
LIFE CARE / MEMORY CARE UNITS :	49 X 35 = 14
FACILITY VEHICLES :	= 4
STAFF :	74(1/12) + 40(1/5) = 12.83
	67.83
REQUIRED SPACES :	68
PROVIDED SPACES :	86



SPRING VALLEY SENIOR LIVING

ASSISTED LIVING & MEMORY CARE

129th East Ave & 43rd Place South, Tulsa, OK

18.3

ARCHITECT

KSQ Architects PC
 405 & Boulder Avenue Suite 3000
 Tulsa, OK 74103
 918 582 5222 Phone
 918 582 0645 Fax
 www.ksqarchitects.com



Tulsa Metropolitan Area
Planning Commission

Case Number: Z-7319

Hearing Date: October 21, 2015

Case Report Prepared by:

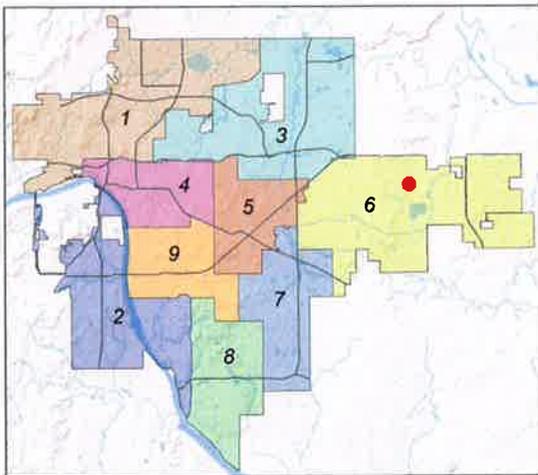
Dwayne Wilkerson

Owner and Applicant Information:

Applicant: Situs of Sound LLC/ Bruce Robbins Jr.

Property Owner: United Contracting Services Inc.

**Location Map:
(shown with City Council Districts)**



Applicant Proposal:

Present Use: Vacant

Proposed Use: Industrial

Concept summary:

Tract Size: 8.1 ± acres

Location: East and south of the southeast corner of E. 11th St. and S. 177th E. Ave.

Zoning:

Existing Zoning: AG

Proposed Zoning: IL

Comprehensive Plan:

Land Use Map: New Neighborhood, Employment

Stability and Growth Map: Area of Growth

Staff Recommendation:

Staff recommends approval for IL zoning north of the floodplain. (Approximately 4.8 acres)

Staff recommends denial for IL zoning in the area south of the north edge of the mapped floodplain. (Approximately 3.3 acres)

Staff Data:

TRS: 9412

CZM: 40

Atlas: 2049

City Council District: 6

Councilor Name: Connie Dodson

County Commission District: 1

Commissioner Name: John Smaligo

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SECTION I: Z-7319

DEVELOPMENT CONCEPT:

The property defined in Z-7319 is owned by the same entity that owns land immediately east of this site. The east parcel is zoned IL and the owner is currently working through the site engineering and design process for a new industrial fabrication facility.

It has been determined that the fire code requires a secondary point of access to serve that facility. An existing stub street (East 12th Street South) is available at the west end of the site and would satisfy that requirement. The rezoning request anticipates future expansion opportunities for the property owner.

The connection to the stub street will be gated and locked with a locking system approved by the fire department. The adjacent property east of this site provides normal business access to East 11th Street.

EXHIBITS:

- INCOG Case map
- INCOG Aerial (small scale)
- INCOG Aerial (large scale)
- Tulsa Comprehensive Plan Land Use Map
- Tulsa Comprehensive Plan Areas of Stability and Growth Map
- Applicant Exhibits: None Provided

DETAILED STAFF RECOMMENDATION:

IL zoning is consistent with the comprehensive plan on portion of the application north of an existing flood plain area and included in an Employment land use designation in the Comprehensive Plan and,

The south portion of the requested area is considered a New Neighborhood. The comprehensive plan recognizes the flood plain as a buffer area between Employment Areas and New Neighborhood Land Use designations. Rezoning the area south of the floodplain into the New Neighborhood area is not consistent with the comprehensive plan and,

Generally this part of Tulsa is undeveloped except for large lot residential, agricultural and small business. The expected development pattern has not been established except in the comprehensive plan land use designation therefore,

Staff recommends Approval of Z-7319 to rezone property from AG to IL but limited to the land area north of the currently mapped 100 year FEMA floodplain.

Staff recommends Denial of IL zoning south of the north edge of the 100 year FEMA floodplain boundary.

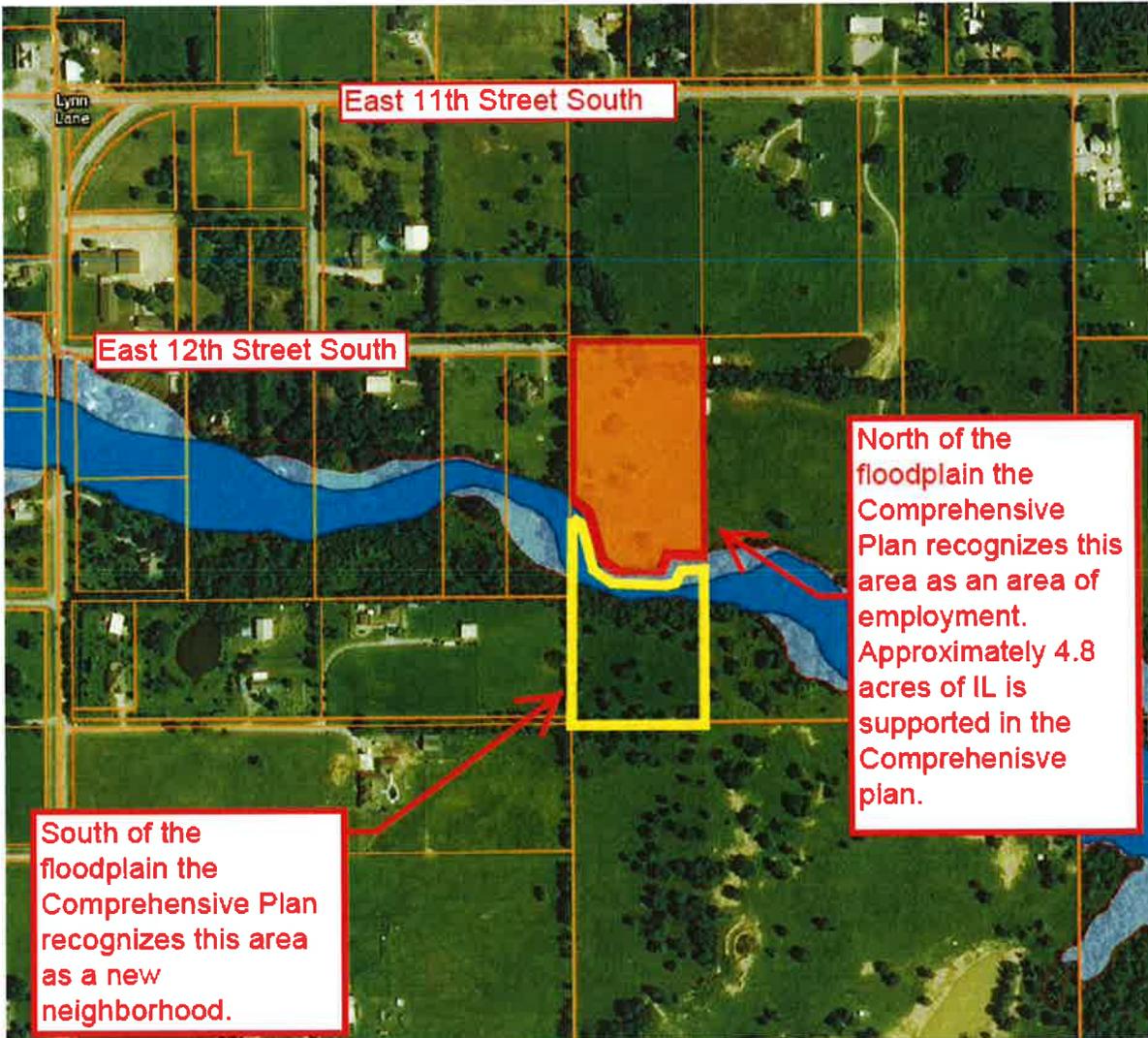
SECTION II: Supporting Documentation

RELATIONSHIP TO THE COMPREHENSIVE PLAN:

19.2

Staff Summary:

The portion of the property north of the floodplain is included in the Employment Area land use designation of the comprehensive plan. Approximately 4.8 acres of land is north of the flood plan and is illustrated below.



Land Use Vision:

Land Use Plan map designation: New Neighborhood, Employment,

Employment areas contain office, warehousing, light manufacturing and high tech uses such as clean manufacturing or information technology. Sometimes big-box retail or warehouse retail clubs are found in these areas. These areas are distinguished from mixed-use centers in that they have few residences and typically have more extensive commercial activity.

Employment areas require access to major arterials or interstates. Those areas, with manufacturing and warehousing uses must be able to accommodate extensive truck traffic, and rail in some instances. Due to the special transportation requirements of these districts, attention to design, screening and open space buffering is necessary when employment districts are near other districts that include moderate residential use

19.3

The New Neighborhood is intended for new communities developed on vacant land. These neighborhoods are comprised primarily of single-family homes on a range of lot sizes, but can include townhouses and low-rise apartments or condominiums. These areas should be designed to meet high standards of internal and external connectivity, and shall be paired with an existing or new Neighborhood or Town Center.

Areas of Stability and Growth designation: Area of Growth

The purpose of an Area of Growth is to direct the allocation of resources and channel growth to where it will be beneficial and can best improve access to jobs, housing, and services with fewer and shorter auto trips. Areas of Growth are parts of the city where general agreement exists that development or redevelopment is beneficial. As steps are taken to plan for, and, in some cases, develop or redevelop these areas, ensuring that existing residents will not be displaced is a high priority. A major goal is to increase economic activity in the area to benefit existing residents and businesses, and where necessary, provide the stimulus to redevelop.

Areas of Growth are found throughout Tulsa. These areas have many different characteristics but some of the more common traits are in close proximity to or abutting an arterial street, major employment and industrial areas, or areas of the city with an abundance of vacant land. Also, several of the Areas of Growth are in or near downtown. Areas of Growth provide Tulsa with the opportunity to focus growth in a way that benefits the City as a whole. Development in these areas will provide housing choice and excellent access to efficient forms of transportation including walking, biking, transit, and the automobile.

Transportation Vision:

Major Street and Highway Plan: None

Trail System Master Plan Considerations: None

Small Area Plan: None

Special District Considerations: None

Historic Preservation Overlay: None

DESCRIPTION OF EXISTING CONDITIONS:

Staff Summary: The site is gently sloping grassland with some wooded area. The wooded area is concentrated around the flood plain area that bisects the southern part of site. Vehicular and pedestrian access is limited to the existing street right of way that ends at the west edge of the property being considered in this application. The floodplain area includes a floodway that can only be modified through the FEMA process.

The image below is a street view image illustrating the proposed fire code connection point at the east end of East 12th Street South. The view is facing east.



Environmental Considerations:

Floodplain designations previously discussed provide a natural edge between the land use categories in the Comprehensive Plan. The zoning boundary should be respectful of that edge which is reflected in the Land Use Plan. This area is well known for shallow limestone deposits. Those deposits are a consideration for future development but do not prohibit new construction activities.

Streets:

<u>Exist. Access</u>	<u>MSHP Design</u>	<u>MSHP R/W</u>	<u>Exist. # Lanes</u>
East 12 th Street South	None	50 feet	2

Utilities:

The subject tract has municipal water service. Sanitary sewer is not available at this time. A private septic system will be required.

Surrounding Properties: The subject tract is abutted on the east by undeveloped property, zoned IL; on the north by undeveloped property, zoned AG; on the south by undeveloped property, zoned AG; and on the west by large lot single family residential property, zoned RS-1.

SECTION III: Relevant Zoning History

ZONING ORDINANCE: Ordinance number 11818 dated June 26, 1970, established zoning for the subject property.

Subject Property:

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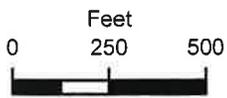
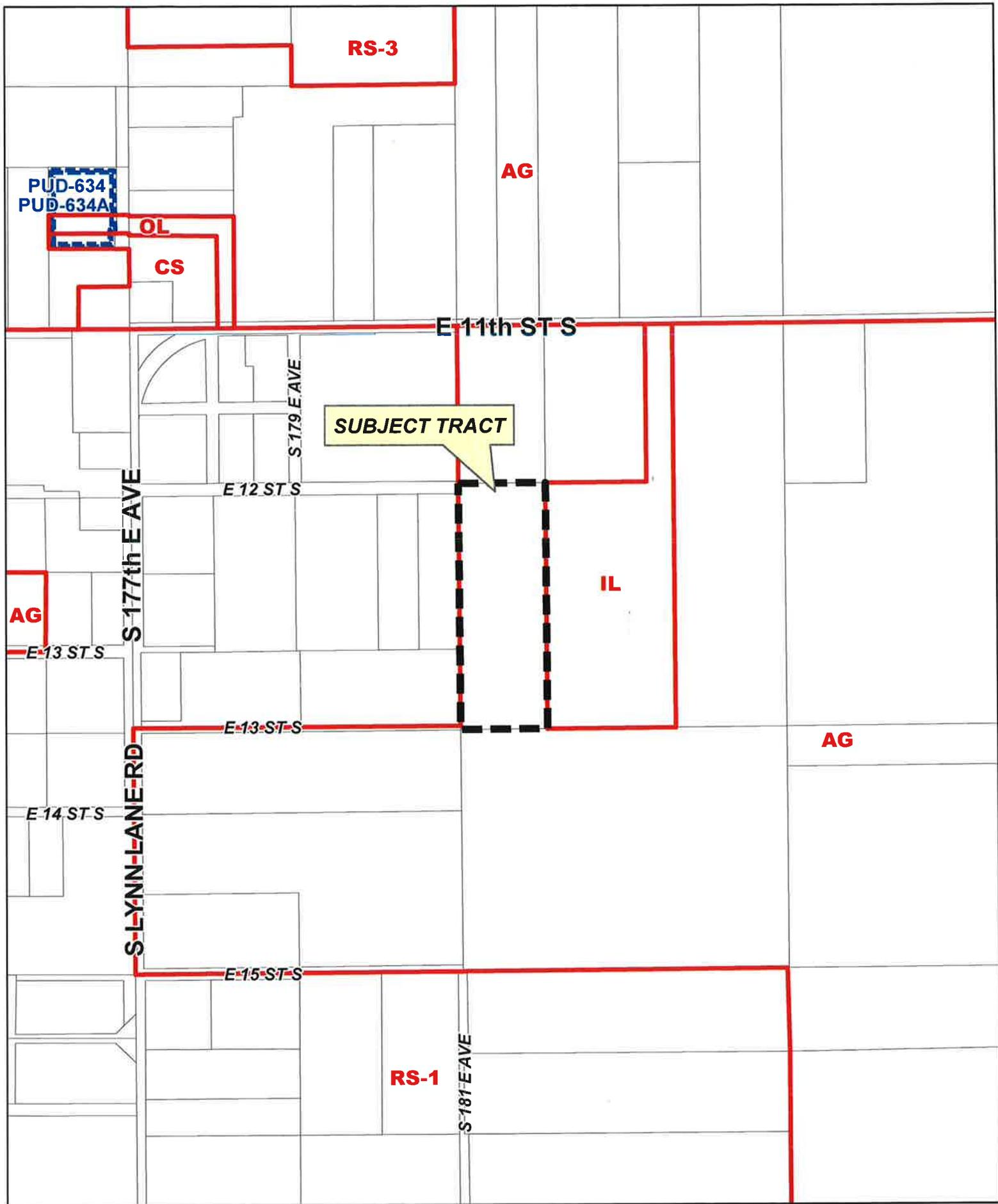
n/a

Surrounding Property:

Z-7250 October 2014: All concurred in approval of a request for rezoning a 13± acre tract of land from AG to IL for a fabrication shop, on property located east and south of southeast corner of East 11th Street and South 177th East Avenue and abutting east of the subject property.

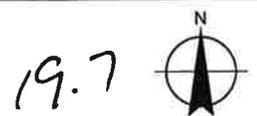
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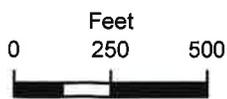
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Z-7319

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Subject Tract

Z-7319

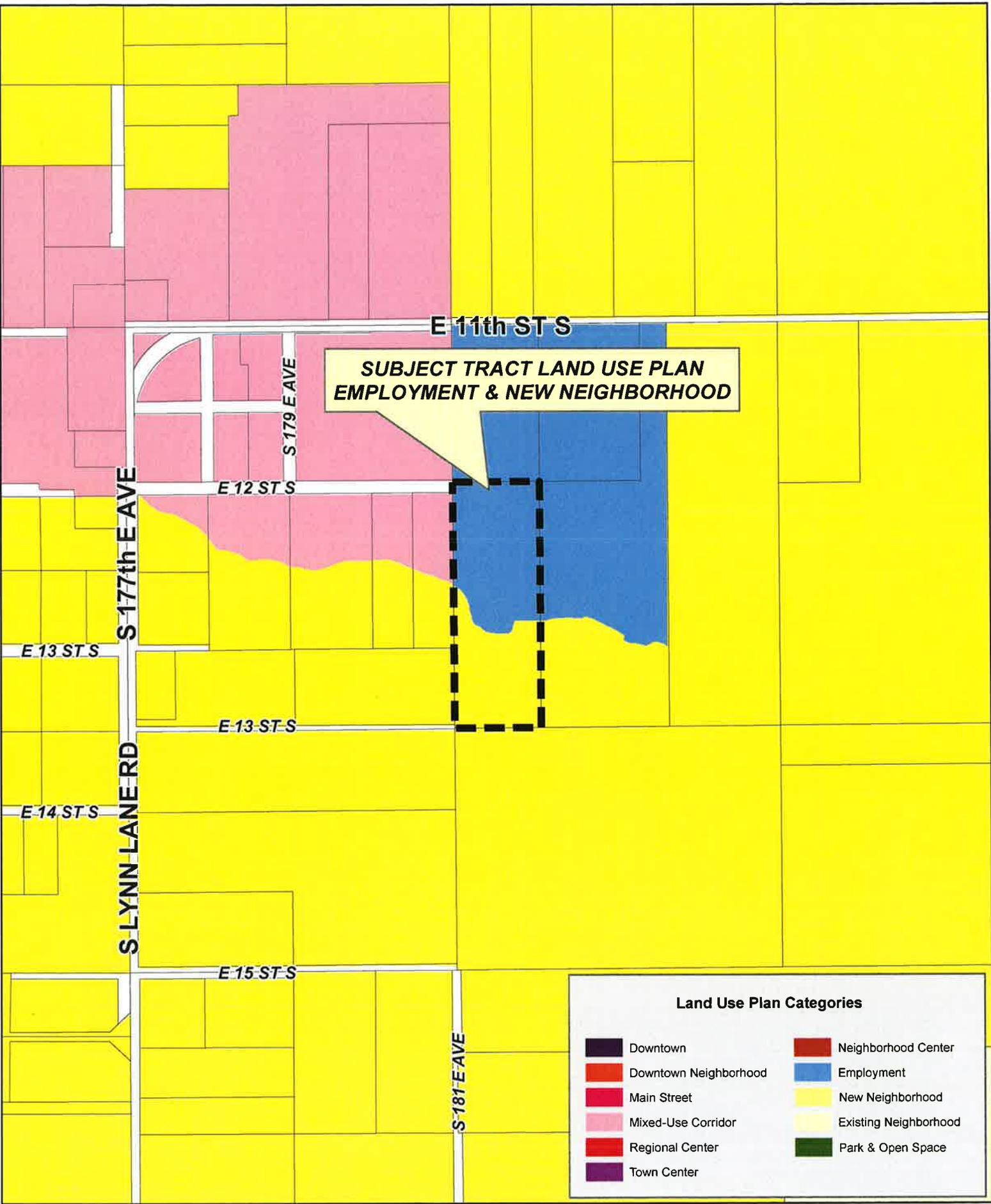
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Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: March 2014

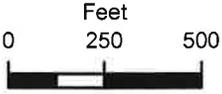
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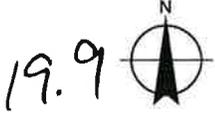
**SUBJECT TRACT LAND USE PLAN
EMPLOYMENT & NEW NEIGHBORHOOD**

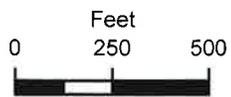
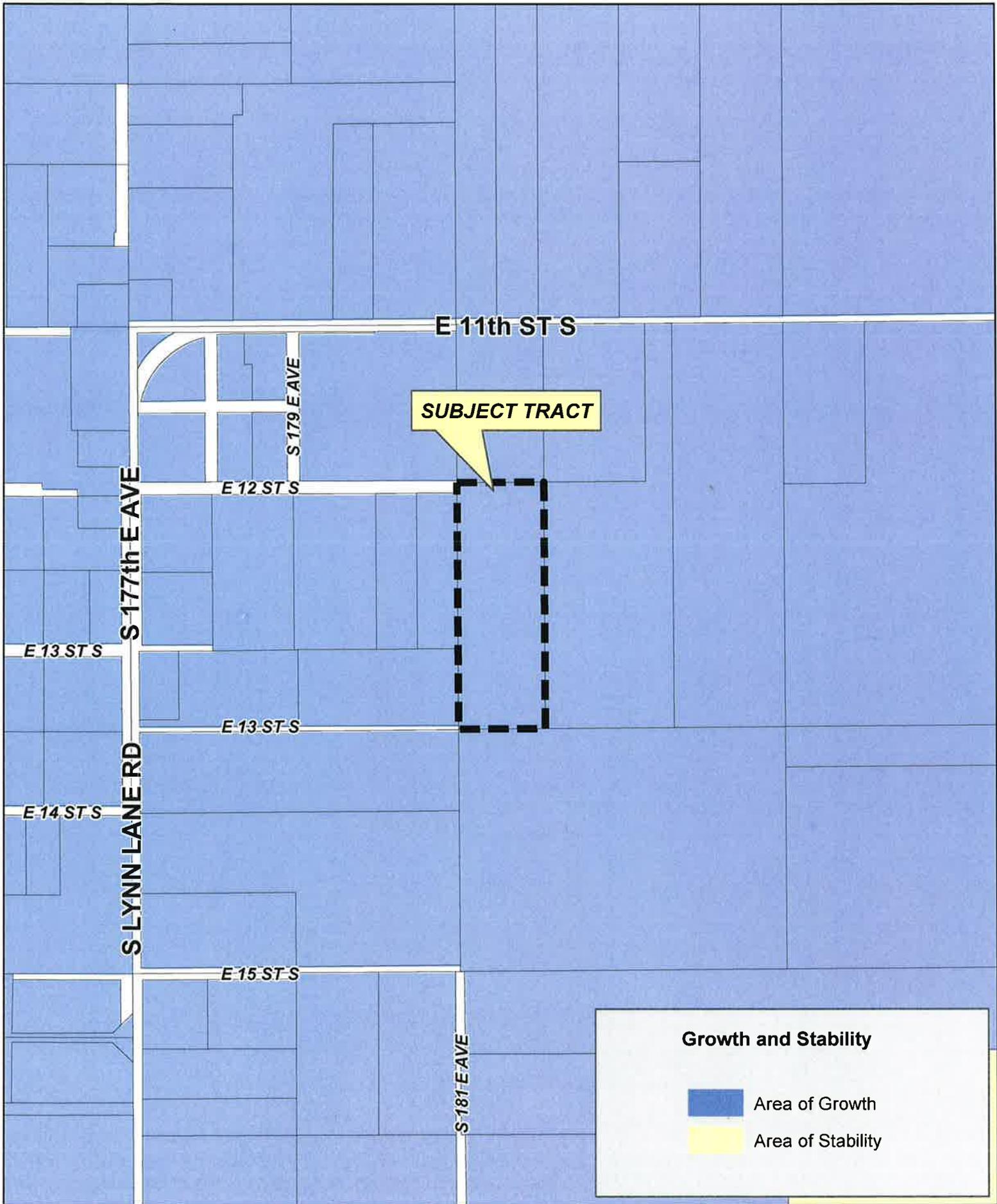
Land Use Plan Categories			
	Downtown		Neighborhood Center
	Downtown Neighborhood		Employment
	Main Street		New Neighborhood
	Mixed-Use Corridor		Existing Neighborhood
	Regional Center		Park & Open Space
	Town Center		



Z-7319

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Z-7319

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